

BOARD OF REGENTS

FINANCE & FACILITIES COMMITTEE

MEETING AGENDA

May 2, 2024, 12:00 p.m.

SCHOLES HALL, ROBERTS ROOM



THE UNIVERSITY OF
NEW MEXICO.

TAB 1

#1

Call to Order, Confirmation of a Quorum, and Adoption of Agenda

The University of New Mexico
Board of Regents' Finance and Facilities Committee
May 2, 2024, 12:00 pm
Scholes Hall, Roberts Room
AGENDA
(Revised)

1. **ACTION ITEM:** Call to Order, Confirmation of a Quorum, and Adoption of Agenda
2. **ACTION ITEM:** Approval of Finance and Facilities Committee Meeting Summary from March 7, 2024
3. **CONSENT ITEMS:**
 1. Approval of Disposition of Surplus Property for February and March 2024
 2. Project Construction Approvals/Re-Approvals (all items below \$2 Million):
 - A. Area 4 Roof Replacements and Repairs
 - B. Parking Lot Improvements
 - C. Center for High Technology - Labs Airflow Safety Modifications
 - D. Parish Library Space Upgrade for Relocations
 - E. Football Field Replacement at the Indoor Practice Facility
 - F. Center for the Arts - Fire Protection Upgrade Project - Phase II
 - G. Elizabeth Waters Center for Dance at Carlisle Gymnasium - Fire System
 - H. Information Technologies Building (#153) Restroom Renovation Re-Approval
 - I. Dane Smith Hall - Atrium Smoke Control Upgrade
 - J. Logan Hall - Sanitary Piping Replacement - Phase 2
 - K. Bandelier Hall East - Office Renovations
 - L. Pete and Nancy Domenici Hall - Fire Alarm Upgrade
 - M. Family Practice Center - Fire Protection Upgrade Phase 2
 - N. Biomedical Research Facility - Labs 131-140 Airflow Safety Modifications
 - O. Clark Hall - Basement Laboratories Airflow Safety Modifications
 - P. Johnson Center - Basement Restrooms Renovation
 - Q. Hibben Center - Compact Storage Collections Shelving
 - R. UNM Gallup - Lions Hall Demolition
 - S. Castetter Hall - Animal Care Facility Upgrade
4. **ACTION ITEM:** Project Construction Approval or Re-Approval (all items above \$2 Million):
 1. Center for Collaborative Arts & Technology (*Presenter: Tabia Murray Allred, Executive Director, Institutional Support Services*)
5. **INFORMATION ITEM:** Information on 3rd Quarter Consolidated Financial Report through March 31, 2024 (*Presenters: Norma Allen, University Controller, Financial Services and Kenny Stansbury, University Treasurer, Financial Services*)
6. **ACTION ITEM:** Approval of the New Mexico Higher Education Department, Institutional Finance Division, 3rd Quarter Financial Actions

The University of New Mexico
Board of Regents' Finance and Facilities Committee
May 2, 2024, 12:00 pm
Scholes Hall, Roberts Room
AGENDA
(Revised)

Report and Certification through March 31, 2024 (Presenter: Norma Allen, University Controller, Financial Services)

7. **ACTION ITEM:** Approval of the FY24 Budget Adjustment Request (BAR) for Main and Branch Campuses (Presenter: Jeremy Hamlin, Director, University Budget Operations, OPBA)
8. **INFORMATION ITEM:** Preliminary overview of FY25 Operating Budget for Main and Branch Campuses (Presenter: Jeremy Hamlin, Director, University Budget Operations, OPBA)
9. **ACTION ITEM:** Approval of 114 Alexander Street, Taos Lease (Presenter: Tom Neale, Director, Real Estate and Mary Gutierrez, Chancellor, UNM-Taos)
10. **ACTION ITEM:** Approval of LEI Amended MSA & South Campus ESCO Financing (Presenter: Jason Strauss, President/CEO, Lobo Energy Inc.)
11. **ACTION ITEM:** Approval of Board Appointments to UNM Rainforest Innovations Board of Directors (Presenter: Lisa Kuuttila, President & Chief Economic Development Officer, UNM Rainforest Innovations)
12. **ACTION ITEM:** Approval of the Three-year Appointment of a Non-Positional Director on the Lobo Development Corporation Board of Directors (Presenter: Teresa Costantinidis, CEO, Lobo Development Corporation and Executive Vice President)
13. **INFORMATION ITEM:** UNM Valencia County Bond Election (Presenter: Richard Goshorn, Director of Business Operations, CFO, UNM-Valencia and Katherine McKinney, Modrall Sperling Law Firm)
14. **INFORMATION ITEM:** UNM Los Alamos County Bond Election (Presenter: Mike Holtzclaw, Chancellor, UNM-Los Alamos and Katherine McKinney, Modrall Sperling Law Firm)
15. **ACTION ITEM RECOMMENDATIONS:** Recommendations for Action Items for Consent Agenda on Full Board of Regents' Agenda (Bill Payne, Chair, Regents' Finance & Facilities Committee)
16. **INFORMATION ITEM RECOMMENDATIONS:** Recommendations for Information Items for Full Board of Regents' Agenda (Bill Payne, Chair, Regents' Finance & Facilities Committee)
17. **ADJOURNMENT**

TAB 2

#2

Approval of Finance and Facilities Committee Meeting
Summary from March 7, 2024

THE UNIVERSITY OF NEW MEXICO
Board of Regents' Finance and Facilities (F&F) Committee
March 7, 2024
Meeting Summary
DRAFT

Committee Members Present:

Regent Bill Payne, Chair

Regent Paula Tackett (Zoom)

Regent Paul Blanchard

Regent Kim Sanchez Rael

Regent Victor Reyes

Executive Administration Present: Garnett Stokes, University President; James Holloway, Provost and EVP for Academic Affairs; and Teresa Costantinidis, EVP for Finance and Administration

ACTION ITEMS:

1. **Call to Order, Confirmation of a Quorum, and Adoption of Agenda.** Regent Payne called the meeting to order at **12:50 p.m.** and confirmed that a quorum was established with Regent Blanchard and Regent Tackett. **Regent Blanchard moved to adopt the agenda and Regent Payne seconded. The motion passed by unanimous vote with a quorum of committee members present and voting.**
2. **Approval of Finance and Facilities Committee Meeting Summary from February 7, 2024.** Regent Blanchard moved to approve, and Regent Payne seconded. **The motion passed by unanimous vote with a quorum of committee members present and voting.**

CONSENT ITEMS:

3. Consent Items

1. **Approval of Disposition of Surplus Property for January 2024.** Regents' approval was requested for the disposition of surplus property for January 2024. Items listed in the E-Book are either obsolete or beyond repair. The detailed report is in the E-book.
2. **Project Construction Approvals/Re-Approvals (all items below \$2 Million):**
 1. **Reserve Officer Training Corps – Track and Training Field.** Regents' approval was requested for the UNM Reserve Officer Training Corps – Track and Training Field. The total estimated project budget is \$1.5M. The detailed report is in the E-book.
 2. **Redondo Village Apartments – Window Replacement.** Regents' approval was requested for the Redondo Village Apartments – Window Replacement. The total estimated project budget is \$1.5M. The detailed report is in the E-book.
 3. **UNM Valencia – Solar Array Construct and Learning Commons Center Roof and Solar Installation.** Regents' approval was requested for the UNM Valencia – Solar Array Construct and Learning Commons Center Roof & Solar Installation. The total estimated project budget is \$1.8M. The detailed report is in the E-book.
 4. **UNM Fitz Hall – 2nd and 3rd Floor Restroom Renovations.** Regents' approval was requested for the UNM Fitz Hall – 2nd and 3rd Floor Restroom Renovations. The total estimated project budget is \$800k. The detailed report is in the E-book.
 5. **Central - Yale – Redondo Intersection Improvements.** Regents' approval was requested for the Central -Yale – Redondo Intersection Improvements. The total estimated project budget is \$315k. The detailed report is in the E-book.
 6. **UNM Gallup – Calvin Hall Rooftop Units 1-5 Refurbishment.** Regents' approval was requested for the UNM Gallup - Calvin Hall Rooftop Units 1-5 Refurbishment. The total estimated project budget is \$381k. The detailed report is in the E-book.

Regent Blanchard moved to approve, and Regent Payne seconded. The motion passed by unanimous vote with a quorum of committee members present and voting.

ACTION ITEM (Continued):

4. Project Construction Approvals/Re-Approvals (all items above \$2 Million):

- 1. UNM Los Alamos – Campus Infrastructure Re-Approval.** Tabia Murray Allred and Maria Dion gave the presentation. Regents' approval was requested for the UNM Los Alamos Campus Infrastructure Re-Approval. The total estimated project budget is \$4M. The detailed report is in the E-book.

Regent Blanchard moved to approve, and Regent Payne seconded. The motion passed by unanimous vote with a quorum of committee members present and voting.

INFORMATION ITEMS:

- 5. UNM Regents' Student-Run Portfolio, 2023 Report.** Dr. Reilly S. White gave the presentation. The detailed report is in the E-book.
- 6. FY25 Projected Health Insurance Increases.** Kevin Stevenson gave the presentation. The detailed report is in the E-book.

ACTION ITEM RECOMENDATIONS:

- 7. Recommendations for Action Items for Consent Agenda on Full Board of Regents' Agenda.** Regent Payne recommended agenda items 3 and 4 be placed on Board of Regents' agenda as consent items. **Regent Blanchard moved to approve, and Regent Tackett seconded. The motion passed by unanimous vote with a quorum of committee members present and voting.**

INFORMATION ITEM RECOMENDATIONS:

- 8. Recommendations for Information Items for Full Board of Regents' Agenda.** Regent Payne recommended agenda items 5 and 6 be placed on the full Board of Regents' agenda, with no presentation.

ADJOURNMENT

- 9. Adjourned at 1:25 p.m.**

TAB 3

#3

Consent Items:

1. Approval of Disposition of Surplus Property for February and March 2024

2. Project Construction Approvals/Re-Approvals (all items below \$2 Million):

- A. Area 4 Roof Replacements and Repairs
- B. Parking Lot Improvements
- C. Center for High Technology - Labs Airflow Safety Modifications
- D. Parish Library Space Upgrade for Relocations
- E. Football Field Replacement at the Indoor Practice Facility
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- O. Clark Hall - Basement Laboratories Airflow Safety Modifications
- P. Johnson Center - Basement Restrooms Renovation
- Q. Hibben Center - Compact Storage Collections Shelving
- R. UNM Gallup - Lions Hall Demolition
- S. Caster Hall - Animal Care Facility Upgrade

3.1



Disposition of Surplus Property Approval
February 2024 & March 2024

Date: April 18, 2024

To: Bruce Cherrin
Chief Procurement Officer
Purchasing Department

From: Marcos Roybal
Associate Director – Finance & Administration
Purchasing Department
University Services

Attached for your review and submission to the Board of Regents is the Surplus Property Disposition detail list for the months of February and March 2024.

Consistent with UNM Board of Regents Policy 7.9 and the NM Disposition of Surplus Property Act, 13-6-1, NMSA 1978, and based upon documentation submitted by the UNM departments responsible for the equipment, I certify that the equipment identified on the monthly list is worn-out, unusable or obsolete to the extent that the items are no longer economical or safe for continued use by the University. I recommend that the items be deleted from UNM's inventory and disposed of in accordance with the above noted Regents Policy and NM Surplus Property Act.



PURCHASING DEPARTMENT – DISPOSITION OF SURPLUS PROPERTY

FEBRUARY 2024 & MARCH 2024

Surplus Property Disposition - February 2024

Asset Tag	Department	Description	Manufacturer	Purchased	Total Cost (\$)	NBV (\$)	Disposal Method
N00007404	Emerg Med EMS Gen Admin	Vehicle Truck	Ford	5/10/2006	\$33,880.00	\$0.00	Obsolete
N00007492	CTSC Administration Gen	Peptide Synthesizer	CreoSalus	5/23/2006	\$25,000.00	\$0.00	Obsolete
246947	Employee Organizational Developme	MV VAN	Dodge	6/4/2001	\$19,503.00	\$0.00	Too Costly to Repair
N00043715	New Mexico Union Building Svcs	Vehicle/2013GEMeL	GEM	10/3/2013	\$17,459.00	\$0.00	Too Costly to Repair
N00069887	CBE Administration	Centrifuge	Beckman Coulter	5/6/2019	\$11,598.00	\$579.90	Too Costly to Repair
267161	Emergency Medicine Department	COMPUTER FILE SERVER	Dell	7/9/2004	\$11,547.00	\$0.00	Obsolete
N00018252	Valencia Dean of Instruction Admin	Infrared Thermal Camera	SierraPaci	10/9/2008	\$9,248.00	\$0.00	Obsolete
197141	Cancer Research Treatment Ctr CRTC	CENTRIFUGE REFRIGERA	VWR	4/7/1992	\$8,148.00	\$0.00	Obsolete
N00025640	CE-Externally Funded Programs	Server Loadbalancer	Enterprise	5/18/2010	\$7,275.50	\$0.00	Obsolete
N00041800	Business Applications/IT Computer	Server/PowerEdge R720	Dell	6/21/2013	\$7,120.78	\$0.00	Obsolete
255798	Molecular Genetics Microbiology	READER MICROPLATE	FisherScien	5/30/2002	\$5,152.00	\$0.00	Obsolete
N00017972	Institute for Ethics Operations	Polycom Video Conference System	PolyCom	9/29/2008	\$5,032.00	\$0.00	Obsolete
Total Asset Disposition (#)							12
Total Capitalization (\$)							\$160,963.28
Total Net Book Value (\$)							\$579.90



Surplus Property Disposition - March 2024

Asset Tag	Department	Description	Manufacturer	Purchased	Total Cost (\$)	NBV (\$)	Disposal Method
N00049228	Molecular Genetics Microbiology	InhalationExposureSystem	Glas-Col	12/8/2014	\$32,699.93	\$0.00	Obsolete
252653	Los Alamos Branch	SWITCH ELECTRONIC	Cisco	10/14/2001	\$30,741.00	\$0.00	Obsolete
237751	Los Alamos Branch	COMPUTER FILE SERVER	Sicorp	8/5/1999	\$23,225.00	\$0.00	Obsolete
N00074175	IT Networks	Server/R740	Dell	2/18/2020	\$21,560.00	\$598.85	Obsolete
N00074172	IT Networks	Server/R740	Dell	2/18/2020	\$21,560.00	\$598.85	Obsolete
N00074173	IT Networks	Server/R740	Dell	2/18/2020	\$21,560.00	\$598.85	Obsolete
N00017882	Los Alamos Branch	MSL-CSM-500-Mediasite ML Recorder	AdvPresent	9/24/2008	\$14,500.00	\$0.00	Obsolete
N00056997	Business Applications/IT Computer	Server/PowerEdgeR730	Dell	6/22/2016	\$10,202.10	\$0.00	Obsolete
N00018037	Business Applications/IT Computer	Computer	HewlettPac	10/3/2008	\$10,075.00	\$0.00	Obsolete
N00017879	Valencia Dean of Instruction	MSL-CSR-440-RL UNM Special	AdvPresent	9/24/2008	\$10,000.00	\$2,666.52	Obsolete
219817	Civil Construction & Env Engr	CHROMATOGRAPH	Dionex	7/23/1996	\$8,785.00	\$0.00	Obsolete
241109	Los Alamos Branch	PROJECTOR	Proxima	4/5/2000	\$7,449.00	\$1,820.14	Obsolete
N00028087	Mathematics Statistics	Server/XServe	Apple	10/28/2010	\$6,875.10	\$0.00	Obsolete
220369	Molecular Genetics Microbiology	FREEZER	VWR	7/11/1996	\$6,868.00	\$0.00	Obsolete
N00009829	AS Biology Faculty #109	Printer	HewlettPac	11/15/2006	\$6,832.00	\$0.00	Too Costly to Repair
262763	Lobo ID Card Office	ENCODER	Nisca	8/20/2003	\$6,794.00	\$2,094.98	Obsolete
N00065226	Nursing Faculty #27	Computer/iMacPro27"	Apple	4/10/2018	\$6,629.00	\$0.00	Obsolete
241108	Los Alamos Branch	PROJECTOR	Proxima	4/5/2000	\$6,016.00	\$0.00	Obsolete
N00004807	LosAlamos Computer Application	LUMEN PROJECTOR	Mitsubishi	7/15/2005	\$5,869.18	\$0.00	Obsolete
N00001530	LosAlamos Business Office	Projection System	Sharp	12/21/2004	\$5,641.81	\$0.00	Obsolete
N00049674	College of Fine Arts Administration	Computer/MacPro	Apple	1/6/2015	\$5,589.00	\$0.00	Obsolete
Total Asset Disposition (#)							21
Total Capitalization (\$)							\$269,471.12
Total Net Book Value (\$)							\$8,378.19



Nellr Mexico Compilation Commission

13-6-1 . Disposition of obsolete, worn-out or unusable tangible personal property.

A. The governing authority of each state agency, local public body, school district and state educational institution may dispose of any item of tangible personal property belonging to that authority and delete the item from its public inventory upon a specific finding by the authority that the item of property is:

- (1) of a current resale value of five thousand dollars (\$5,000) or less; and
- (2) worn out, unusable or obsolete to the extent that the item is no longer economical or safe for continued use by the body.

B. The governing authority shall, as a prerequisite to the disposition of any items of tangible personal property:

- (1) designate a committee of at least three officials of the governing authority to approve and oversee the disposition; and
- (2) give notification at least thirty days prior to its action making the deletion by sending a copy of its official finding and the proposed disposition of the property to the state auditor and the appropriate approval authority designated in Section 13-6-2 NMSA 1978, duly sworn and subscribed under oath by each member of the authority approving the action.

C. A copy of the official finding and proposed disposition of the property sought to be disposed of shall be made a permanent part of the official minutes of the governing authority and maintained as a public record subject to the Inspection of Public Records Act [Chapter 14, Article 2 **NMSA** 1978].

D. The governing authority shall dispose of the tangible personal property by negotiated sale to any governmental unit of an Indian nation, tribe or pueblo in New Mexico or by negotiated sale or donation to other state agencies, local public bodies, school districts, state educational institutions or municipalities or through the central purchasing office of the governing authority by means of competitive sealed bid or public auction or, if a state agency, through the surplus property bureau of the transportation services division of the general services department.

E. A state agency shall give the surplus property bureau of the transportation services division of the general services department the right of first refusal when disposing of obsolete, worn-out or unusable tangible personal property of the state agency.

F. If the governing authority is unable to dispose of the tangible personal property pursuant to Subsection D or E of this section, the governing authority may sell or, if the property has no value, donate the property to any organization described in Section 501(c)(3) of the Internal Revenue Code of 1986.

G. If the governing authority is unable to dispose of the tangible personal property pursuant to Subsection D, E or F of this section, it may order that the property be destroyed or otherwise permanently disposed of in accordance with applicable laws.

H. If the governing authority determines that the tangible personal property is hazardous or contains hazardous materials and may not be used safely under any circumstances, the property shall be destroyed and disposed of pursuant to Subsection G of this section.

I. No tangible personal property shall be donated to an employee or relative of an employee of a state agency, local public body, school district or state educational institution; provided that nothing in this subsection precludes an employee from participating and bidding for public property at a public auction.

J. This section shall not apply to any property acquired by a museum through abandonment procedures pursuant to the Abandoned Cultural Properties Act (18-10-1 to 18-10-5 **NMSA** 1978].

K. Notwithstanding the provisions of Subsection A of this section, the department of transportation may sell through public auction or dispose of surplus tangible personal property used to manage, maintain or build roads that exceeds five thousand dollars (\$5,000) in value. Proceeds from sales shall be credited to the state road fund. The department of transportation shall notify the department of finance and administration regarding the disposition of all property.

L. If the secretary of public safety finds that the K-9 dog presents no threat to public safety, the K-9 dog shall be released from public ownership as provided in this subsection. The K-9 dog shall first be offered to its trainer or handler free of charge. If the trainer or handler does not want to accept ownership of the K-9 dog, then the K-9 dog shall be offered to an organization described in Section 501(c)(3) of the Internal Revenue Code of 1986 free of charge. If both of the above fail, the K-9 dog shall only be sold to a qualified individual found capable of providing a good home to the animal.

History: 1953 Comp., § 6-1-7.1, enacted by Laws 1961, ch. 100, § 1; 1979, ch. 195, § 2; 1984, ch. 47, § 1; 1987, ch. 15, § 1; 1989, ch. 211, § 6; 1995, ch. 181, § 1; 1998, ch. 16, § 1; 2001, ch. 317, § 1; 2007, ch. 57, § 4; 2012, ch. 10, § 1; 2013, ch. 9, § 1

3.2



INSTITUTIONAL
SUPPORT
SERVICES

**MEMORANDUM TO ADVANCE
COMMITTEE AGENDA ITEM TO
THE BOARD OF REGENTS
THE UNIVERSITY OF NEW MEXICO**

DATE: May 2, 2024

TO: Teresa Costantinidis, Executive VP of Finance & Administration

FROM: Tabia Murray Allred, Executive Director, Vice President Office for Institutional Support Services

RE: Requested Approval

RECOMMENDED ACTION:

Recommend to the Board of Regents Finance and Facilities Committee the following requests for Project Construction Approval, for projects less than \$2 Million:

1. Area 4 Roof Replacements and Repairs
2. Parking Lot Improvements
3. Center for High Technology- Labs Airflow Safety Modifications
4. Parish Library Space Upgrade for Relocations
5. Football Field Replacement at the Indoor Practice Facility
6. Center for the Arts – Fire Protection Upgrade Project – Phase II
7. Elizabeth Waters Center for Dance at Carlisle Gymnasium – Fire System
8. Information Technologies Building (#153) Restroom Renovation Re-Approval
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14. Biomedical Research Facility- Labs 131-140 Airflow Safety Modifications
15. Clark Hall- Basement Laboratories Airflow Safety Modifications

16. Johnson Center- Basement Restrooms Renovation
17. Hibben Center- Compact Storage Collections Shelving
18. UNM Gallup- Lions Hall Demolition
19. Castetter Hall- Animal Care Facility Upgrade

cc: S. Wolfe – ISS

M. Dion, M. Bailey, S. Rodgers, G. Skinner, A. Reynolds, M. Pierce, T. Silva,
J.Orona – PDC

A. Sena, M. Candelaria, R. Notary, D. Penasa, C. Grotbeck, R. Garcia – FM

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
FM AREA 4 ROOF REPLACEMENTS AND REPAIRS
UNIVERSITY OF NEW MEXICO
May 2, 2024**

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **FM Area 4 Roof Replacements and Repairs, on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

This project consists of the roof replacement and repair of (5) buildings located within FM Area 4. These buildings are:

- 0002 Engineering and Science Computer Pod - 9,000 GSF of roofing,**
- 0008 Bandelier East - 6,200 GSF of roofing,**
- 0023 Mitchell Hall - 24,200 GSF of roofing,**
- 0035 Regener Hall - 11,000 GSF of roofing,**
- 0082 Consortium for Environment Research, Informatics and Art 27,500 GSF of roofing**

Each site is a candidate for a roof overlay: Each building has and will be maintained with a minimum ¼” per foot roof slope for drainage requirements, a new adhered 135mil. fleece back single-ply membrane installed over the existing cleaned roof system. Each building will receive a 20-year No Dollar Limit warranty which will cover labor and materials for any roofing repair covered.

PROJECT RATIONALE:

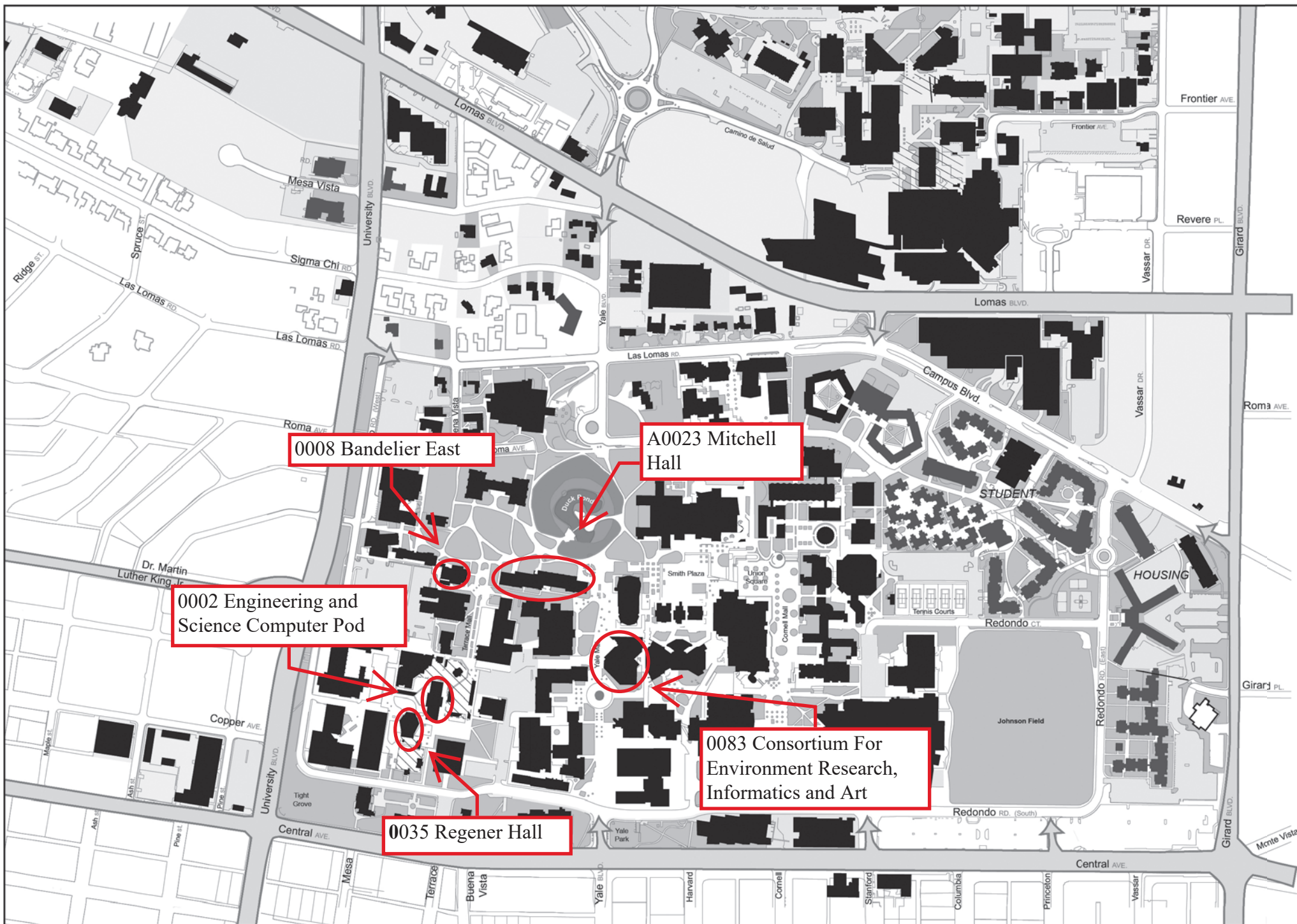
The roofing project represents the reasonable and expected facility sustainment relevant to 20+-year-old roofing systems that have exceeded their expected life cycle, as evidenced by a history of leaks and corresponding localized visible separation of roofing components in multiple locations, including drainage structures, over the past decade. The effects of the intense UV encountered at this elevation are visible. In the last ten years, small-scope patching projects with varying degrees of effectiveness. Water penetration inside the building envelope is inherently bad given the potential health effects of mold that may develop over persistent leaking, mainly if undiscovered, setting aside the impact of corrosion and leaching affecting structural members over time if unaddressed. This project will provide a weather-tight roof system for the entire building, protecting the interior finishes and structure from future damage.

FUNDING:

The total estimated Project Budget is \$1,867,000.00:

- \$1,867,000 is funded from FY25 Building Renewal & Replacement

The University of New Mexico - Central Campus



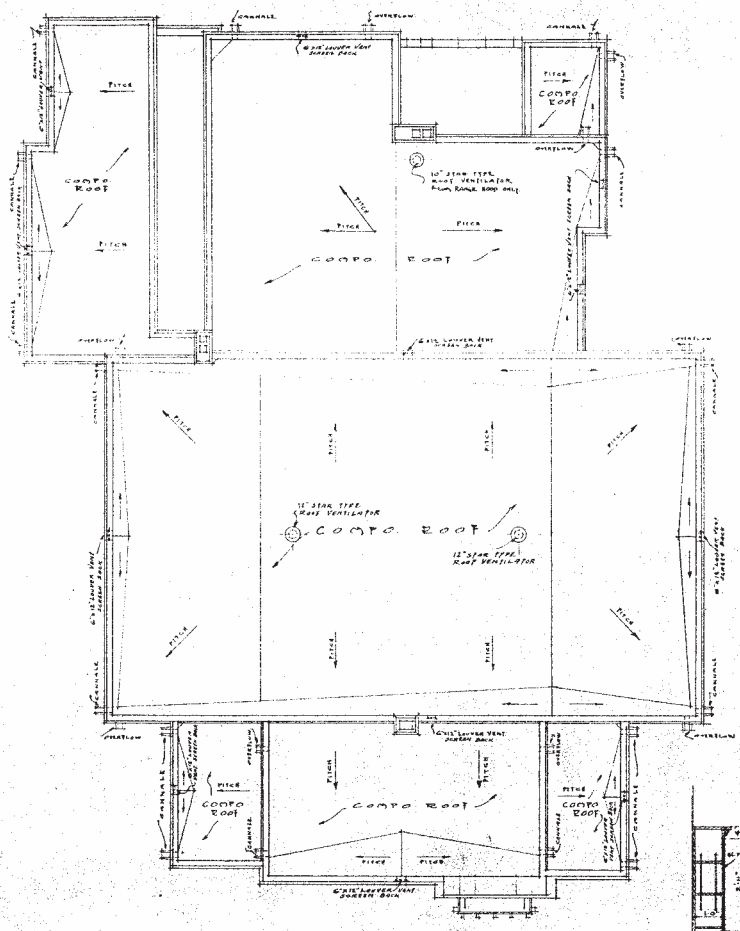
0008 Bandelier East

A0023 Mitchell Hall

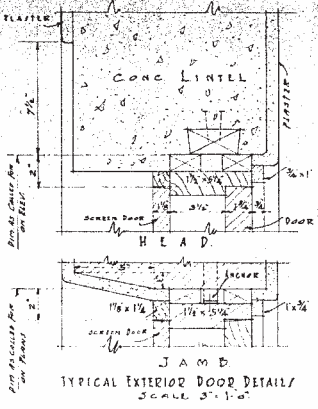
0002 Engineering and Science Computer Pod

0083 Consortium For Environment Research, Informatics and Art

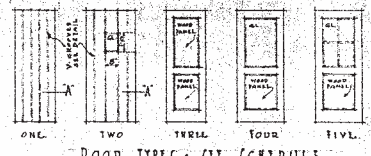
0035 Regener Hall



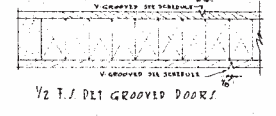
ROOF PLAN
SCALE 1/8" = 1'-0"



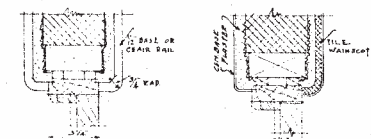
TYPICAL EXTERIOR DOOR DETAILS
SCALE 3/8" = 1'-0"



DOOR TYPES - ALL SCHEDULE



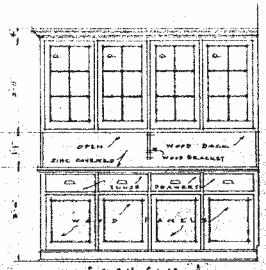
1/2 T.J. DET GROOVED DOORS



INTERIOR DOOR DETAILS
SCALE 3/16"

DOOR SCHEDULE						
EXTERIOR DOORS						
DOOR NO.	UNITS	DOOR SIZE	GLASS	TYP.	EL.MARKS	
ED. 1	2 DL	20'0" X 11'0"	CLEAR	TRENC	SEE DETAIL	
ED. 2	"	20'0" X 11'0"	"	"	"	
ED. 3	5 GL	20'0" X 11'0"	"	"	"	
ED. 4	"	20'0" X 11'0"	"	"	"	
ED. 5	"	20'0" X 11'0"	NONE	TRENC	"	

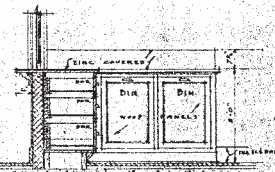
INTERIOR DOORS						
A.	DL	20'0" X 11'0"	CLEAR	TRENC	SEE DETAIL	
D.	DL	20'0" X 11'0"	NONE	ONE.	V-GROOVED BATH DOOR	
C.	DL	24'0" X 8'11 1/2"	NONE	ONE.	V-GROOVED ONE SIDE	
D.	DL	24'0" X 8'11 1/2"	CLEAR	TWO.	V-GROOVED ONE SIDE	
E.	DL	20'0" X 11'0"	NONE	THREE.	V-GROOVED ONE SIDE	
F.	DL	20'0" X 11'0"	NONE	FOUR.	"	
G.	DL	24'0" X 8'11 1/2"	NONE	THREE.	"	
H.	DL	22'0" X 8'11 1/2"	NONE	THREE.	"	
J.	DL	22'0" X 8'11 1/2"	CLEAR	FOUR.	"	
K.	DL	20'0" X 11'0"	NONE	SIX.	"	
L.	DL	30'0" X 8'11 1/2"	"	ONE.	"	
R.	DL	20'0" X 11'0"	NONE	REGR.	STRIKED/REGR. DOOR	



ELEV. CASE A
SCALE 1/2" = 1'-0"



SEC. 1-1 SEC. 2-2
SCALE 1/2" = 1'-0"



ELEV. CASE B

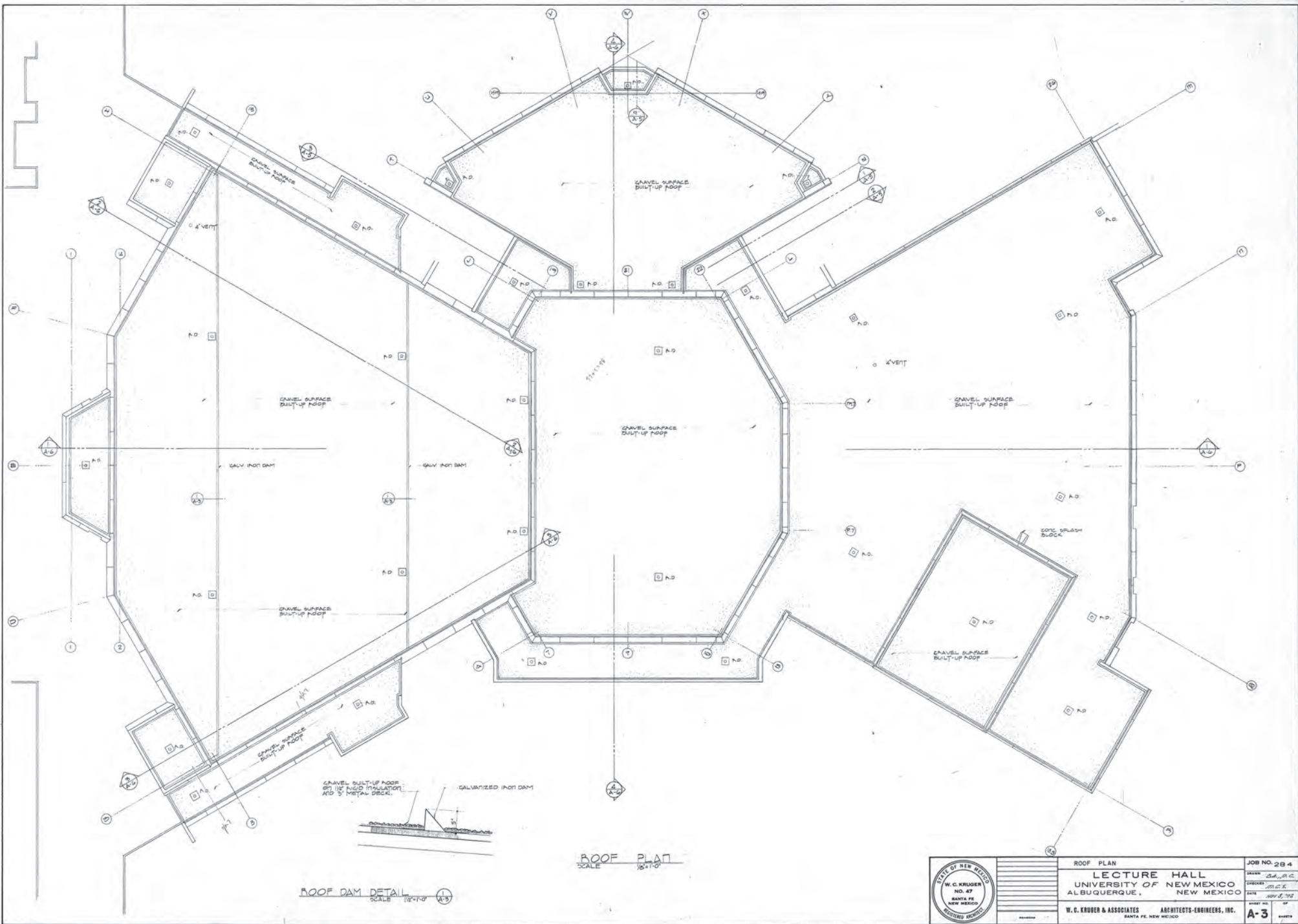
PLT. OF DIN. BACK - DET. G.
SCALE 1/2" = 1'-0"

SEC. CASE A ELEV. CASE B SEC. CASE C ELEV. CASE D SEC. CASE E ELEV. CASE F SEC. CASE G ELEV. CASE H SEC. CASE I ELEV. CASE J
SCALE 1/2" = 1'-0"

GEORGE WILLIAMSON INC.
ARCHITECTS & ENGINEERS
ALBUQUERQUE AND SANTA FE,
NEW MEXICO.

DINING HALL
UNIVERSITY OF NEW MEXICO
ALBUQUERQUE, NEW MEXICO.

SHEET NO. 4
DRAWN BY...
CHECKED BY...
COMM. NO. 2910. DATE...

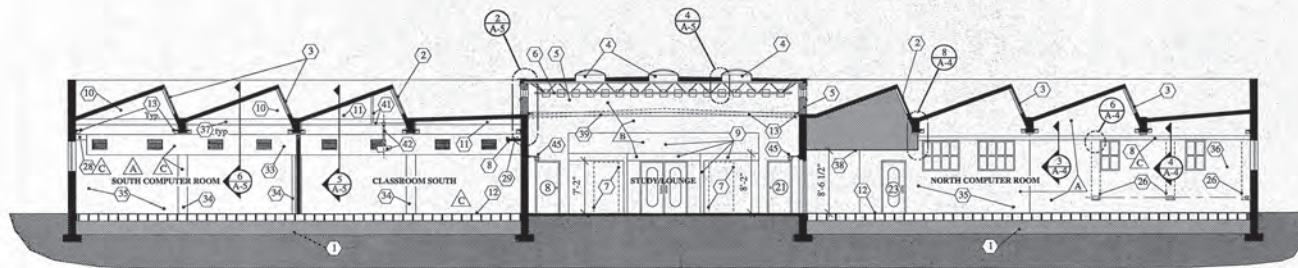


ROOF PLAN
SCALE 1/8"=1'-0"

ROOF DAM DETAIL
SCALE 1/2"=1'-0"

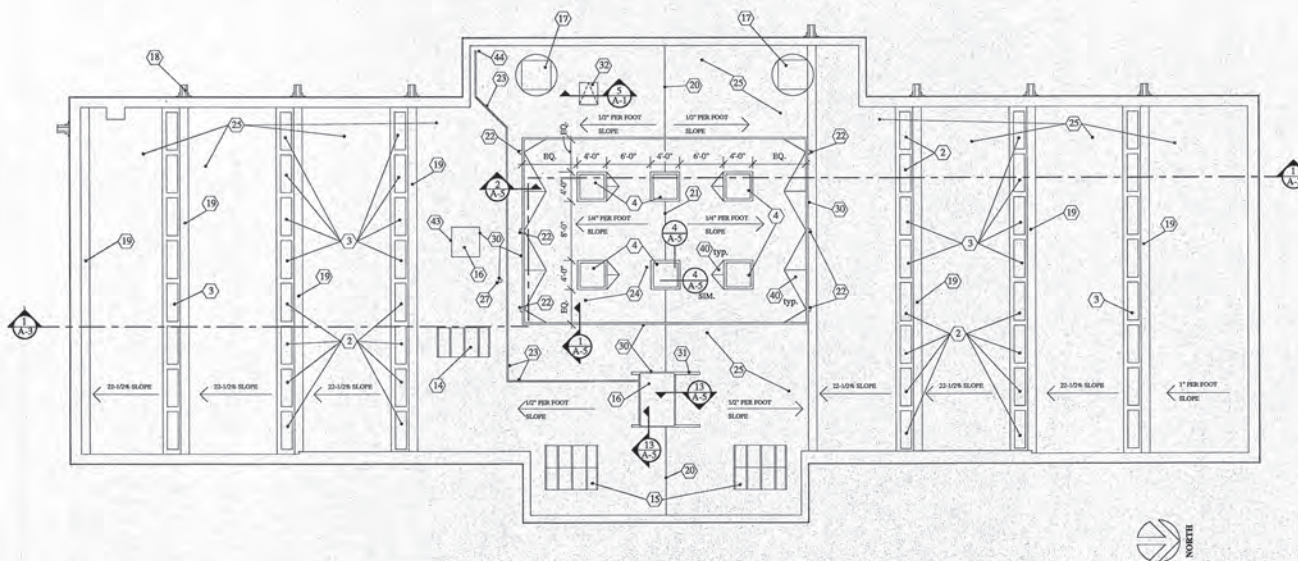


ROOF PLAN LECTURE HALL UNIVERSITY OF NEW MEXICO ALBUQUERQUE, NEW MEXICO		JOB NO. 28-4 DRAWN: <i>W.C.K.</i> CHECKED: <i>M.C.S.</i> DATE: <i>APR. 1952</i>
W. G. KRUGER & ASSOCIATES ARCHITECTS-ENGINEERS, INC. SANTA FE, NEW MEXICO		SHEET NO. A-3 OF 10



BUILDING SECTION

1/8"=1'-0"



ROOF PLAN

1/8"=1'-0"

KEYED NOTES

1. Exist. crawl space.
2. Exist. clerestory window glass to remain painted black in Classrooms #109 and 110 and in the portion of North Computer Room #108 where the new suspended gyp. bd. ceiling completely conceals two windows from view.
3. Remove black paint completely from glass at exist. clerestory windows visible in Computer Rooms #107 and #108, adjoining entry areas, Server Room #105 and Storage #106.
4. New insulated acrylic dome skylights, 4' x 4'. (Alternate #1 only.)
5. New concrete perimeter beam with glass block inserts and new stucco finish to match existing, see arch. & struct. details. (Alternate #1 only.)
6. New steel roof structure (Alternate #1 only.) See struct. dwgs.
7. New walls at former door openings to be finished with 3-coat stucco brought flush with exist. stucco walls. (Alternate #1 only.)
Wall surfaces adjacent to openings to receive new skim coat and finish coat to match exist. stucco texture before being painted. (Alternate #1 only.)
8. New cable tray, see details on dwg A-4.
9. New metal stud partitions & soffits finished with 3-coat stucco with texture to match existing stucco. (Alternate #1 only.) See detail 4/A-4. New stucco to be painted.
10. Remove exist. wood frame and plaster panel between concrete fire beam and roof slab above. Repair roof slab & tie beam surfaces to match adjacent existing surfaces and paint.
11. Exist. wood frame and plaster panel between concrete tie beam and roof slab above to remain and be painted.
12. After removing exist. carpet, exist. wood floor deck to be modified or replaced according to one of three options noted on Dwg. S-2. (Alternate #3 only.)
13. New indirect light fixtures, see elec. dwgs. (Indirect fixtures in Study Lounge included in Alternate #3 only.)
14. Exist. skylight glass to remain painted black on exterior.
15. Exist. skylights.
16. New HVAC unit, see mech. dwgs. for work included in Base Bid & Alternate #1.
17. Exist. relief air hood.
18. Exist. canals.
19. Exist. valley w/slope to canals.
20. Exist. ridge line.
21. Ridge line of new roof.
22. Modify gravel step to create canals that projects a min. of 3" and terminates with a drip edge. Provide splash block on roof below of type approved by exist. roofing manufacturer.
23. New gas piping above roof, see Utilities Site Plan, dwg. U-1. See detail 2M-3 for pipe support and flashing detail.
24. New membrane roof over tapered insulation.
25. Exist. built-up roofing to remain.
26. Exact location of data cable outlet plates to be coordinated with computer table shop drawings. Verify locations and heights of outlet plates with Architect prior to installation. See detail 7/A-1 for edge detail @ plates.
27. Location of new waste plumbing vent for water cooler, see plumbing dwg. (Alternate #1 only.) Maintain min. of 18" from face of new conc. beam.
28. Enclosure of new structural framing, 9-1/4" deep x 6'-7" wide x 1'-6" long, wrapped with gyp. bd on bottom, sides, and top.
29. Data cable conduit openings are to be located at end of cable tray so as to be completely concealed from view. See elec. dwgs. for conduit.
30. Flash existing built-up roof at new Study Lounge roof beam and at all new penetrations and curbs in a manner fully acceptable to the original manufacturer so as to maintain all existing roofing warranties in effect.
31. New steel support frame for mech. unit, see struct. dwgs. for work included in Base Bid & Alternate #1.
32. New 2'-6" x 3'-0" roof scuttle, see detail & specs.
33. HVAC ductwork chase. See details S & 6/A-5.
34. Existing column.
35. Existing plaster finished masonry wall to remain.
36. Gyp. bd. finished insulation furred.
37. Existing tie beam to remain. Paint all surfaces.
38. New suspended gypsum wallboard ceiling and soffit. See detail R/A-4 and specs.
39. Dotted line indicates approximate location of existing roof deck beyond. Existing stucco finish walls to be removed above this level as part of Alternate #1.
40. Install crickets using tapered insulation with min. 1/4" ft. slope to canals.
41. New steel tube support for video projector, paint. See structural detail 2A-3-7.
42. Location for video projector (N.L.C.) Projector to be provided and installed by UNM.
43. Wood support skids for mech. equip. See struct. dwgs for size.
44. See detail 2M-3 for flashing at gas pipe penetration thru roof.
45. New extended wall light fixture to be located on exist. j-box between pairs of doors. (Include in Base Bid.)



BUILDING SECTION & ROOF PLAN

ENGINEERING
COMPUTER CENTER
UNIVERSITY OF NEW MEXICO
ALBUQUERQUE, NEW MEXICO
February 1992

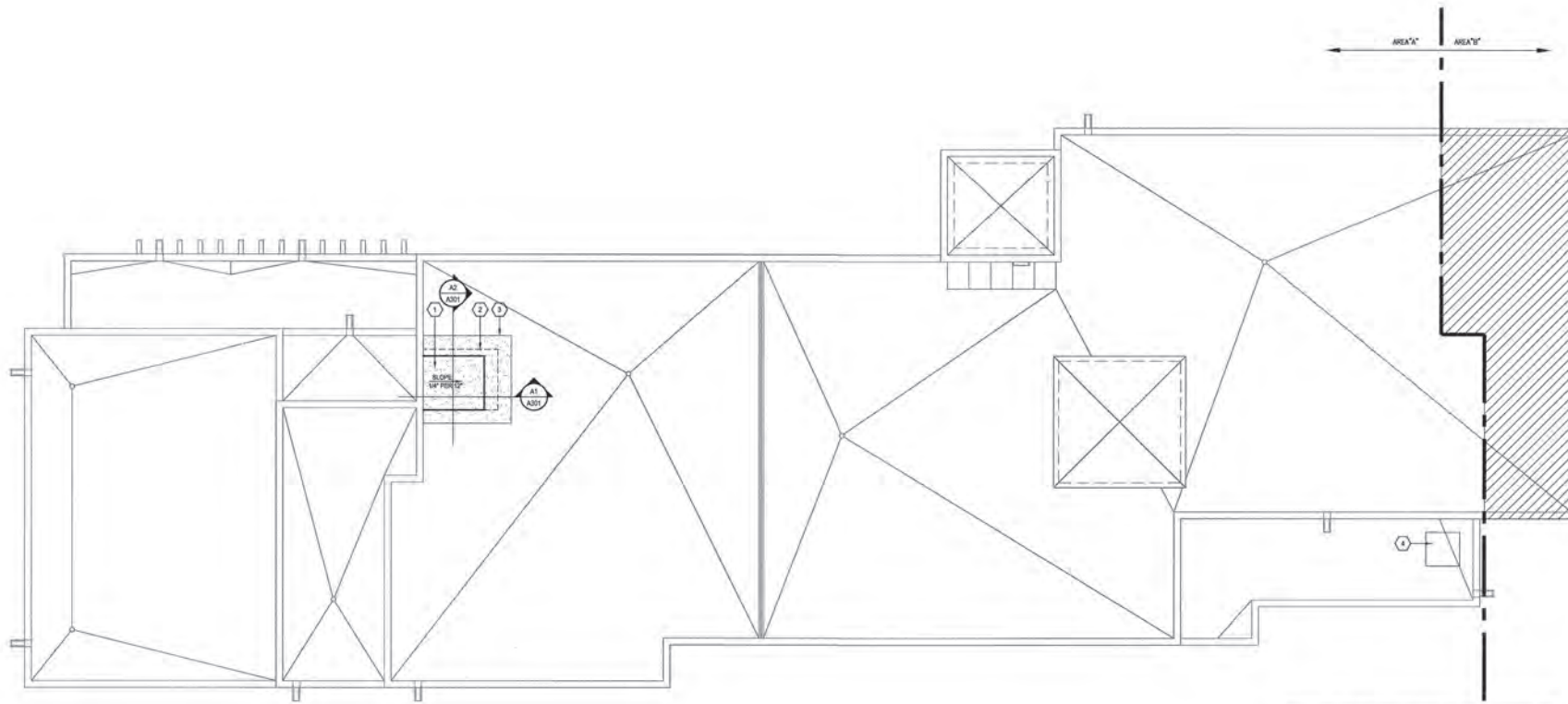
MAHLMAN &
MILES
ARCHITECTS
44-1/2 CENTRAL SE. #4
ALBUQUERQUE, NEW MEXICO 87102 505-243-0101

A-3

E
D
C
B
A

KEYED NOTES

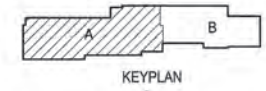
1. NEW ROOFING OVER RIGID INSULATION OVER NEW ROOF DECK OVER ELEVATOR SHAFT.
2. RIGID INSULATION OVER NEW CONSTRUCTION TO MATCH EXISTING ROOF LEVEL BEFORE NEW ROOF MEMBRANE APPLIED.
3. EXTEND NEW ROOFING 2' OVER EXISTING ROOFING TO PROVIDE WATERIGHT SEAL.
4. PATCH ROOF DECK & ROOFING SUBSTRATE TO MATCH EXISTING AT REMOVED MECHANICAL VENT PROVIDE 3"X6" STEEL PLATE, SIDE TO OVERLAP ROOF OPENING IF MINIMUM OVERLAP. ATATCH TO CLEANED EXISTING CONCRETE ROOF DECK AND INSTALL NEW 3 PLY BUILT UP ROOF WITH 14" MINIMUM OVERLAP ON EXISTING ROOF.



A1 ROOF PLAN
SCALE: 1/8" = 1'-0"



RECORD DRAWINGS



THE HARTMAN + MAJEWSKI
DESIGN GROUP
ARCHITECTS • ENGINEERS • INTERIOR DESIGN
PLANNERS • PERIOD RESTORATION • LEED®

200 CENTRAL AVENUE, 2ND FLOOR, SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-8888 FAX: (505) 242-8881

CONSULTANT

STAMP

PROJECT NAME

University of New Mexico
Office of Capital Projects
MSC07 4210
1018 Camino del Servicio #146

MITCHELL
HALL
MODERNIZATION

REVISIONS

No.	DATE	DESCRIPTION
1	8-11-10	RECORD DRAWING

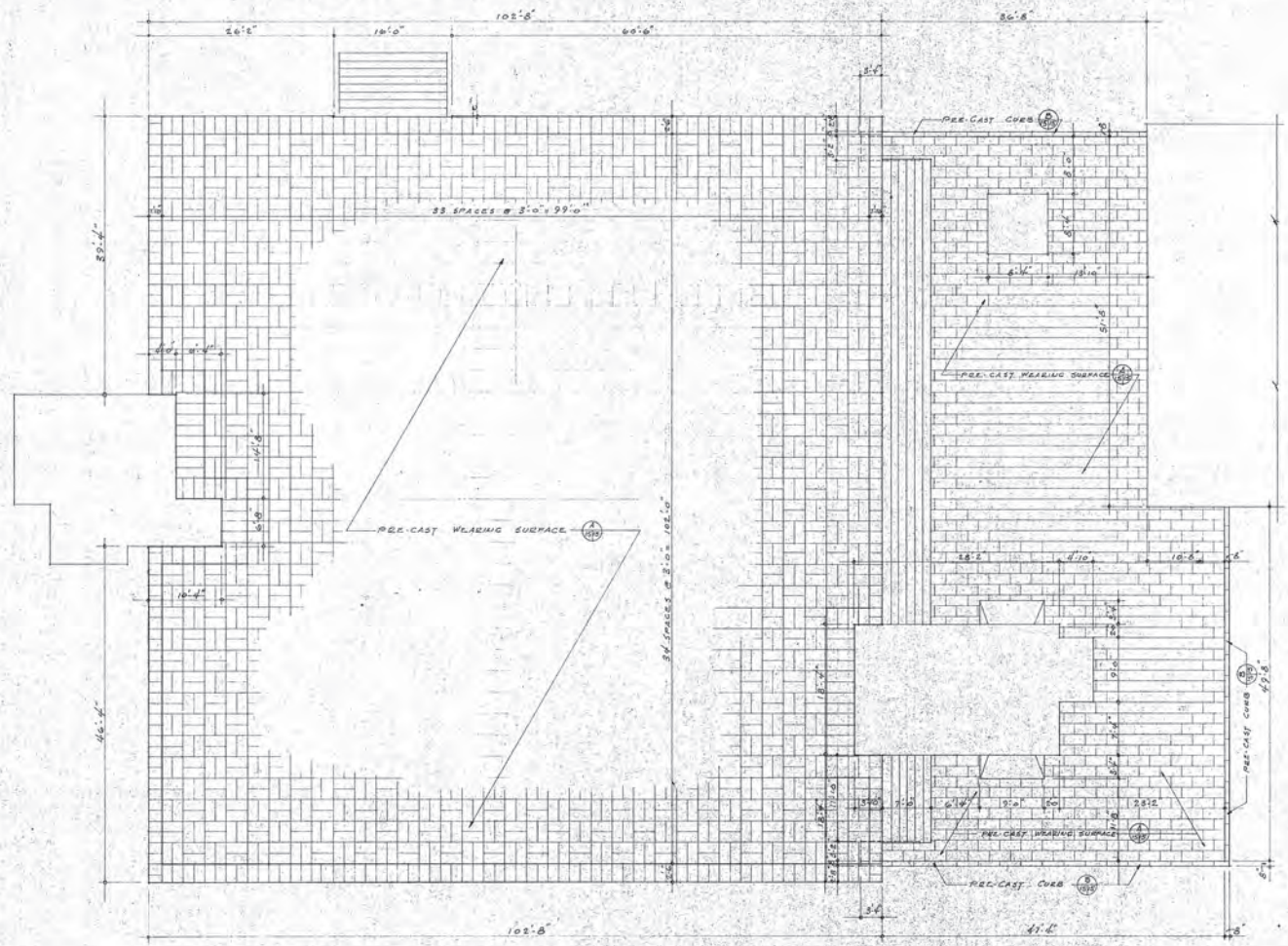
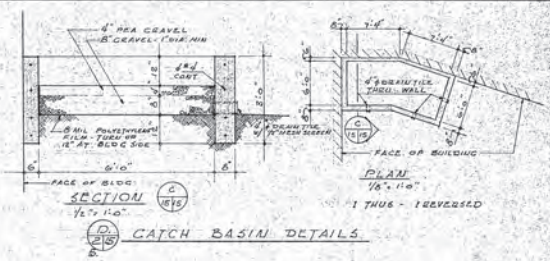
APPROVED: DESIGN GROUP

DESIGNER:	DESIGNER
CHECKED:	CHECKED
DATE:	08-19-10
SCALE:	1/8" = 1'-0"
JOINED:	YES
CAD FILE:	

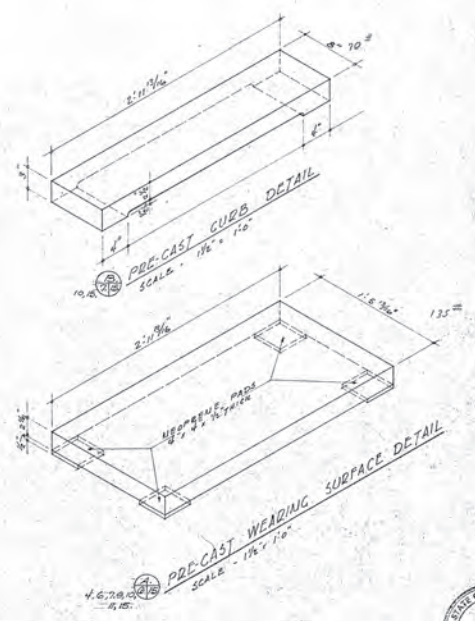
SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

A120



PRE-CAST WEARING SURFACE PLAN
SCALE - 1/8" = 1'-0"



**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
PARKING LOT IMPROVEMENTS
UNIVERSITY OF NEW MEXICO
May 2, 2024**

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Parking Lot Improvements on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

Parking lot improvements were selected on the Albuquerque Central Campus based on the completed assessment report. Lots and other areas included in this project are as follows:

- Approximately 112,000 square feet of Campus Blvd. from west of Stanford Drive to Girard Blvd
- Approximately 54,000 square feet of the Girard Blvd. “R” Lots
- Approximately 33,000 square feet of the Girard Blvd. “North” Lot
- Approximately 10,000 square feet of the Redondo Drive East Tennis Court Lot

The Campus Blvd. scope of work includes center median removal, storm inlet replacement, new asphalt roadway and striping, re-striping for shared streets, reverse-in angled parking, crosswalks, and new concrete parking bumpers.

The Girard “R” Lots scope of work includes the installation of new concrete curbs and landscaping to eliminate redundant entrances, re-configuration/identification of vehicle entry/exit locations, new perimeter fencing, lighting & security camera installation, new concrete curb and landscape island construction, and striping of new spaces.

The Girard North Lot scope of work includes re-striping for head-in angled parking.

The Redondo Drive East Tennis Court Lot scope of work includes the removal of existing perimeter fencing and site walls, asphalt paving and striping for parking and a modified pedestrian crosswalk, new concrete sidewalk installation at the modified crosswalk, new concrete curb and landscape island construction, installation of new lighting and lot signage.

PROJECT RATIONALE:

Overall, the project will provide a net addition of about 152 near-in permit parking spaces for student residents to help offset the loss of 253 permit parking spaces at the existing Lot “A” slated for near-term development of the Center for Collaborative Arts & Technology building.

Project improvements at the Girard Blvd. “R” Lots will enhance campus security by establishing a fenced perimeter and reducing the current multiple, duplicative entrances and exits to the lots.

Project improvements along Campus Blvd. will provide parking near student residences, an activated streetscape for pedestrians, and a safer shared street condition for bicyclists due to improved vehicle driver sightlines with reverse-in parking orientation.

Project improvements at the Redondo Drive East Tennis Court Lot will provide pay-station parking near student residences and central campus recreational facilities.

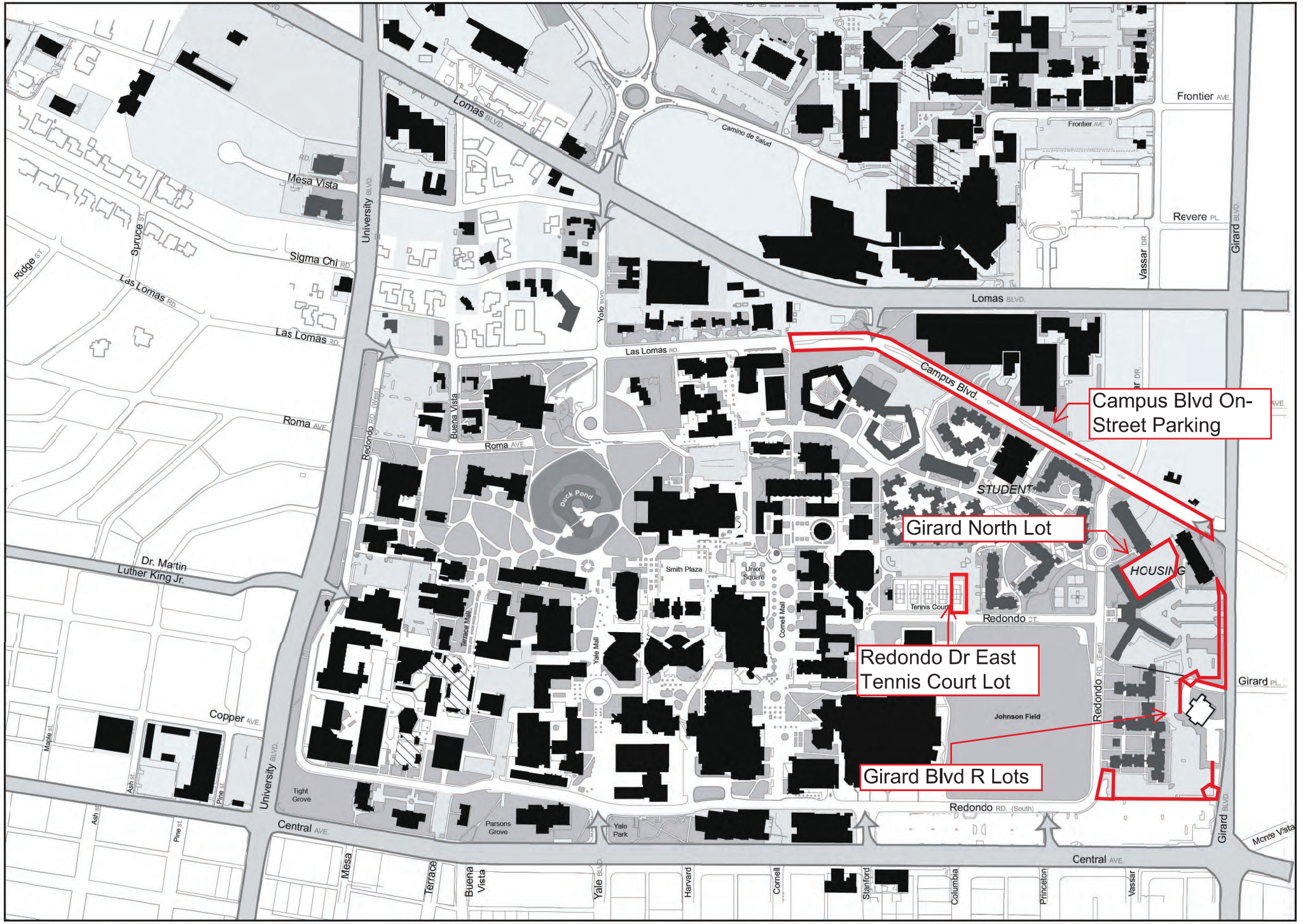
The execution of the project will require the temporary removal of some current parking spaces from service during construction. Construction will be phased in to mitigate the traffic and parking impact. The consequences if this project is not approved are that the loss of existing parking spaces at Lot "A" would not be offset before the near-term development construction and near-in resident permit and pay station parking would need to be accommodated further from student residences and campus recreation facilities, with an associated impact to PATS revenues.

FUNDING:

The total estimated Project Budget is \$1,670,000:

- \$470,000 is funded from Auxiliary Capital Reserves
- \$1,200,000 is funded from I&G Reserves

The University of New Mexico - Central Campus



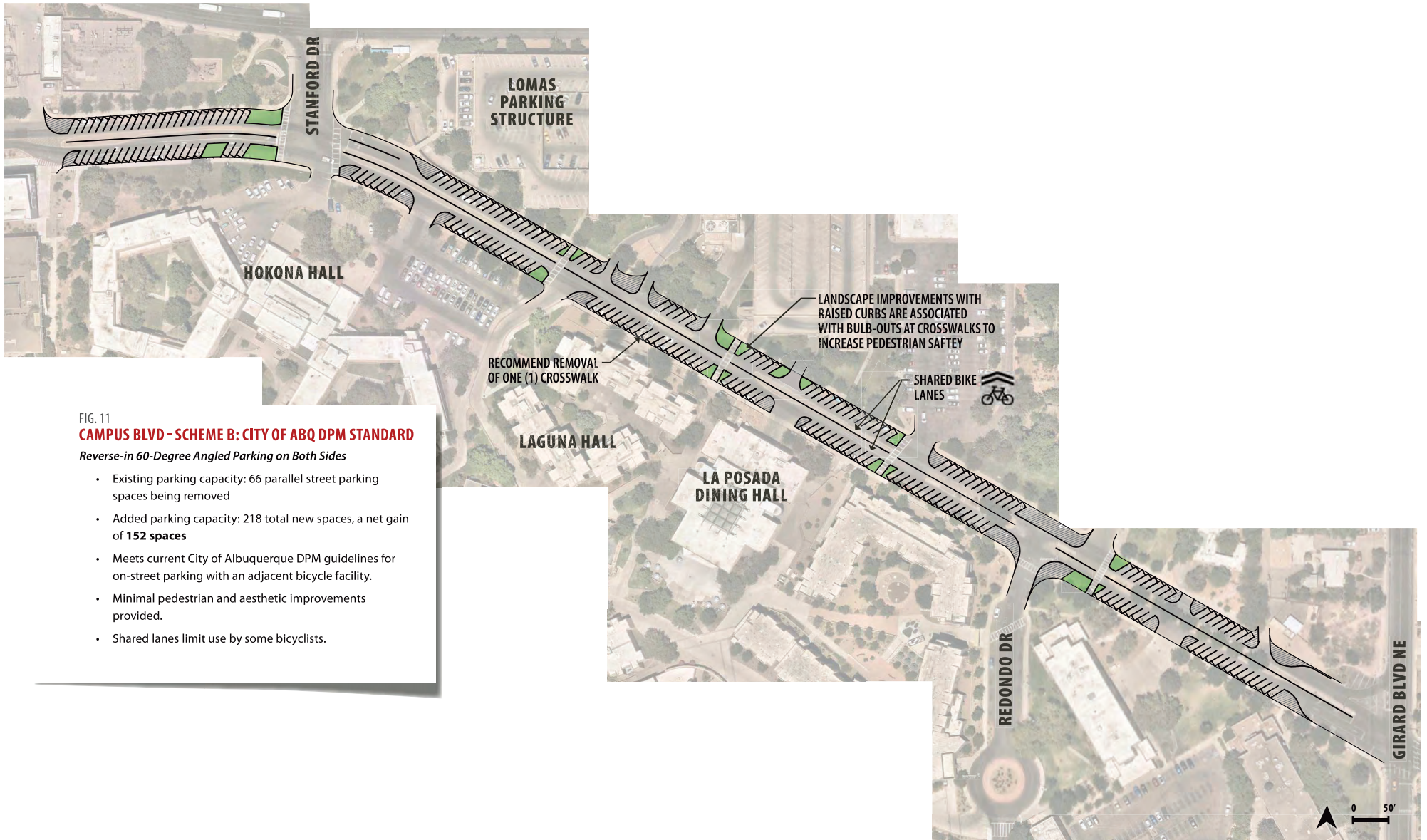


FIG. 11
CAMPUS BLVD - SCHEME B: CITY OF ABQ DPM STANDARD
Reverse-in 60-Degree Angled Parking on Both Sides

- Existing parking capacity: 66 parallel street parking spaces being removed
- Added parking capacity: 218 total new spaces, a net gain of **152 spaces**
- Meets current City of Albuquerque DPM guidelines for on-street parking with an adjacent bicycle facility.
- Minimal pedestrian and aesthetic improvements provided.
- Shared lanes limit use by some bicyclists.

FIG. 6
GIRARD MIDDLE R LOTS SCHEME D

*Perimeter Fencing, Gates, Minimal
 Parking Lot Modifications*

- Existing parking capacity: 379
- Total added parking capacity: **12**

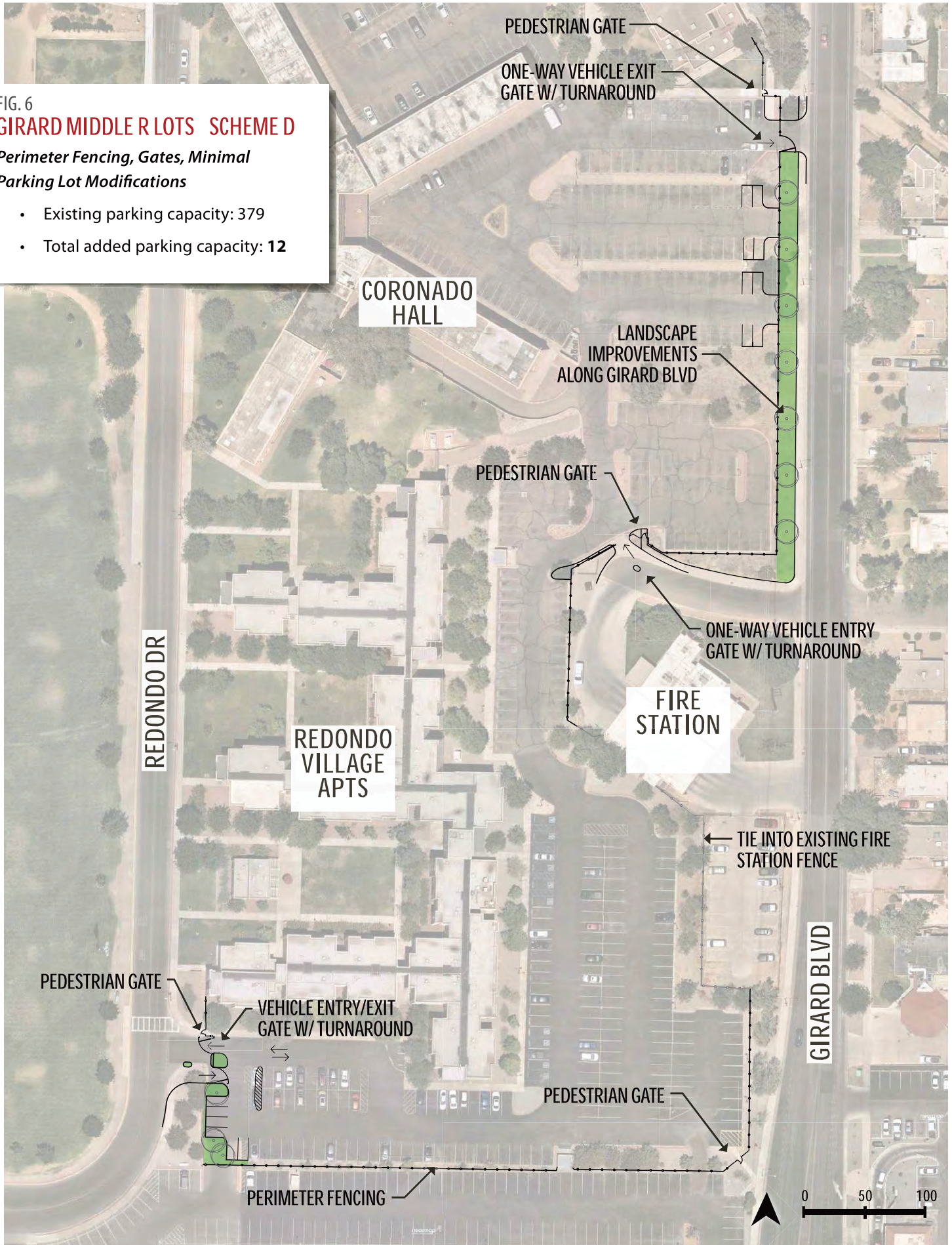


FIG. 8
GIRARD NORTH R LOT SCHEME B
*North Lot Restriping with 60-degree
Angled Parking*

- Existing parking capacity: 75
- Added parking capacity: **9**

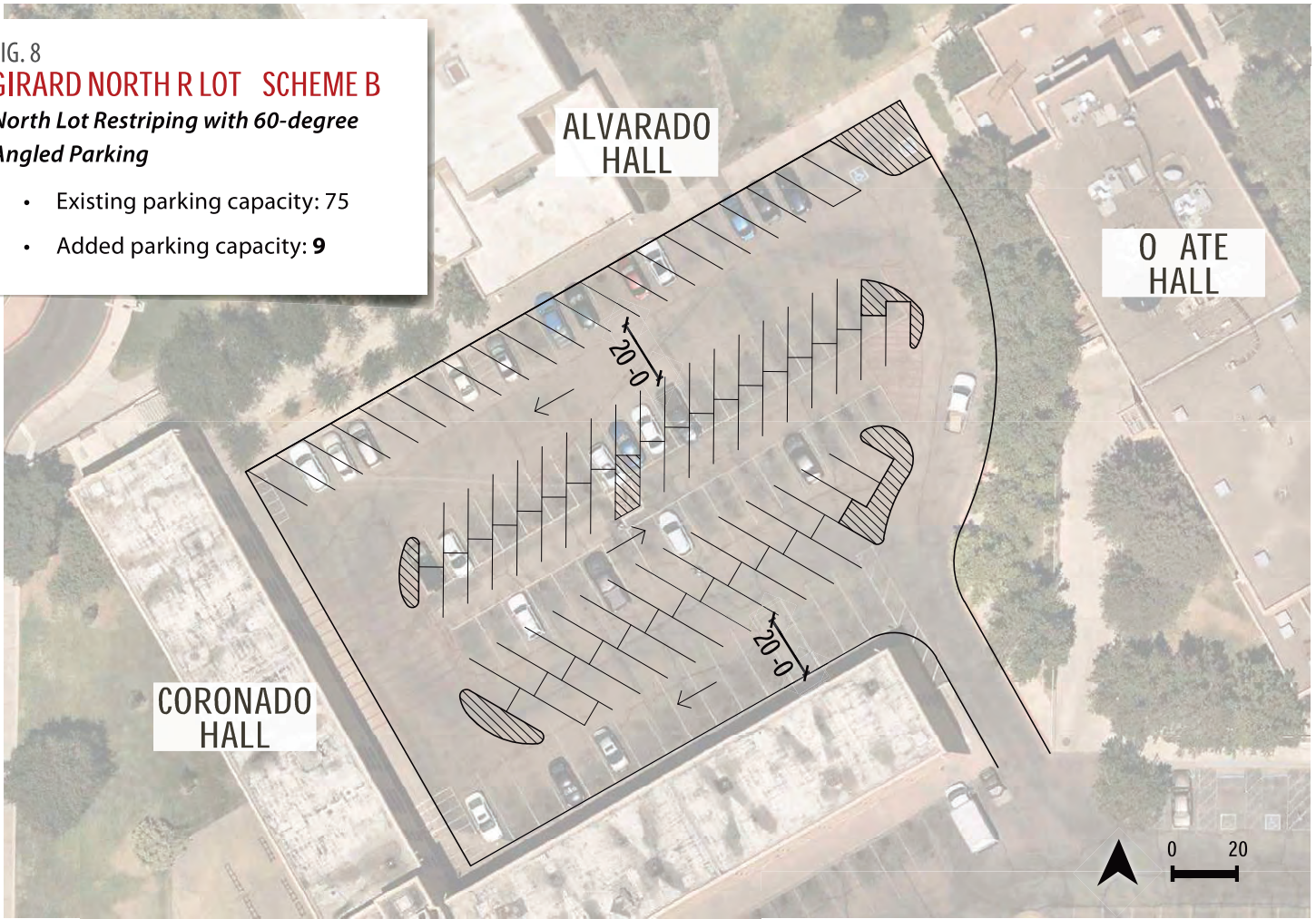
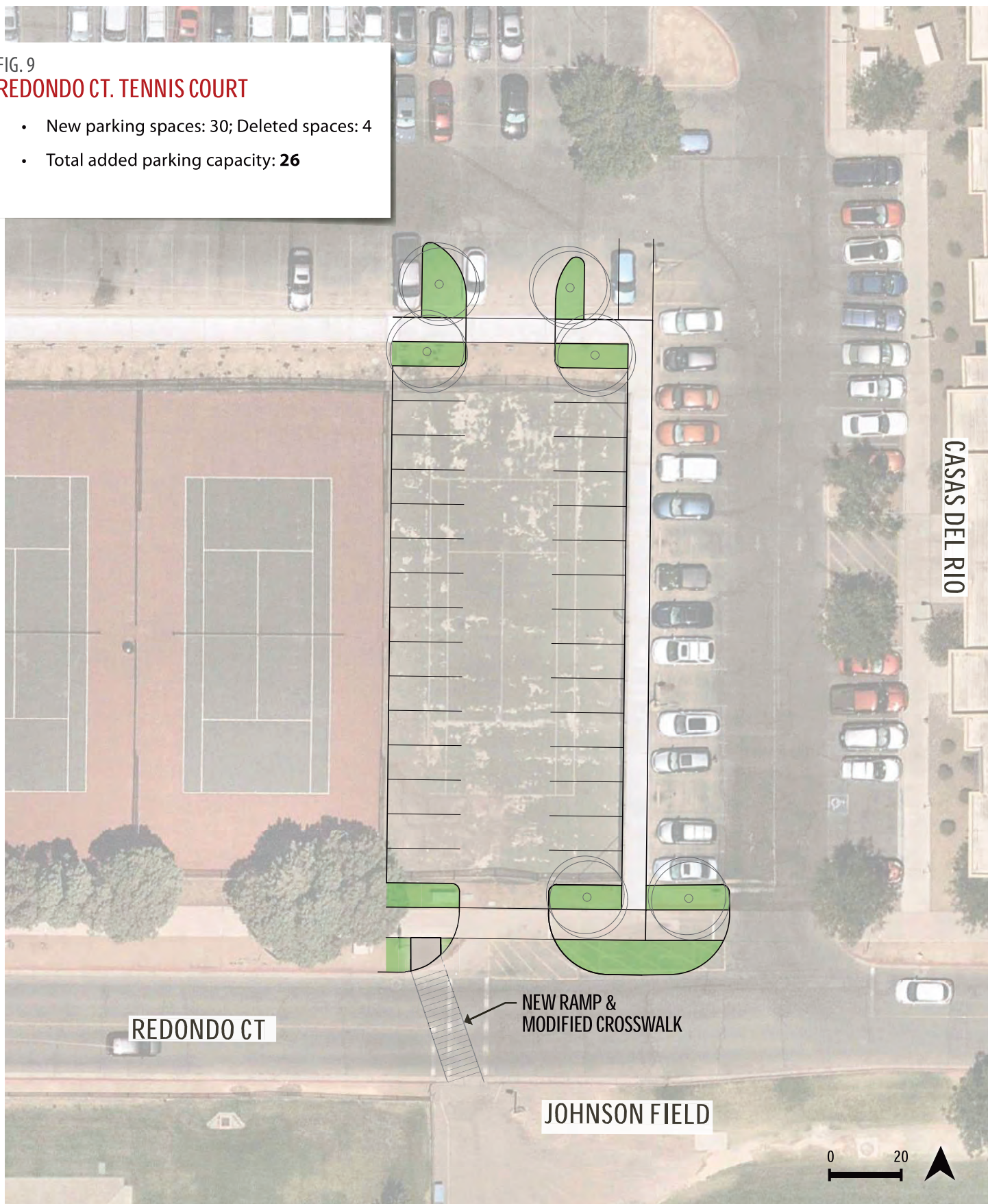


FIG. 9
REDONDO CT. TENNIS COURT

- New parking spaces: 30; Deleted spaces: 4
- Total added parking capacity: **26**



**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
CENTER FOR HIGH TECHNOLOGY MATERIALS LABS AIRFLOW SAFETY
MODIFICATIONS**

UNIVERSITY OF NEW MEXICO

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for Laboratory Airflow Safety Modifications to **Center for High Technology Materials Labs Airflow Safety Modifications on the Albuquerque South Campus.**

PROJECT DESCRIPTION:

The Center for High Technology Materials (CHTM) (Building # A0338) has 62,462 gross square feet and is composed primarily of research laboratories, with some administrative office spaces. The central core of the building comprises twenty-two research laboratories (159A-175B). The sealing of the lab ceilings, doors, and wall penetrations, and installing laboratory airflow controls will allow the labs to operate with variable airflow volumes (VAV). It will provide a safe Indoor Air Quality (IAQ) environment for the researchers in those labs. Additionally, converting the labs from constant volume (CV) airflow to variable airflow (VAV) will provide an energy-saving opportunity, as will replacing the lights in the labs with sealed, energy-saving LED light fixtures.

PROJECT RATIONALE:

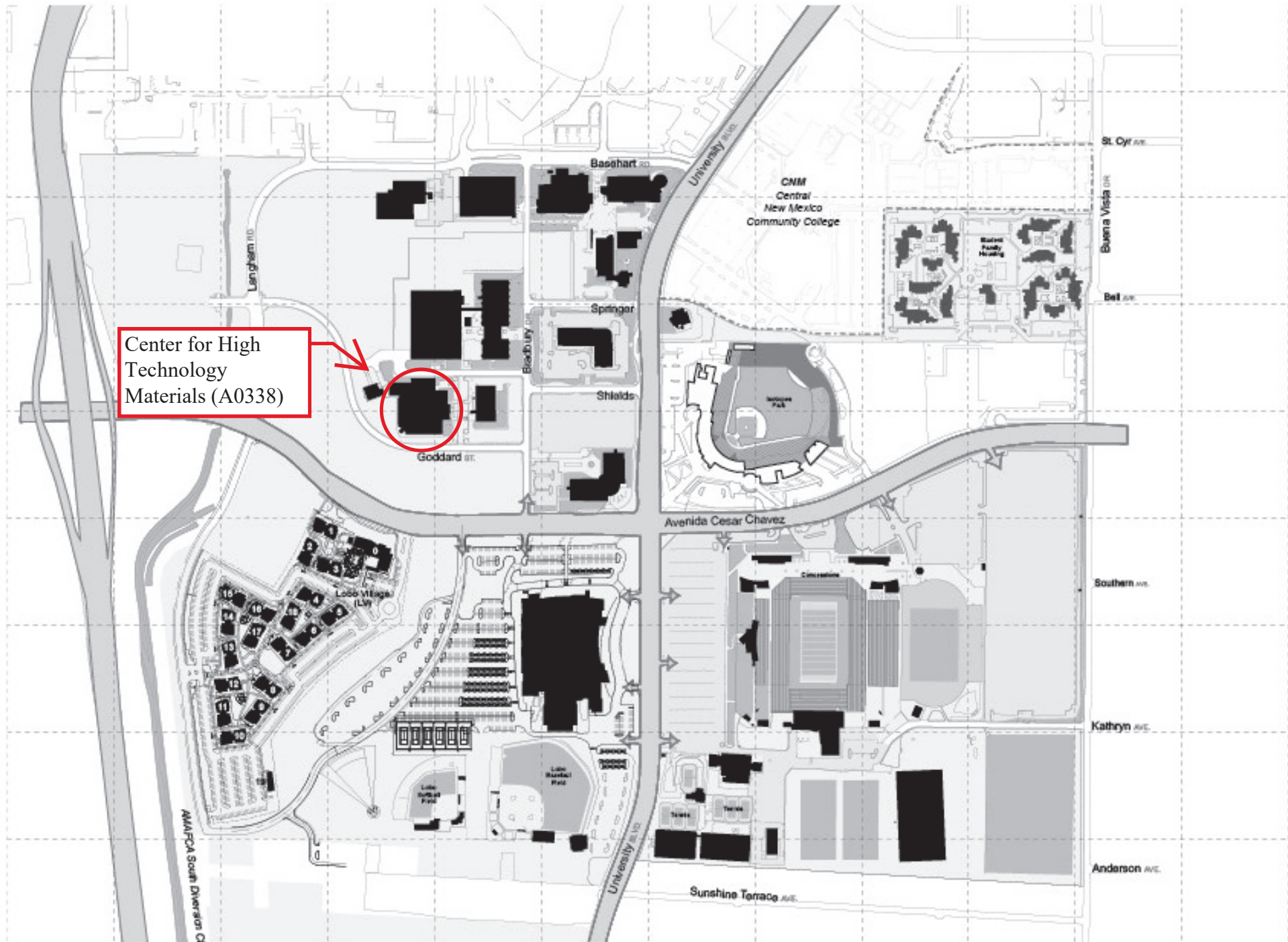
Most of the core laboratories in the CHTM Research Facility are not well sealed as secondary containments. There are multiple penetrations in the ceilings and walls, which prevent the space pressurizations from being maintained and defeat the purpose of the lab enclosure as a secondary containment. Also, airflows at the fume hoods and in the labs are based on constant-volume controls, which do not allow for continuous adjustments to ventilation levels, fume hood face velocities, room pressurization, temperature, cleanliness, and general laboratory airflow safety. This project will seal the CHTM laboratories and implement the UNM Lab Airflow Safety Standard to control airflow within the labs to provide safe ventilation, pressurization, containment, and temperature control. If this project is not approved, the labs will remain non-compliant with the UNM Laboratory Airflow Safety Standard.

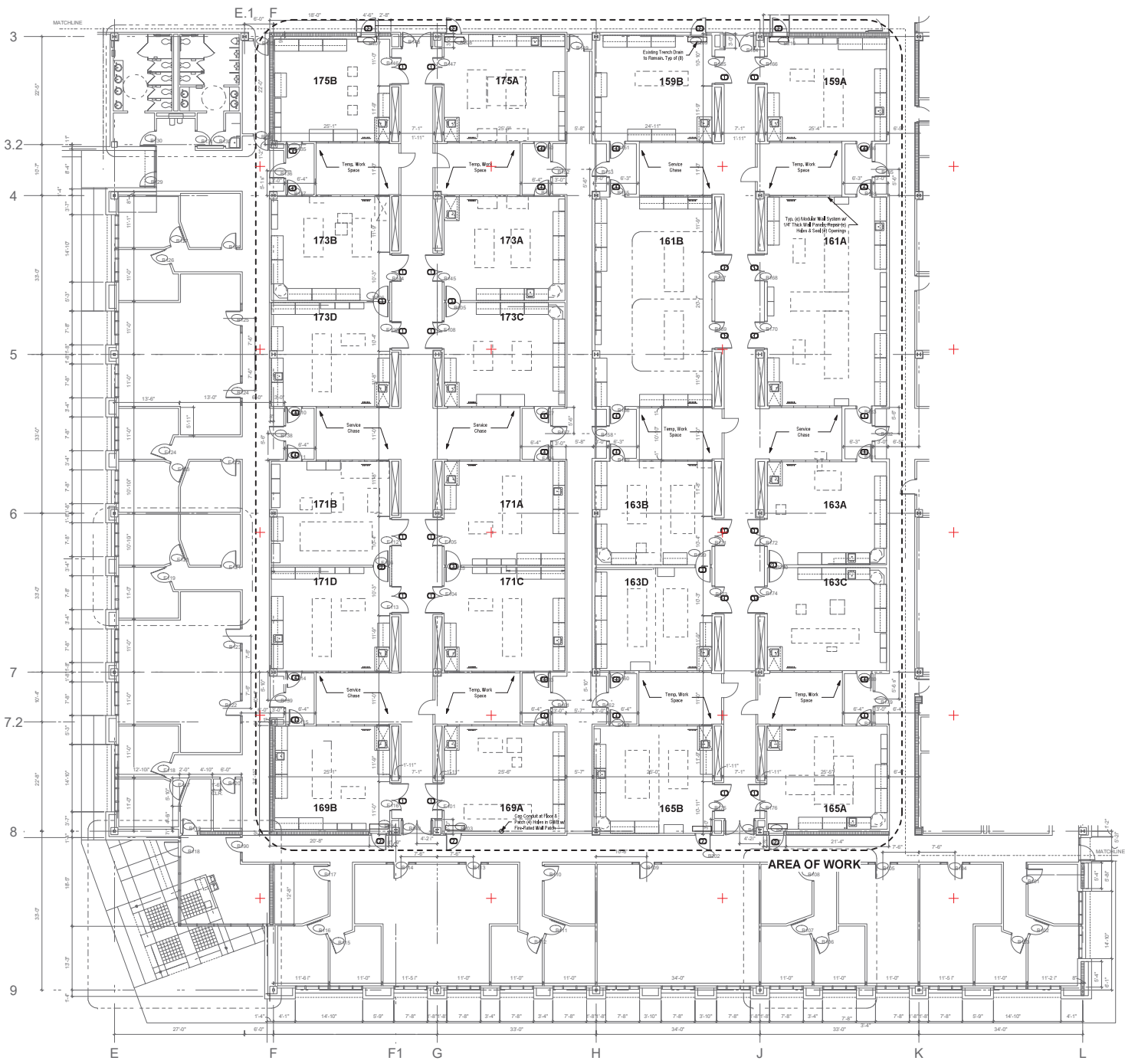
FUNDING:

The total estimated Project Budget is: \$1,500,000

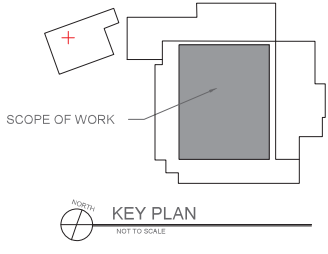
- \$1,500,000 is funded from FY25 Building Renewal & Replacement (BR&R)

The University of New Mexico - Albuquerque: South Campus





- Legend**
- ⊙ 8" x 42" 0" Hollow Metal Swing Door, PROVIDE VERTICAL SILENCE AT CENTER MEETING STRIP. PROVIDE SWEEPS FOR BOTH DOOR LEAFS.
 - ⊕ Solid Core Wood Swing Door, EMERGENCY EGRESS, NO WORK.
 - ⊙ Solid Core Wood Bi-Swing Door, PROVIDE SEALS AT HEAD, FENCE JAMB, STORM JAMB, SWEEP.
 - ⊙ Hollow Metal Swing Door, PROVIDE SWEEP.
 - ⊕ Type of each Lab, Electrical Closet for wireless conduit and through mod. and, PROVIDE SEAL.
 - ⊕ Hollow Metal Surface meeting needs.
- NOTES**
1. PERMANENT FINISH FLOOR, PROVIDE FIVE CALKING.
 2. TEMPORARY PRODUCT SPECIFIC FINISH FLOOR - PROVIDE RUBBER GASKETS.
 3. ABANDONED WALL HOLES - PROVIDE SEMI-RIGID PLUGS.

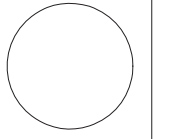


Floor Plan
Scale: 1/8" = 1'-0"
1

CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106

CAMP OVERDUR
ARCHITECTURE

1600 Lomas Blvd. NW
Albuquerque, NM 87104
505.742.4688
campoverdur@campoverdur.com

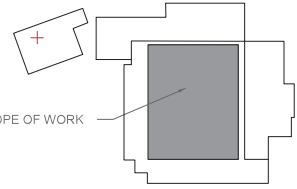


2ND FLOOR HVAC UPGRADES
DESIGN & HVAC REPLACEMENT
FIRST FLOOR LABS AND OFFICES

REV.	DESCRIPTION	DATE
A	50% DD PHASE	01-25-2023
DESIGNED		
DRAWN	CAC	
REVISED		2024
REVISION #		
DATE		01-2024



- Legend**
- # of Penetrations (if greater than 1)
 - Size of Penetration (if different than typ. in Legend)
 - Accompanying Penetrations (if any)
 - Type of Penetration per Legend Abbreviation
 - C Copper Pipe, (1/2" or 3/4")
 - RD Round Duct, (12" or 14")
 - F Fire Sprinkler Head
 - H Holes in Ceiling
 - RC Rigid Conduit, (2" or 1 1/2")
 - 100V 100V Ceiling Outlet
 - EP Black Rubber Power Cable (10" typ.)
 - LV Low Voltage Data Cable
 - STH Steel Pipe Jacketed Hoses, typ. in over-size penetrations (2" or 1 1/2")
 - Common Hand Cutout Trunk or Threaded Floor through Ceiling Structure in Grid Locations
 - Typical Recessed Ceiling Can Light - REMOVE FEATURE AND REPLACE CEILING TILE UNLESS NOTED OTHERWISE
 - Gypsum Board Ceiling
 - 2 x 4 Lay In Tile Ceiling
 - A Ceiling Out, 120V White Ties - Armoring "Punch Panel"
 - B Ceiling Fan, Insulated Gypsum 10" Ceiling Outlets Fan-Ceiling Gypsum
 - ⊠ Mechanical Supply Air Diffuser



NORTH
KEY PLAN
NOT TO SCALE

Reflected Ceiling Plan
Scale: 1/8" = 1'-0"

**CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK**
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106

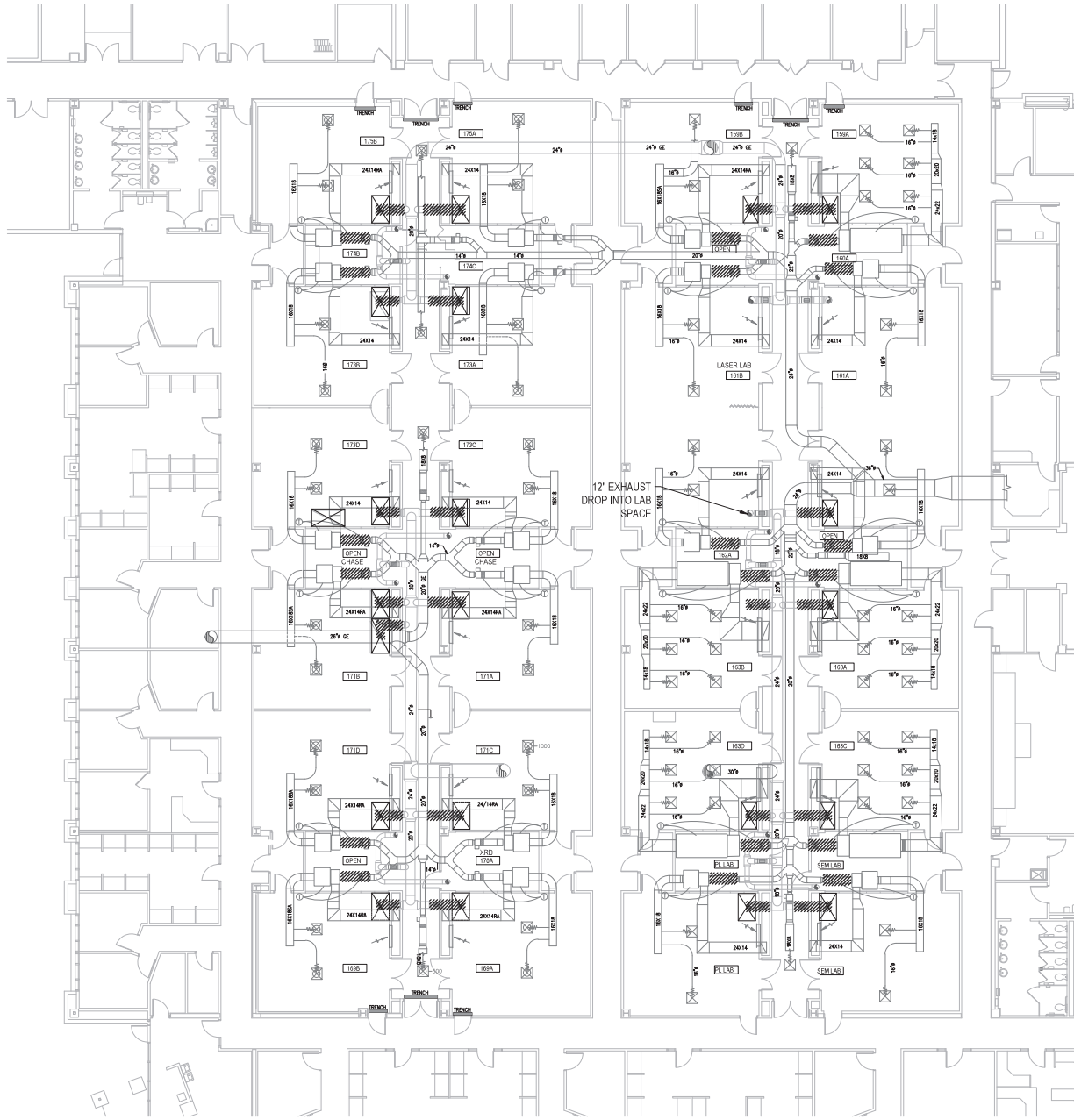
CAMPOVERDE ARCHITECTURE
1600 Lomas Blvd NE
Albuquerque, NM 87131
505.742.6984
camverdearchitect.com



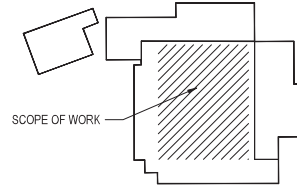
2ND FLOOR HVAC UPGRADES

**DESIGN & HVAC REPLACEMENT
FIRST FLOOR LABS AND OFFICES**

REV	DESCRIPTION	DATE
A	50% W/ DD PHASE	04-25-2023
DESIGNED		
DRAWN	CAC	
REVISED		2024
REVISION #		
DATE		01-20-2024



A1 MECHANICAL DEMOLITION PLAN - LABORATORIES ONLY
SCALE: 1/8" = 1'-0"



KEY PLAN
NOT TO SCALE

CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106



UNM PLANNING & CAMPUS DEVELOPMENT
Space Management

P.E. STAMP

LABORATORY VAV CONVERSION
MECHANICAL DEMOLITION PLAN
DESIGN, HVAC & LUMINAIRE UPGRADE
LABORATORIES ONLY

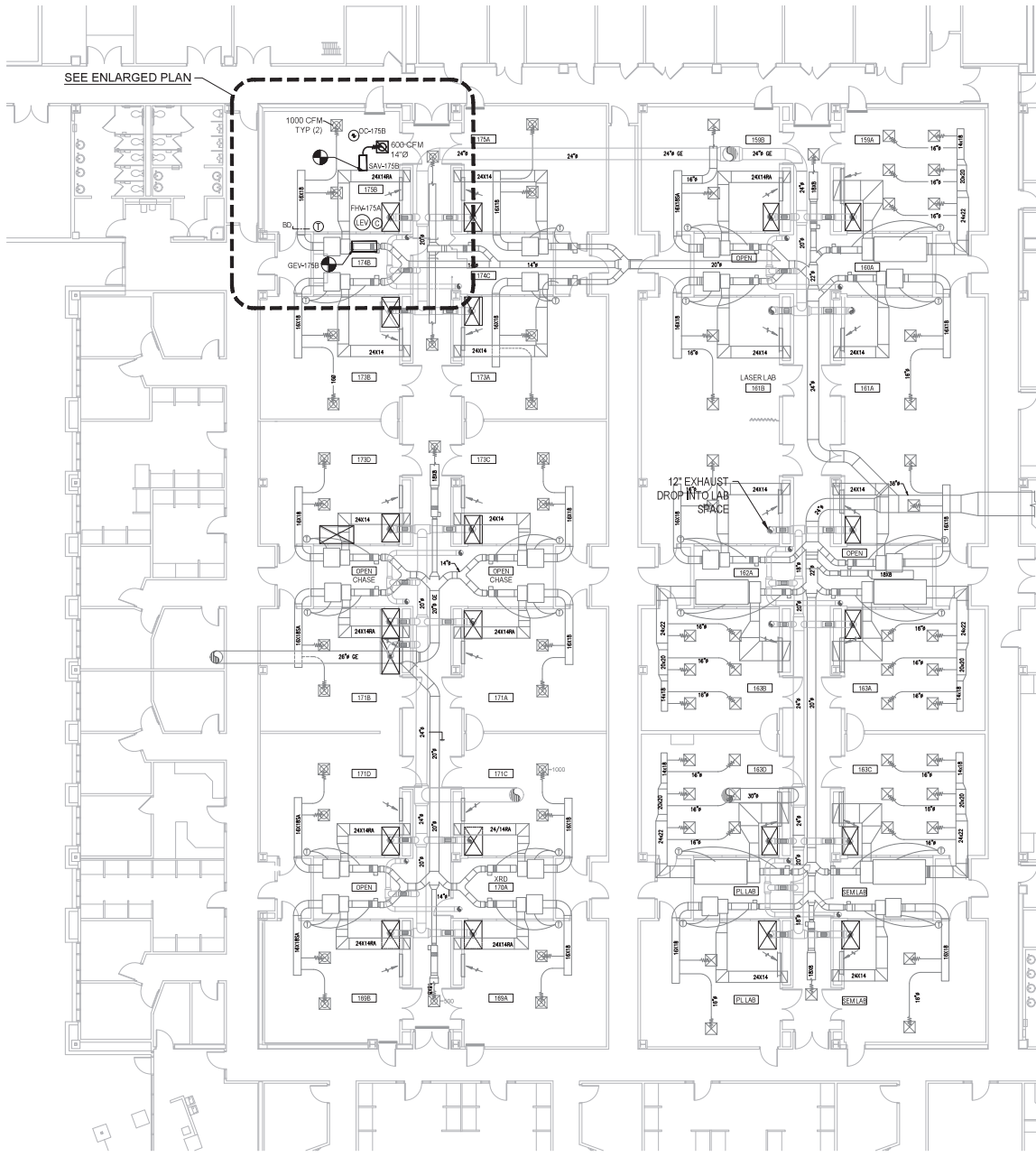
REV	DESCRIPTION	DATE
A	50% DD PHASE	09-01-2024
DESIGNED	RAQ	
DRAWN	NM	
REVISIED		2023
REVISION #		
DATE		10-2023

FILE: B #0338_23-111

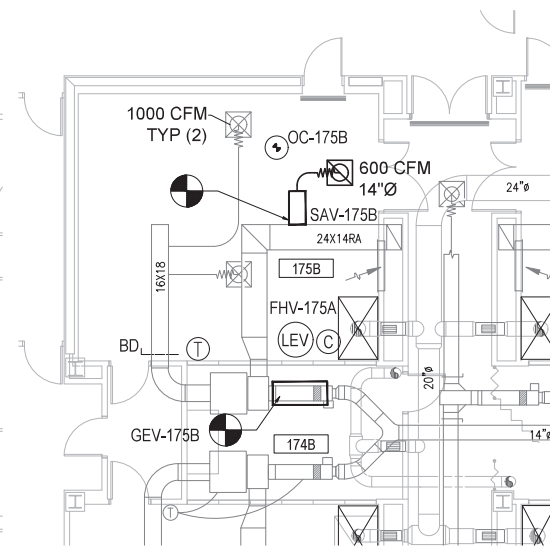
MD202

X of XX SHEETS

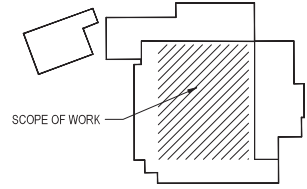
50% DD SET | 03-2024



A1 MECHANICAL NEW WORK PLAN - LABORATORIES ONLY
SCALE: 1/8" = 1'-0"



D1 PARTIAL ENLARGED PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NOT TO SCALE

CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106

PLANNING & CAMPUS DEVELOPMENT
Space Management

1400 ORTIZ DR SE ALBUQUERQUE NM 87105
WWW.O&EENGINEERING.COM

P.E. STAMP

LABORATORY VAV CONVERSION
MECHANICAL NEW WORK PLAN
DESIGN, HVAC & LUMINAIRE UPGRADE
LABORATORIES ONLY

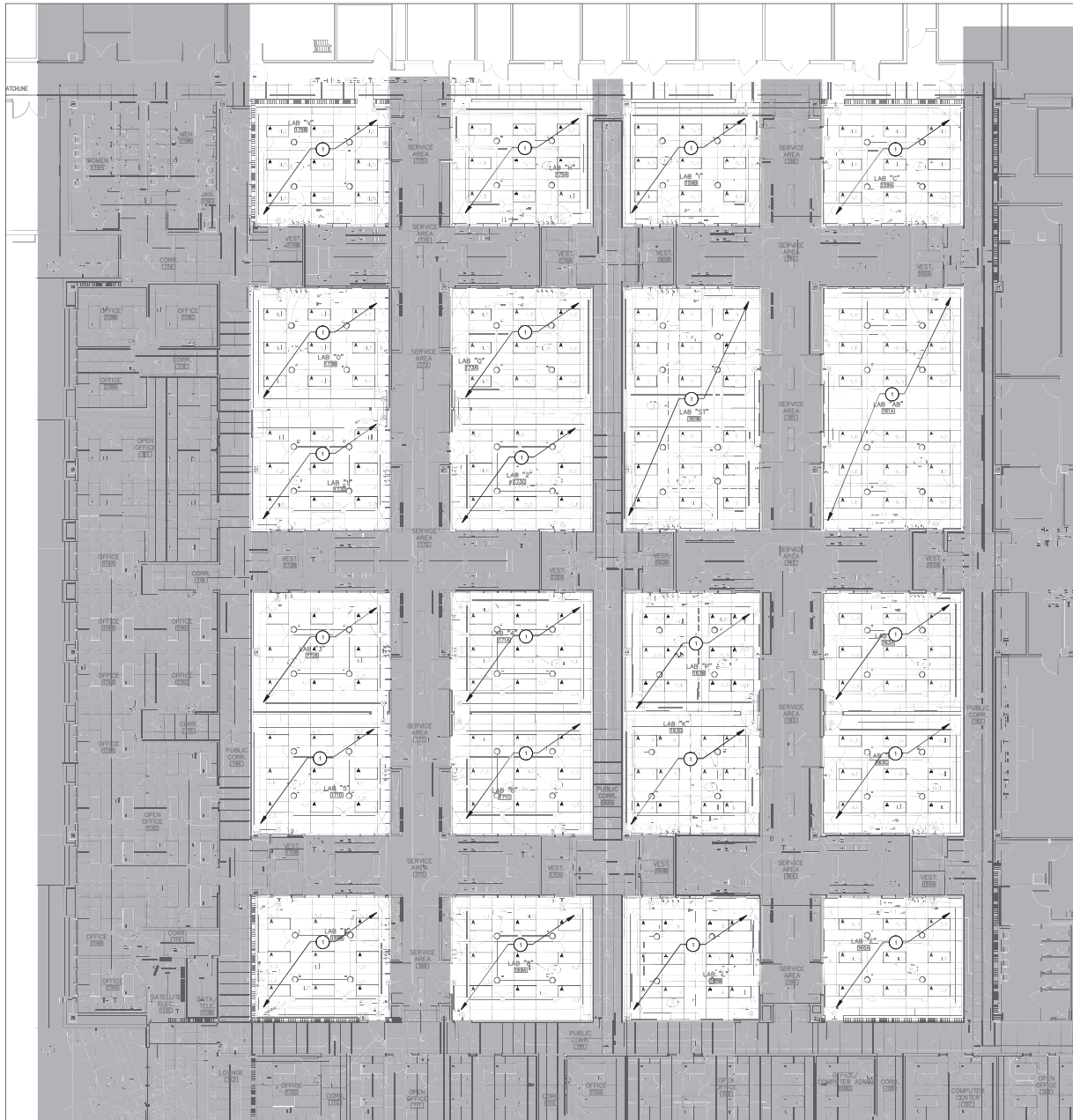
REV	DESCRIPTION	DATE
A	50% DD PHASE	04-01-2024
DESIGNED		RAQ
DRAWN		NM
REVISOR		2023
REVISION #		
DATE		10-2023

FILE: B #0338_23-111

M202

2 of XX SHEETS

50% DD SET | 03-2024



A1 LIGHTING FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

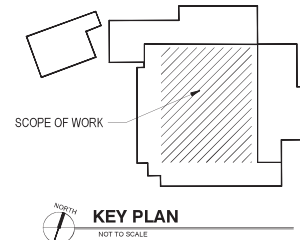


GENERAL NOTES

- A. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS. THIS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS.
- B. PERFORM ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND THE NATIONAL ELECTRICAL CODE (NEC). ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS WORK.
- C. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- D. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES.
- E. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- F. ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 VOLTS WITH TYPE THHN/THWN, 90 DEGREE INSULATION UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG FOR POWER CIRCUITS. CONDUCTORS SHALL BE SOLID WIRE FOR #12 AWG AND STRANDED FOR #10 AWG OR LARGER. ALL WIRING SHALL BE RUN IN CONDUIT INCLUDING LOW VOLTAGE CONTROL WIRING. SIGNAL WIRING MAY BE RUN IN PVC CONDUIT OR PVC FLEXIBLE TUBING.
- G. GENERALLY CONDUIT SHALL BE EMT, 1/2" MINIMUM. IN AREAS SUBJECT TO DAMAGE CONDUIT SHALL BE RIGID OR IMC TYPE. ALL CONDUIT SHALL BE CONCEALED UNLESS NOTED OTHERWISE.
- H. SUPPORT ALL CONDUIT INDEPENDENTLY FROM THE BUILDING STRUCTURE. DO NOT SUPPORT FROM VENTILATION DUCTS, MECHANICAL PIPING, SUSPENDED CEILING GRIDS, OR THEIR HANGERS. USE NEC ACCEPTABLE METHODS OF SUPPORT.
- I. INSTALL EXTERIOR WIRING AND DEVICES IN CONDUIT WITH WEATHERPROOF FITTINGS AND IN WEATHERPROOF BOXES. ALL DEVICES AND EQUIPMENT SHALL BE RATED FOR EXTERIOR USE. MAINTAIN A MINIMUM OF 24 INCH SEPARATION BETWEEN POWER CONDUITS AND SIGNAL CONDUITS AS PRACTICAL. ROUTE CONDUITS TO NOT CROSS EACH OTHER.
- J.

KEYED NOTES

- 1. DEMO ALL LIGHTING AND LIGHTING CONTROLS IN LAB. EXISTING FEEDERS AND CONDUIT TO REMAIN FOR RECONNECTION TO NEW LIGHTING. EXIT SIGN AND EMERGENCY WALL PACK TO REMAIN. PROTECT IN CURRENT LOCATION.



CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106



1400 ORTIZ DR SE (ALBUQUERQUE) NM 87105
WWW.OAENGINEERING.COM

UNM PLANNING & CAMPUS DEVELOPMENT

P.E. STAMP

LABORATORY VAV CONVERSION
LIGHTING DEMOLITION PLAN
DESIGN, HVAC & LUMINAIRE UPGRADE
LABORATORIES ONLY

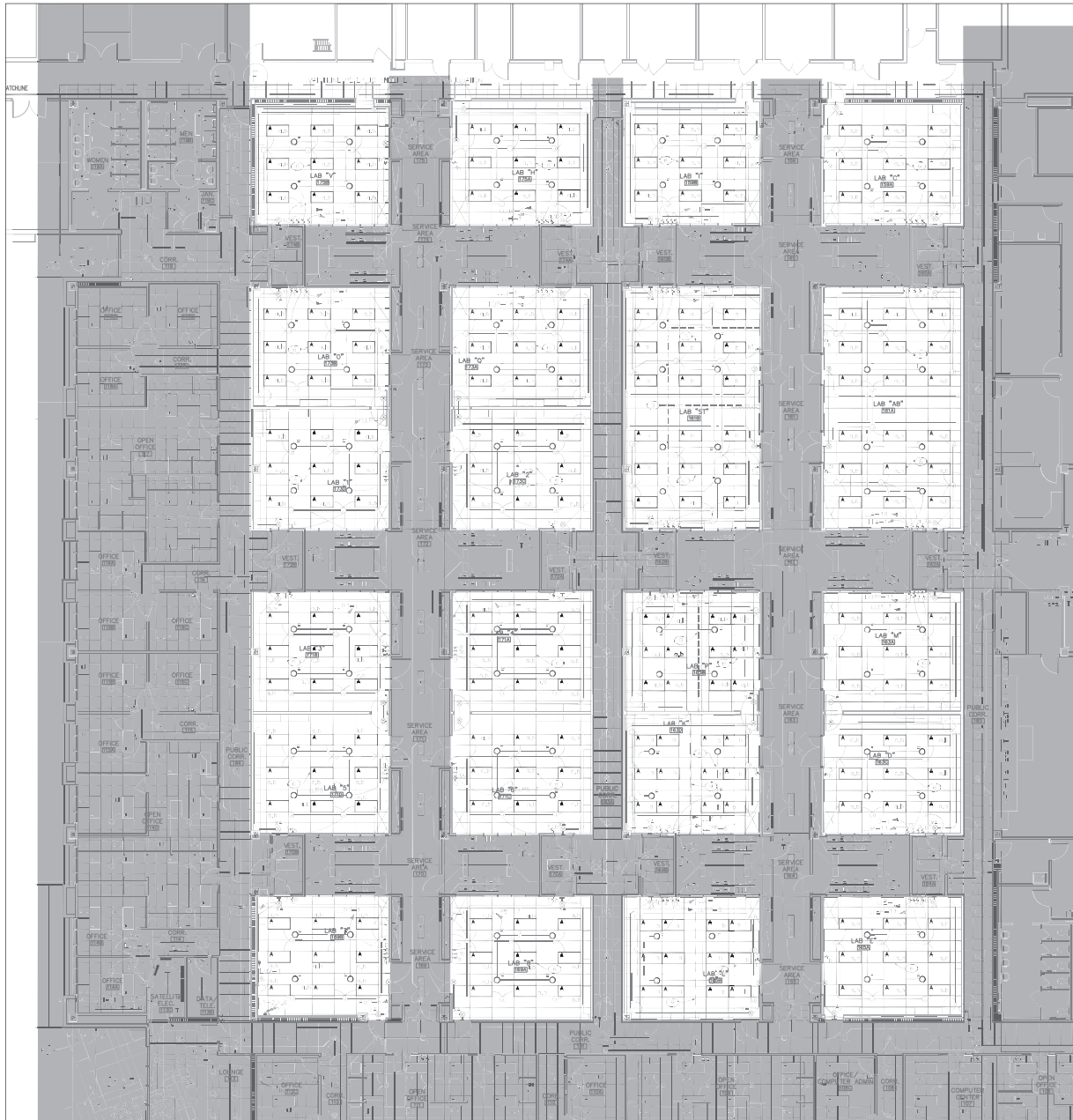
REV.	DESCRIPTION	DATE
A	50% DD PHASE	04-13-2024
DESIGNED	RAQ	
DRAWN	NM	
REVISED	2023	
REVISION #		
DATE		10-2023

FILE: B #0338_23-111

ED202

2 of XX SHEETS

50% DD SET | 03-2024



A1 LIGHTING INSTALLATION PLAN
SCALE: 1/8" = 1'-0"

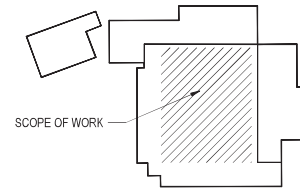


GENERAL NOTES

- A. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS. THIS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS.
- B. PERFORM ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND THE NATIONAL ELECTRICAL CODE (NEC), ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS WORK.
- C. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- D. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES.
- E. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
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- H. SUPPORT ALL CONDUIT INDEPENDENTLY FROM THE BUILDING STRUCTURE. DO NOT SUPPORT FROM VENTILATION DUCTS, MECHANICAL PIPING, SUSPENDED CEILING GRIDS, OR THEIR HANGERS. USE NEC ACCEPTABLE METHODS OF SUPPORT.
- I. INSTALL EXTERIOR WIRING AND DEVICES IN CONDUIT WITH WEATHERPROOF FITTINGS AND IN WEATHERPROOF BOXES. ALL DEVICES AND EQUIPMENT SHALL BE RATED FOR EXTERIOR USE.
- J. MAINTAIN A MINIMUM OF 24 INCH SEPARATION BETWEEN POWER CONDUITS AND SIGNAL CONDUITS AS PRACTICAL. ROUTE CONDUITS TO NOT CROSS EACH OTHER.

KEYED NOTES

- 1. XXXXXXXXXXXXXXXX



KEY PLAN
NOT TO SCALE

CENTER for HIGH TECHNOLOGY MATERIALS
SCIENCE AND TECHNOLOGY PARK
1313 Goddard Street SE | Building 0338 | Albuquerque, NM 87106



1400 ORTIZ DR SE (ALBUQUERQUE) NM 87105
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UNM PLANNING & CAMPUS DEVELOPMENT
Space Management

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LABORATORY VAV CONVERSION
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DESIGN, HVAC & LUMINAIRE UPGRADE
LABORATORIES ONLY

REV.	DESCRIPTION	DATE
A	50% DD PHASE	04-03-2024
DESIGNED	RAQ	
DRAWN	NM	
REVISED	2023	
REVISION #		
DATE	10-2023	

FILE: B #0338_23-111

E202

2 of XX SHEETS

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
PARISH LIBRARY SPACE UPGRADE FOR RELOCATIONS
UNIVERSITY OF NEW MEXICO
May 2, 2024**

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Parish Library Space Upgrade for Relocations on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

Parish Library (A0087) will be used as a surge space for students, staff, and faculty currently occupying the Humanities Building, which will be demolished in the Winter of 2024-25. This project will renovate 12,077 sf in the basement and 5,873 sf on the first floor totaling 17,950 square feet, these spaces will provide one hundred and fourteen (114) workstations or cubicles with associated data and electrical, as temporary surge space.

PROJECT RATIONALE:

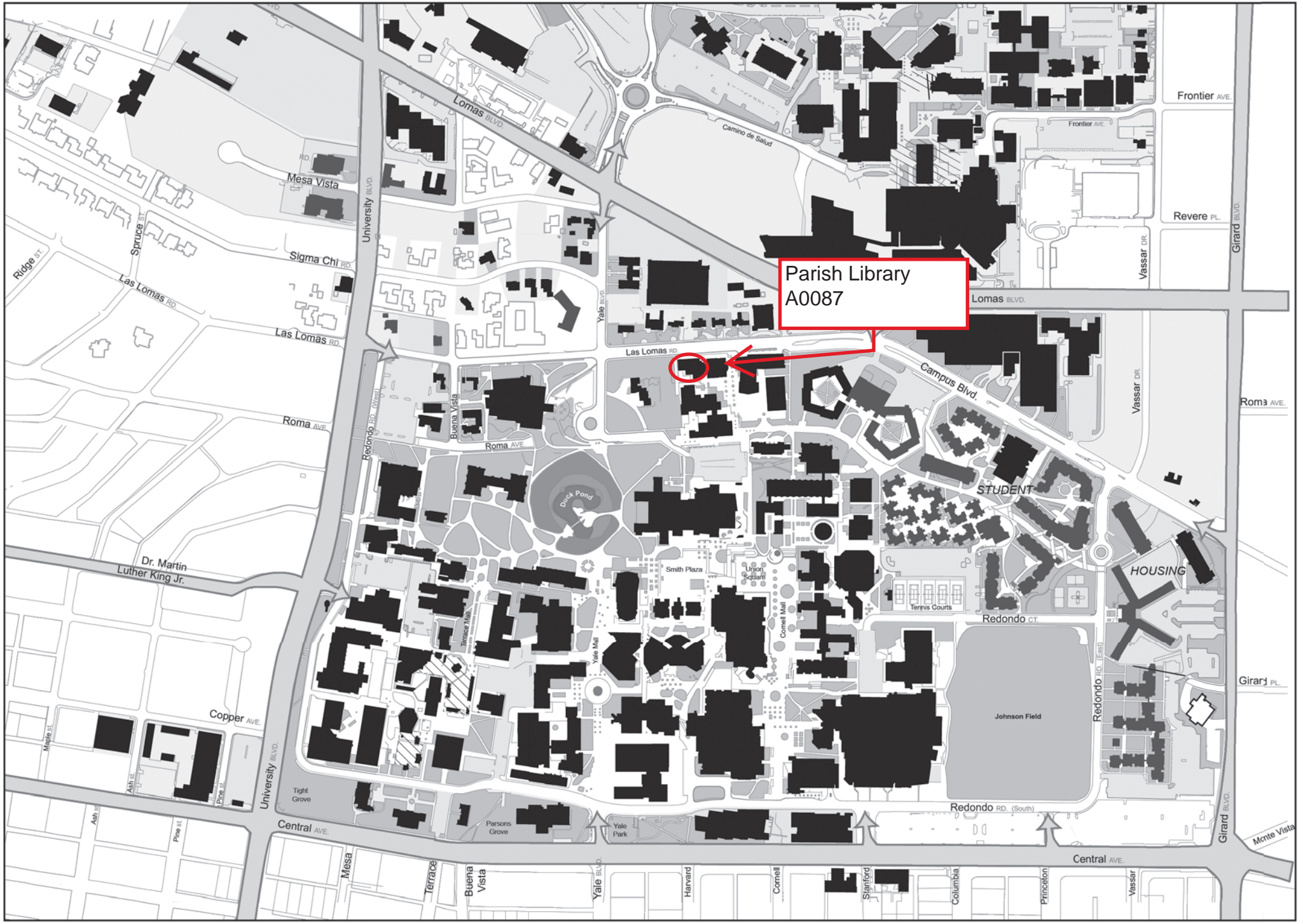
The Humanities building is home to many academic departments that support the core curriculum. This project will provide temporary office space to use while the new Humanities & Social Sciences Complex is being constructed. If this project does not receive approval, there will be no surge space for the current occupants of the Humanities building.

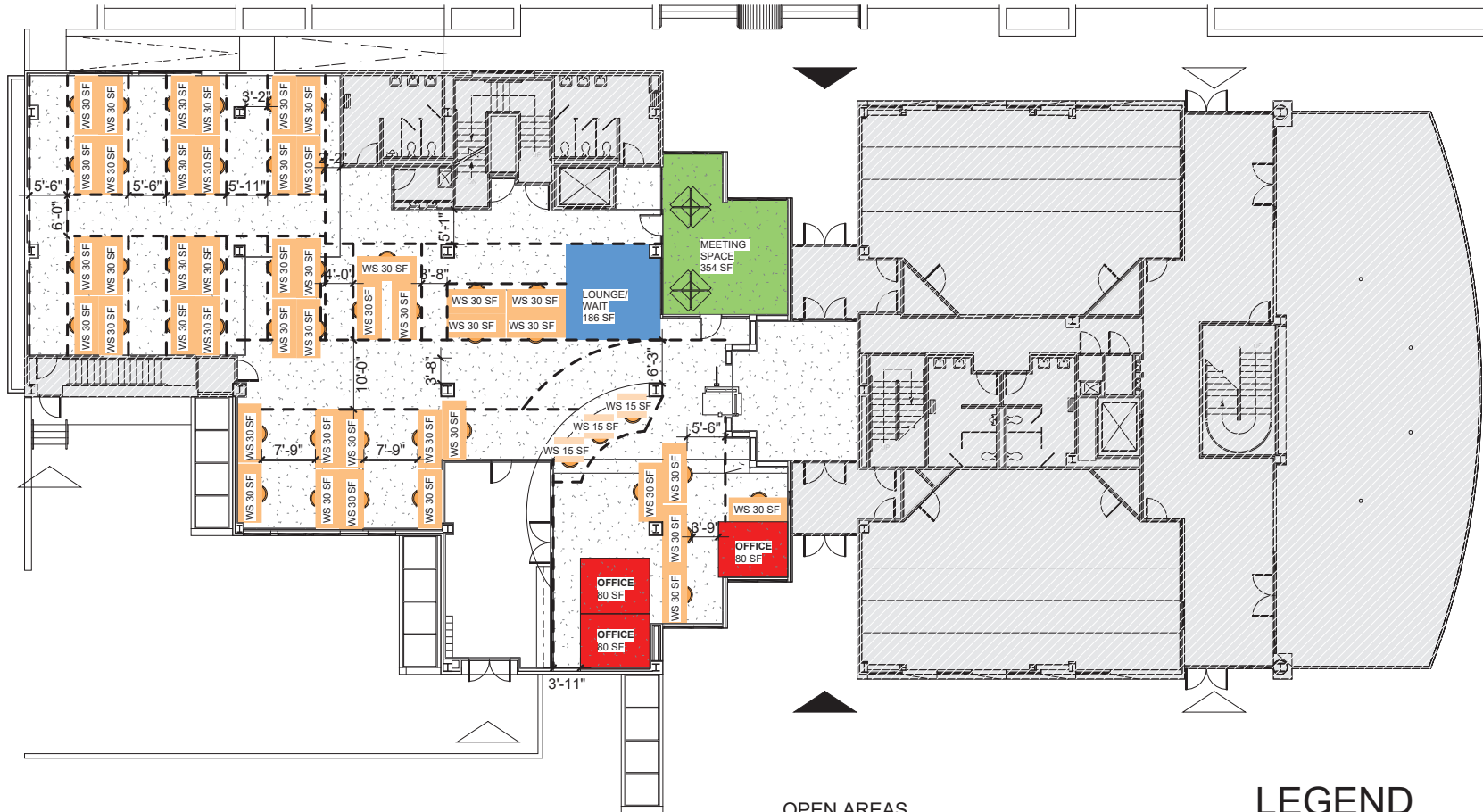
FUNDING:

The total estimated Project Budget is \$1,256,792

- \$1,256,792 is funded from Provost Office Reserves Funding

The University of New Mexico - Central Campus





OPEN AREAS

NUMBER OF AREAS: 1
 SQUARE FOOTAGE: 5,873 SF
 - CAN CONTAIN 3 OFFICES @ 80 SF
 - CAN CONTAIN 45 WS @ 30 SF
 - CAN CONTAIN 3 WS @ 15 SF

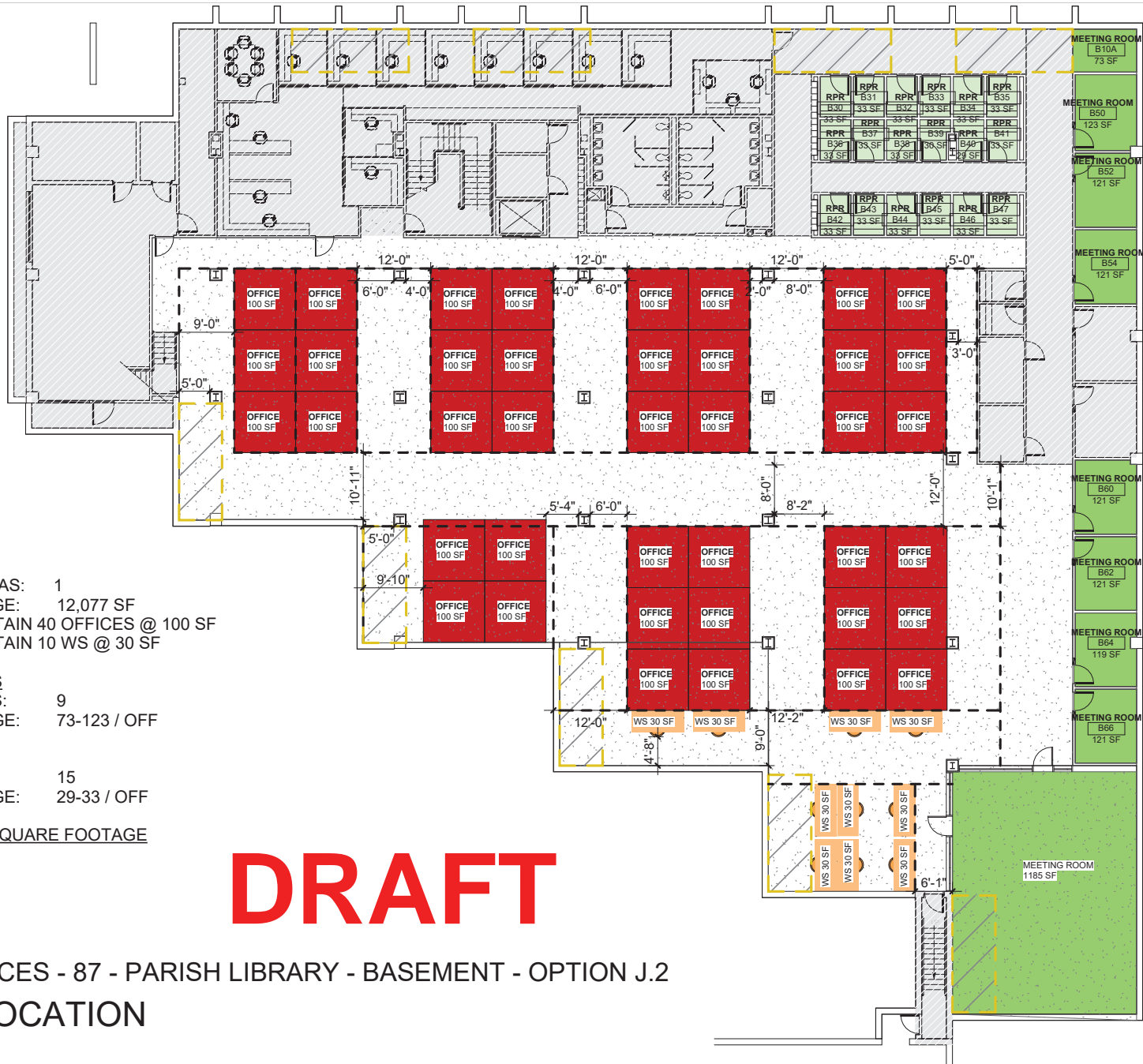
TOTAL USABLE SQUARE FOOTAGE
 NSF - 1,700 SF
 GSF - 5,873 SF

LEGEND

- CIRCULATION PATHWAY
- AREA - NOT PART OF RELOCATION
- WALKWAY
- WORKSTATION - 45 WS 30 SF
- WORKSTATION - 3 WS 15 SF
- OFFICE - 80 SF - 3 OFFICES
- LOUNGE / WAITING
- MEETING ROOM

SURGE SPACES - 87 - PARISH LIBRARY - 1ST FLOOR
 HSS RELOCATION

DRAFT



LEGEND

- CIRCULATION PATHWAY
- AREA - NOT PART OF RELOCATION
- RPR - RESERVABLE PRIVATE ROOM
- MEETING ROOM
- WALKWAY
- SKYLIGHT ABOVE
- OFFICE - 100 SF - 40 OFFICES
- WORKSTATION - 30 SF - 23 WS

OPEN AREAS
 NUMBER OF AREAS: 1
 SQUARE FOOTAGE: 12,077 SF
 - CAN CONTAIN 40 OFFICES @ 100 SF
 - CAN CONTAIN 10 WS @ 30 SF

MEETING ROOMS
 MEETING ROOMS: 9
 SQUARE FOOTAGE: 73-123 / OFF

OTHER AREAS
 R.P.R. 15
 SQUARE FOOTAGE: 29-33 / OFF

TOTAL USABLE SQUARE FOOTAGE
 NSF - 5,708 SF
 GSF - 14,230 SF

DRAFT

SURGE SPACES - 87 - PARISH LIBRARY - BASEMENT - OPTION J.2
 HSS RELOCATION



4/17/2024 5:01:28 PM

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
FOOTBALL FIELD REPLACEMENT AT THE INDOOR PRACTICE FACILITY
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Football Field Replacement at the Indoor Practice Facility on the Albuquerque South Campus.**

PROJECT DESCRIPTION:

The Indoor Practice Facility (A0354) is used by all UNM Athletics teams for training and practice. This project will replace approximately 96,000 square feet of artificial turf on the football field used for practices located southeast of the University Stadium in the Indoor Practice Facility. The project will remove artificial turf, infill of sand and rubber, and replace it with new turf, infill, and sand. The replacement turf will have football field playing lines and logos inlaid in the turf.

PROJECT RATIONALE:

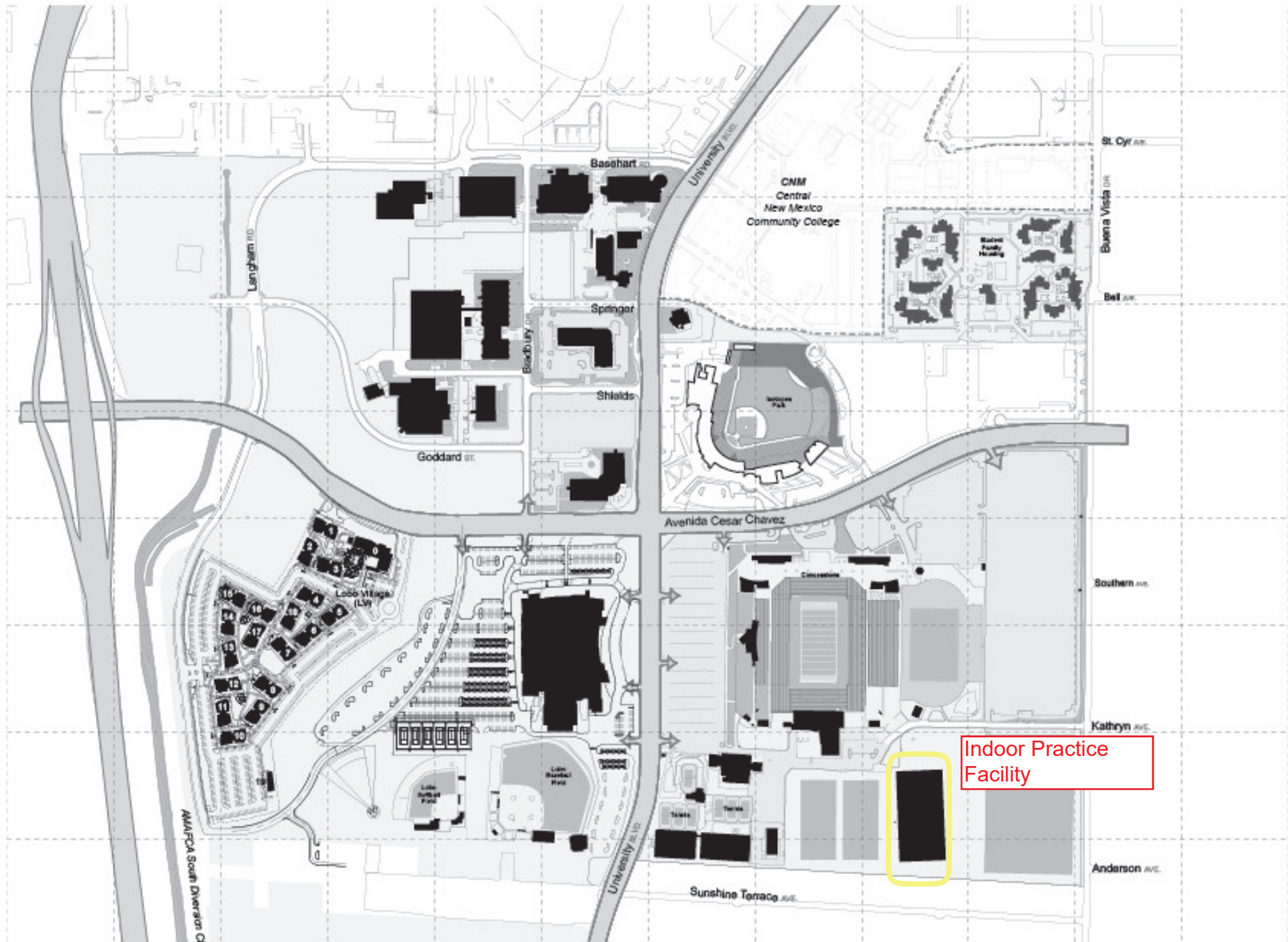
The turf replacement is needed to provide safe and high-level facilities to the UNM sports programs and student-athletes. The original artificial turf was installed in June of 2007 and is past its life expectancy. Indoor turf fields are expected to last a maximum of ten years. After this time, grass blade fibers deteriorate, and the infill becomes compact. Aging turf increases the risk of soft tissue injuries to ligaments, tendons, muscles, and ground impact injuries for UNM student-athletes. If approval is not given, Athletics would be forced to use a substandard playing surface for NCAA practices.

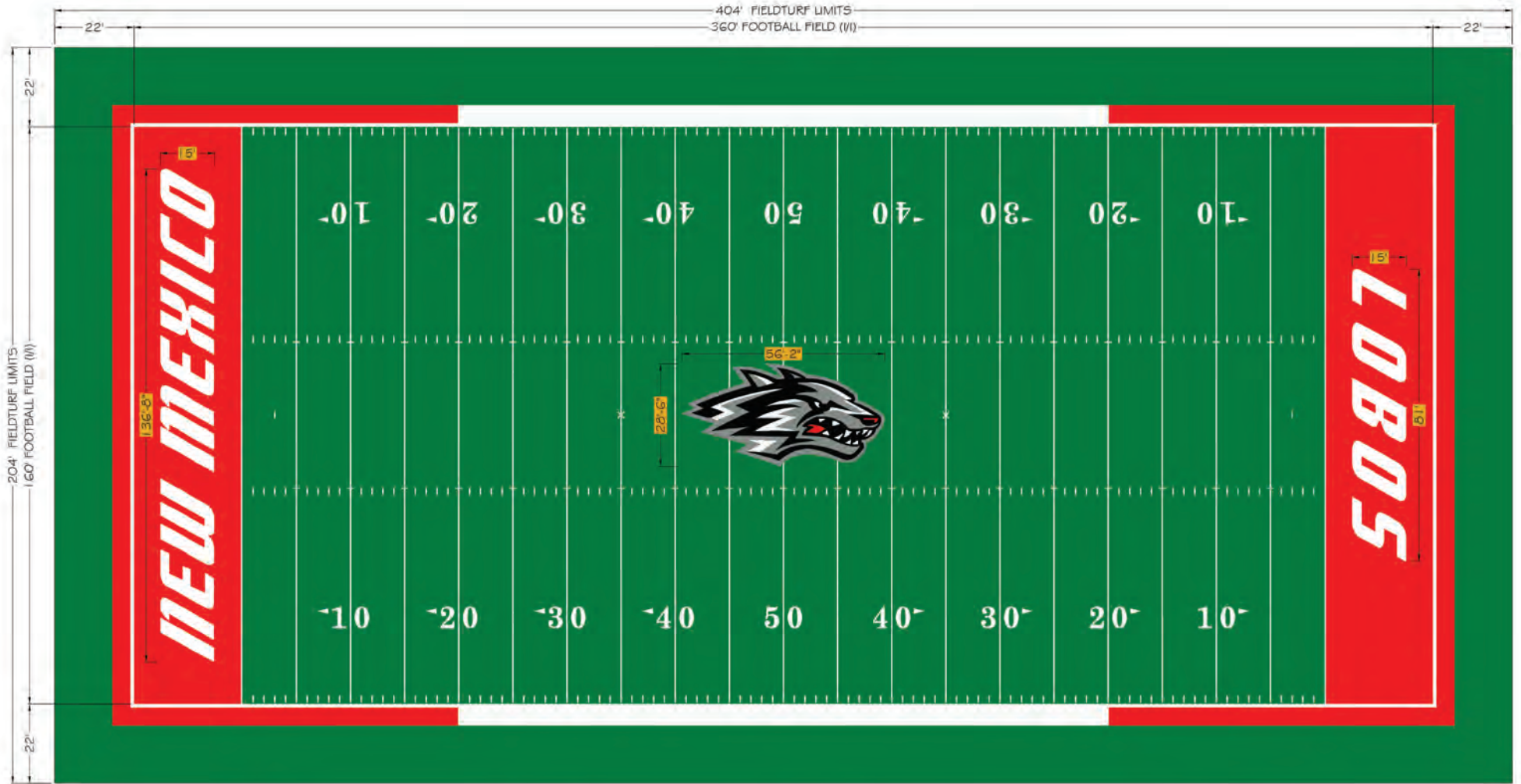
FUNDING:

The total estimated Project Budget is: \$1,000,000.00

- \$945,000.00 is funded from FY23 Severance Tax Bonds
- \$55,000.00 is funded from FY24 Severance Tax Bonds

The University of New Mexico - Albuquerque: South Campus





APPROVED BY:

SIGNATURE:

PRINTED NAME:

TITLE:

DATE:

SPORT COLORS:

 FOOTBALL
COMPLETE COLOR NAME: WHITE / RED
PANTONE COLOR NUMBER: WHITE / 185C

LOGO COLORS:

 COMPLETE COLOR NAME: BLACK
PANTONE COLOR NUMBER: BLACK

 COMPLETE COLOR NAME: WHITE
PANTONE COLOR NUMBER: WHITE


 COMPLETE COLOR NAME: SILVER
PANTONE COLOR NUMBER: 423C

 COMPLETE COLOR NAME: RED
PANTONE COLOR NUMBER: 185C

END ZONE COLOR:

 COMPLETE COLOR NAME: RED
PANTONE COLOR NUMBER: 185C

LEGEND:

 FIELD GREEN FIELDTURF
82,416 sq. ft.

FIELD LAYOUT NOTES:

FOOTBALL MARKINGS ARE 4" WHITE / RED NON-STANDARD.

ALL DIMENSIONS TO BE VERIFIED BEFORE ANY CONSTRUCTION BEGINS.

CONCEPTUAL DRAWINGS ONLY: DRAWINGS ARE INTENDED ONLY TO BE A GRAPHIC RENDERING FOR PURPOSES OF PRELIMINARY PRESENTATION;
ALL DISTANCES AND MEASUREMENTS ARE APPROXIMATE IN NATURE AND SUBJECT TO FIELD VERIFICATION.

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
CENTER FOR THE ARTS – FIRE PROTECTION UPGRADE PROJECT – PHASE II
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Center for the Arts – Fire Protection Upgrade Project – Phase II, on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The Center for the Arts (#A0062) is the renowned destination for all cultural arts within the State of New Mexico. The approximate 374,779 GSF facility houses performance spaces, a museum-quality art gallery, multiple rehearsal spaces, as well as numerous classroom and office spaces.

The project is Phase II will renovate the existing building's fire protection system. The existing wet pipe fire protection system will be extended to provide overhead automatic fire sprinkler coverage to areas without coverage on the ground floor, second-floor, and third-floor levels of this facility. Construction includes new risers, mains, branch lines, sprinkler heads, and floor control assemblies. The new system will be reviewed and accepted by the NM State Fire Marshal's Office pre and post-construction. Phase I was completed in the Summer, of 2023, and most likely two additional phases will be required, depending on the budget.

PROJECT RATIONALE:

A primary university initiative is to update building life safety systems for all facilities. There are many institutional groups, such as the Department of Art, Department of Cinematic Arts, Department of Music, Department of Theatre & Dance, and the UNM Art Museum which utilize this building on an almost continuous basis. Additionally, the facility hosts local grade school students, community organizations, and various national traveling companies throughout the full calendar year.

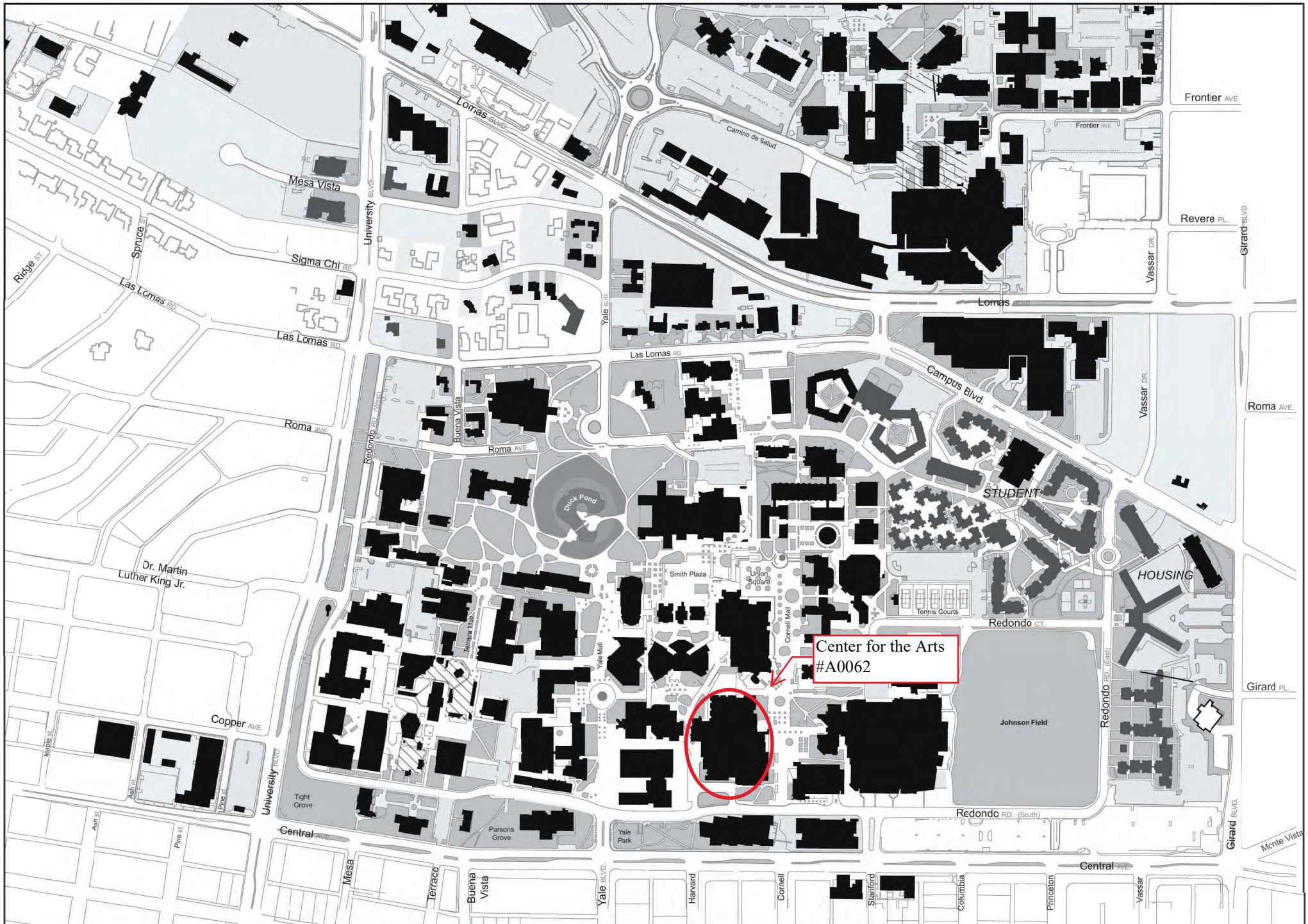
Without this project, the University is inheriting an extreme risk during an emergency fire scenario. Automatic sprinkler protection must be expanded to as many spaces as possible within the available funding. Currently, the upper floor levels lack any water-based fire protection system, and the maximum allowable coverage area per sprinkler riser is greatly exceeded. This project will correct some of those industry-standard deficiencies.

FUNDING:

The total estimated Project Budget is \$1,000,000.00:

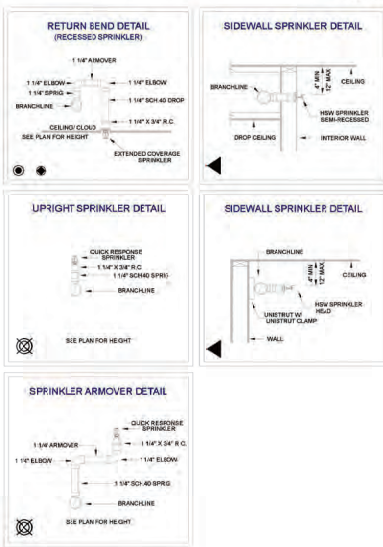
- \$1,000,000.00 is funded from FY25 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



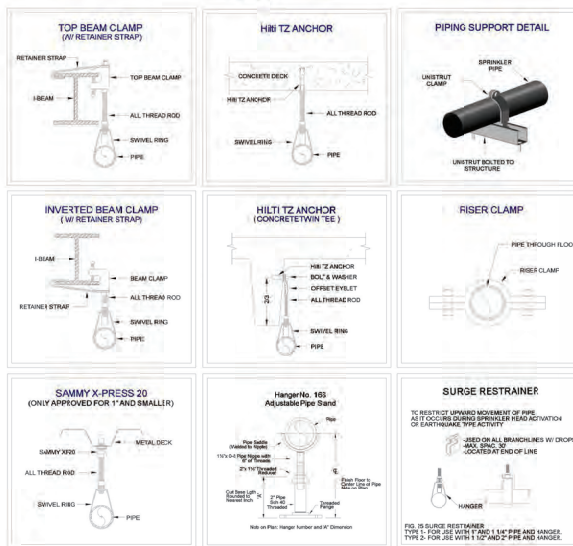
SPRINKLER PIPING DETAIL

N.T.S.



HANGER DETAILS

N.T.S.



SEISMIC BRACING:

- Flexible Couplings**
- no clearance is required around the pipe passing through walls, floors or foundations. If flexible couplings are located within 2' of the wall, floor or foundation.
 - only on 2" pipe and larger
 - within 24" of top and bottom of risers
 - within 12" top of floor
 - within 24" bottom of floor
 - within 24" of solidblock walls
 - within 24" of expansion joints
- Sway Bracing**
- installed on all mains and crossmains regardless of size
 - installed on all mains and branchlines: 1/2" and larger
 - lateral brace every 40', within 6" to end of pipe
 - longitudinal brace every 80', within 40" end of pipe
- Branchlines:**
- not required if less than 2" in diameter
 - sprgs over 4 must be sway braced
- Hangers:**
- retaining straps must be installed on every top beam clamp
 - see surge restraining not on top beam hanger detail
 - anchors 4 way brace for vertical mains
 - anchors lateral brace every 40', within 6" to end of pipe
 - Lateral Sway Bracing is not required on the mains supported by rods less than 6" (between TOP and attachment point). NFPA 13 2016 9.3.5.5.10
 - anchors longitudinal brace every 80', within 40" to end of pipe
 - lateral Sway Bracing is not required in the mains supported by rods less than 6" (between TOP and attachment point). NFPA 13 2016 9.3.5.5.11
 - the distance between the last brace and the end of the pipe shall not exceed 6".
 - vertical restraint of branch line with slope. See detail.
 - restraint is not required on the branchlines supported by rods less than 6" (between TOP and attachment point).

PROJECT DIRECTORY

OWNER
The University of New Mexico
230 Cornell Dr.,
Albuquerque, NM 87131

FIRE SPRINKLER CONTRACTOR
WESTERN STATES FIRE PROTECTION
5200 PASADENA AVE, SUITE A
ALBUQUERQUE, NM 87113
(505) 884-1844

PROJECT DATA

A. CENTER FOR THE ARTS (2002)
BUILT IN 1983 WITH ADDITIONS IN 1965 AND 1973
MIXED OCCUPANCY GROUP A (ASSEMBLY), B (BUSINESS), S (STORAGE)
374, 779 GROSS SQUARE FEET
CONTAINS A PARTIAL COVERED AUTOMATIC WET PIPE DOUBLE INTERLOCK PREACTION, AND HALON GAS FIRE PROTECTION SYSTEMS
EXISTING ADDRESSABLE FIRE ALARM SYSTEM TO REMAIN OPERATIONAL THROUGH THE DURATION OF THE UPGRADE PROJECT

WATER SUPPLY DATA FOR DESIGN:

STATIC PRESSURE: 80 PSIG
RESIDUAL PRESSURE: 78 PSIG
FLOW: 773 GPM

APPLICABLE CODES:

NFPA 13 (2016)

SCOPE OF WORK

1. AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN AND AS-BUILD.
2. THE WORK IN THIS CONTRACT MUST BE PLANNED AND PERFORMED WITH MINIMAL DISRUPTION TO NORMAL OPERATIONS OF THE BUILDING AND ITS USERS. CONTRACTOR IS ALLOWED TO WORK DURING NORMAL BUSINESS HOURS 8AM- 5PM OR DURING WORKING HOURS MUTUALLY AGREED UPON WITH THE BUILDING USER'S MANAGER. IF WORK IS REQUIRED OUTSIDE OF THE NORMAL BUSINESS HOURS IT SHALL BE AT NO ADDITIONAL COST TO THE UNIVERSITY.
3. CONTRACTOR SHALL PROVIDE PROVISIONS FOR MINIMIZING CONSTRUCTION DUST (I.E. ACOUSTICAL CEILING TILE, CHU, PLASTER, GYPSUM WALLBOARD) WALL AREAS OF WORK. CONTRACTOR SHALL COORDINATE WITH THE BUILDING USER'S FOR PROVIDING PROTECTION FOR FURNITURE, EQUIPMENT, AND STORED COMMODITIES DURING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EGRESS PATHS DURING CONSTRUCTION TO THE SATISFACTION OF THE UNIVERSITY.

GENERAL SYSTEM NOTES:

1. THREADED PIPING 1" TO 1 1/4" TO BE BLACK STEEL SCH 40 WITH BLACK CAST IRON OR DUCTILE IRON FITTINGS. GROOVED 1 1/2" TO LARGER BRANCHLINE PIPING TO BE SCH 10 PIPE WITH GROOVED ENDS WITH GROOVED FITTINGS.
2. ALL MATERIALS USED IN THE INSTALLATION OF THESE SYSTEMS SHALL BE NEW AND OF CURRENT SPEC, AND APPROVED BY U.L. (UNDERWRITERS LABORATORY FIRE FACTORY MUTUAL). ALL MATERIALS SHALL BE IN CONFORMANCE WITH NFPA-13 AS WELL AS THE AUTHORITY HAVING JURISDICTION.
3. SYSTEM PIPING WILL BE SUPPORTED WITH HANGERS IN ACCORDANCE WITH NFPA-13 & A.J.L.
4. GROOVED PIPING 2-1/2" - 8" TO BE SCH 10 BLACK STEEL PIPE
5. GROOVED FITTINGS FOR 2"- 8" SHALL BE RIDG TYPE UNLESS NOTED OTHERWISE.
6. PAINTING OF THE SYSTEM PIPING AND COMPONENTS IS NOT PART OF THIS SCOPE AND, IF REQUIRED, IT SHALL BE PERFORMED BY OTHERS.
7. EXISTING HANGER LOCATIONS, NOT REQUIRED FOR SURVEY.

INCLUDED WITH INSTALLATION

1. Labor to produce as build drawings of the existing system.
2. Labor to produce shop drawings for future expansion of fire protection system in areas of the building that do not have fire protection.
3. Hydraulic calculations for new system.
4. Seismic bracing calculations.
5. Fire protection engineer stamp for submittal to NM State Fire Marshal's Office.

NOT INCLUDED WITH INSTALLATION

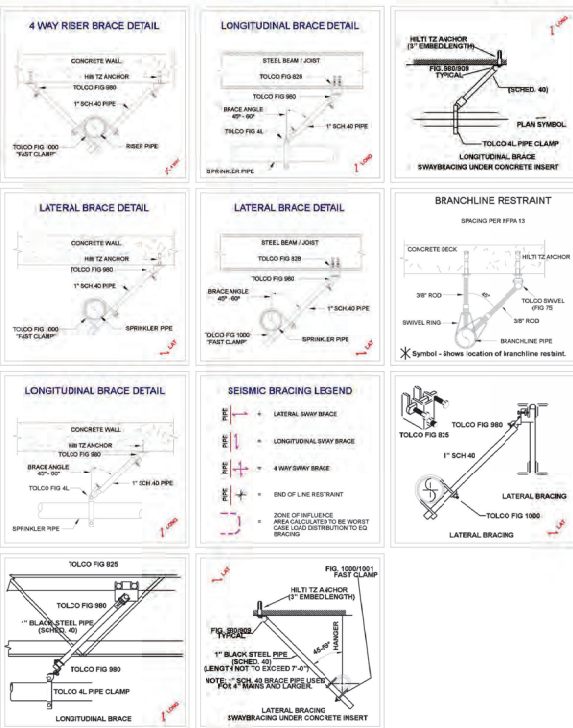
1. Cutting, painting, or patching of existing ceiling if needed for survey of existing conditions.
2. Moving of furniture to survey existing conditions.
3. Safety plans for project.
4. Scaffolding for survey.
5. Night work or weekend work hours.
6. Fire Caulking done by other



N. T. S.

SEISMIC BRACING DETAIL

N.T.S.



HANGER AND BRANCHLINE RESTRAINT SPACING

MAXIMUM DISTANCE BETWEEN HANGERS PER NFPA 13, 2016 TABLE 9.2.2.1(1)

NORMAL PIPE SIZE (IN.)	1	1 1/4	1 1/2	2	3	4	6	8
DISTANCE (FT. - IN.)	12-0	15-0						

MAXIMUM DISTANCE BETWEEN BRANCHLINE RESTRAINTS PER NFPA 13, 2016 TABLE 9.3.5.5.1(1) & (2)

NORMAL PIPE SIZE (IN.)	1	1 1/4	1 1/2	2	3	4	6	8
DISTANCE (FT.)	40	48	48	60	80	80		

HANGER RODSIZES PER NFPA 13, 2016 TABLE 9.1.1

NORMAL PIPE SIZE (IN.)	1	1 1/4	1 1/2	2	3	4	6	8
ROD SIZE (IN.)				3/8				1/2

SHEET INDEX

SHEET	DRAWING TITLE
FR-01	GENERAL NOTES, SITE, SECTION
FR-02	RAMP DETAIL
FR-03	WIRE ZONE PLANS
FR-04	SOUTH EAST BASEMENT PLAN
FR-05	NORTH EAST BASEMENT PLAN
FR-06	SOUTH WEST BASEMENT PLAN
FR-07	SOUTH WEST BASEMENT PLAN
FR-08	SOUTH EAST FIRST FLOOR PLAN
FR-09	SOUTH EAST FIRST FLOOR PLAN
FR-10	NORTH WEST FIRST FLOOR PLAN
FR-11	NORTH WEST FIRST FLOOR PLAN
FR-12	SOUTH EAST SECOND FLOOR PLAN
FR-13	NORTH EAST SECOND FLOOR PLAN
FR-14	NORTH WEST SECOND FLOOR PLAN
FR-15	NORTH WEST SECOND FLOOR PLAN
FR-16	SOUTH EAST THIRD FLOOR PLAN
FR-17	NORTH EAST THIRD FLOOR PLAN
FR-18	NORTH WEST THIRD FLOOR PLAN
FR-19	SOUTH WEST THIRD FLOOR PLAN
FR-20	FOURTH FLOOR POPEJOY THEATER
FR-21	EIGHTH FLOOR POPEJOY THEATER

Western States Fire Protection Co.
Quality Work and Integrity

5200 PASADENA AVE, SUITE A
ALBUQUERQUE, NM 87113
(505) 884-1844
Johnny.Perkins@wstus.com

OWNSHIP OF DOCUMENTS
All drawings, specifications, and reports prepared by Western States Fire Protection Co. shall remain the property of Western States Fire Protection Co. and shall not be used for any other project without the written consent of Western States Fire Protection Co.

REVISIONS

NO.	DATE	DESCRIPTION
01	03/12/2017	FOR APPROVAL

REVISIONS

NO.	DATE	DESCRIPTION
01	03/12/2017	FOR APPROVAL

APPLICABLE CODES:

NFPA 13 (2016)

SCOPE OF WORK

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INCLUDED WITH INSTALLATION

1. Labor to produce as build drawings of the existing system.
2. Labor to produce shop drawings for future expansion of fire protection system in areas of the building that do not have fire protection.
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NOT INCLUDED WITH INSTALLATION

1. Cutting, painting, or patching of existing ceiling if needed for survey of existing conditions.
2. Moving of furniture to survey existing conditions.
3. Safety plans for project.
4. Scaffolding for survey.
5. Night work or weekend work hours.
6. Fire Caulking done by other

UNM CENTER FOR THE ARTS
BUILDING #62
230 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan

PRINT DATE
03/2/2022
FP-01

OWNERSHIP OF DOCUMENTS
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I have reviewed these plans and certify that they comply with the adopted NFPA standards.

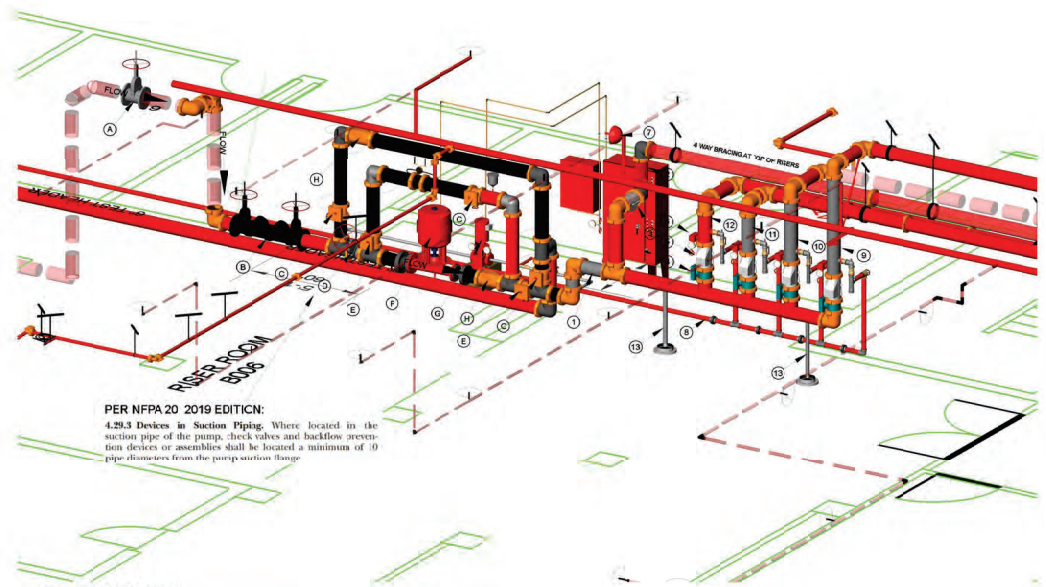
Sheet Name: _____ Sheet Title: _____
 Project Name: _____ Project No.: _____
 Date of Issue: 03/17/22
 Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS	
NO.	DESCRIPTION
1	FOR APPROVAL
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FIRE SPRINKLER PUMP LEGEND

- A. REMOVE OLD EXISTING 6" ALARM VALVE
- B. 6" AMES MODEL - 2000SS BACKFLOW SERIAL NO. 2HK0480
- C. 6" GROOVED BUTTERFLY VALVE CLOSED
- D. 6" OS&Y VALVE
- E. 6" GROOVED BUTTERFLY VALVE OPEN
- F. 5x3 VERTICAL IN-LINE FIRE PUMP WITH MOTOR
- G. JOCKEY PUMP ASSEMBLY
- H. 6" GROOVED CHECK VALVE



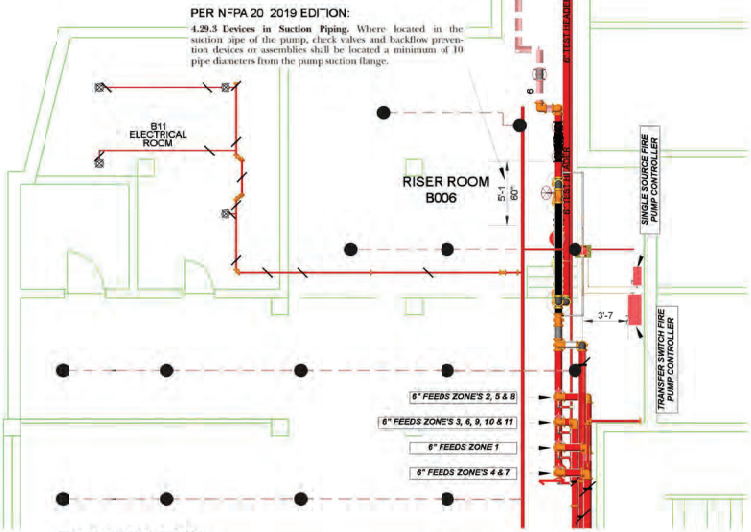
ISOMETRIC VIEW

1/2" = 1'-0"

PER NFPA 20 2019 EDITION:
4.29.3 Devices in Suction Piping. Where located in the suction pipe of the pump, check valves and backflow prevention devices or assemblies shall be located a minimum of 0 pipe diameters from the pump suction flange.

FIRE SPRINKLER RISER LEGEND

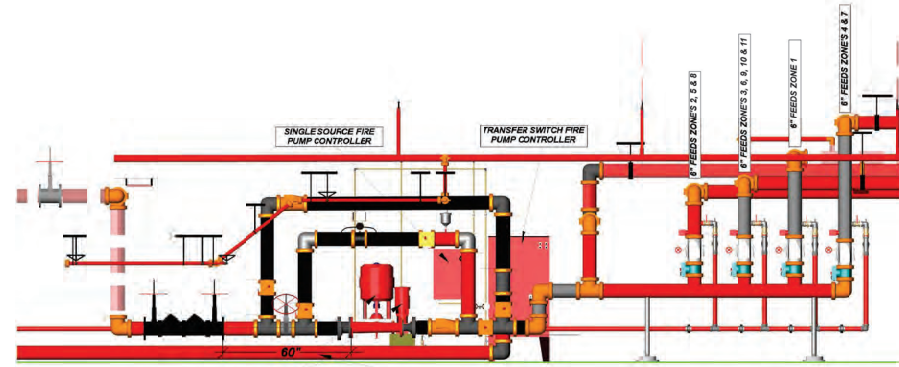
- 1. 6" FEED MAIN TO SPRINKLER SYSTEM
- 2. 6" FDC INLET
- 3. 6" GROOVED CHECK VALVE
- 4. 6" BUTTERFLY VALVE W/ TAMPER (TYP.)
- 5. 6" RISER CHECK VALVE
- 6. RISER W/ FLOW SWITCH, GAUGE, TEST & DRAIN W/ RELIEF (TYP.)
- 7. 6" ELECTRIC BELL AT 8-0 AFF
- 8. 2" MAIN DRAIN OUT OF BUILDING
- 9. 6" TO FEED ZONE'S 4 & 7
- 10. 6" TO FEED ZONE 1
- 11. 6" TO FEED ZONE'S 3, 6, 9, 10 & 11
- 12. 6" TO FEED ZONE'S 2, 5 & 8
- 13. PIPESTAND (SEE HANGER DETAIL No. 163)



FIRE PUMP ROOM

1/4" = 1'-0"

PER NFPA 20 2019 EDITION:
4.29.3 Devices in Suction Piping. Where located in the suction pipe of the pump, check valves and backflow prevention devices or assemblies shall be located a minimum of 10 pipe diameters from the pump suction flange.



SECTION VIEW

1/2" = 1'-0"

VIP PUMP WITH 1284/218
JOCKEY PUMP MOTOR
5x3 VIP
500 GPM
41 to 128 psi
Impeller D-5675

PER NFPA 20 2019 EDITION:
4.29.3 Devices in Suction Piping. Where located in the suction pipe of the pump, check valves and backflow prevention devices or assemblies shall be located a minimum of 10 pipe diameters from the pump suction flange.

RISER DETAIL



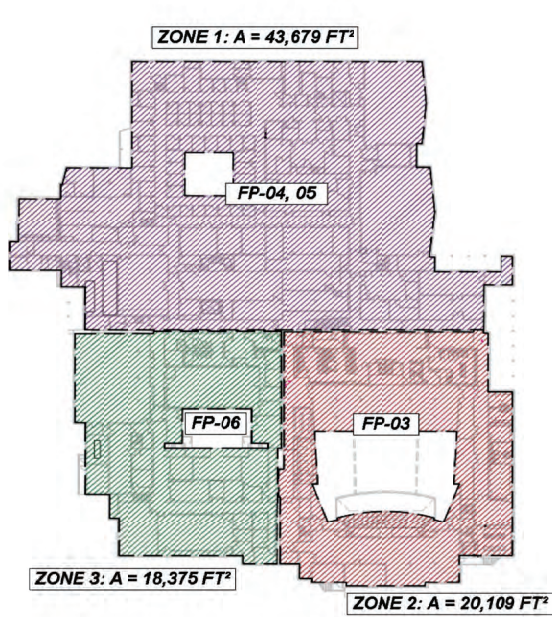
UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.
Albuquerque, NM 87131
Fire Sprinkler Plan

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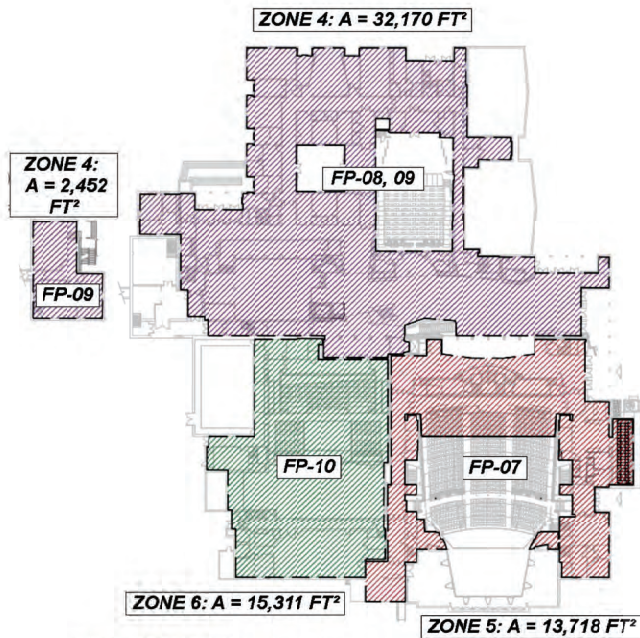
I have reviewed these plans and certify that they comply with the adopted NFPA standards:
NFPA 701: 2015
NFPA 101: 2015
NFPA 13: 2015
NFPA 201: 2015
Signature: _____
Date: _____
AS-BUILT SUBMITTAL OTHER

REVISIONS	
NO.	DESCRIPTION
1	FOR APPROVAL
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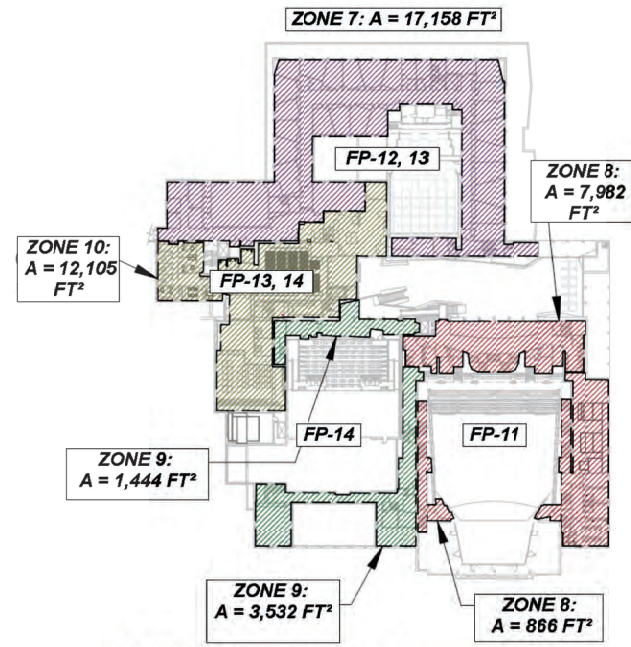
BASEMENT FLOOR PLAN - FIRE ZONES

N.T.S.



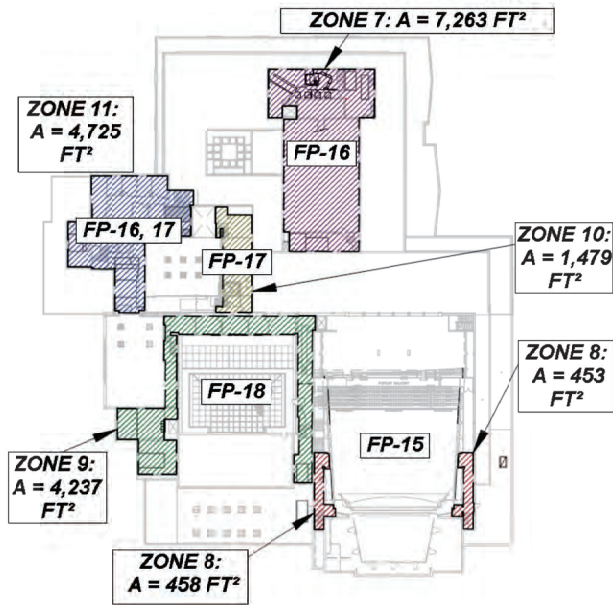
FIRST FLOOR PLAN - FIRE ZONES

N.T.S.



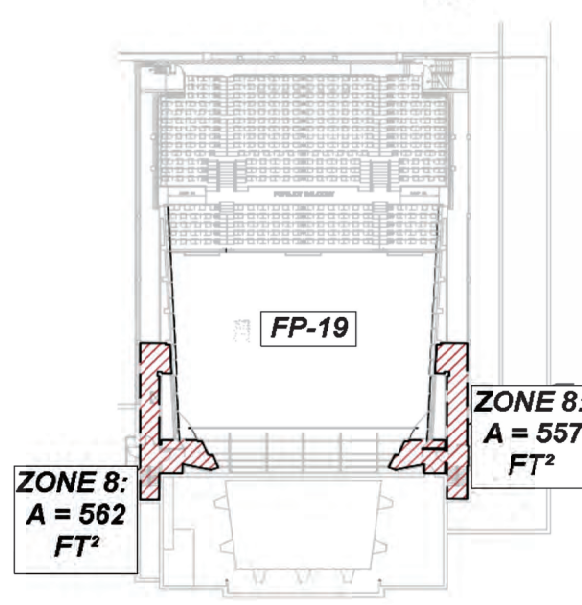
SECOND FLOOR PLAN - FIRE ZONES

N.T.S.



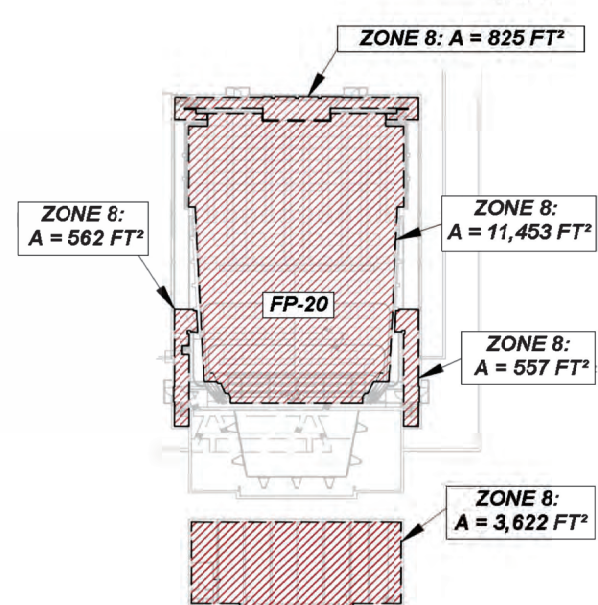
THIRD FLOOR PLAN - FIRE ZONES

N.T.S.



FOURTH FLOOR PLAN - FIRE ZONES

N.T.S.



FIFTH FLOOR PLAN - FIRE ZONES

N.T.S.

FIRE ZONES



SCALE 1/4" = 1'-0"

DRAWN BY
Johnny Parkins

WSPFP PROJECT NUMBER:
0001

UNM CENTER FOR THE ARTS
BUILDING #62
201 Central Dr.
Albuquerque, NM 87131
Fire Sprinkler Plan

PRINT DATE
03/17/22

FP-03
of 21

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Host User: []
Date of Issue: 09/17/24
Signature: []
 AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/23	FOR APPROVAL
2		
3		
4		
5		

Symbol	Manufacturer	EN	Model	Quantity	K-Factor	Type	Size	Response	Finish	Temperature	Rating	Notes
				25	57	Resistor	1/2"	Class	White	150°F		



SCALE: 1/8" = 1'-0"

DRAWN BY: Johnny Pedraza

WSP PROJECT NUMBER: 100217

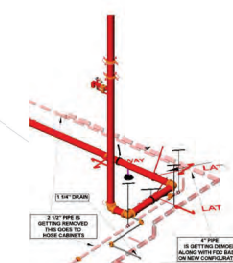
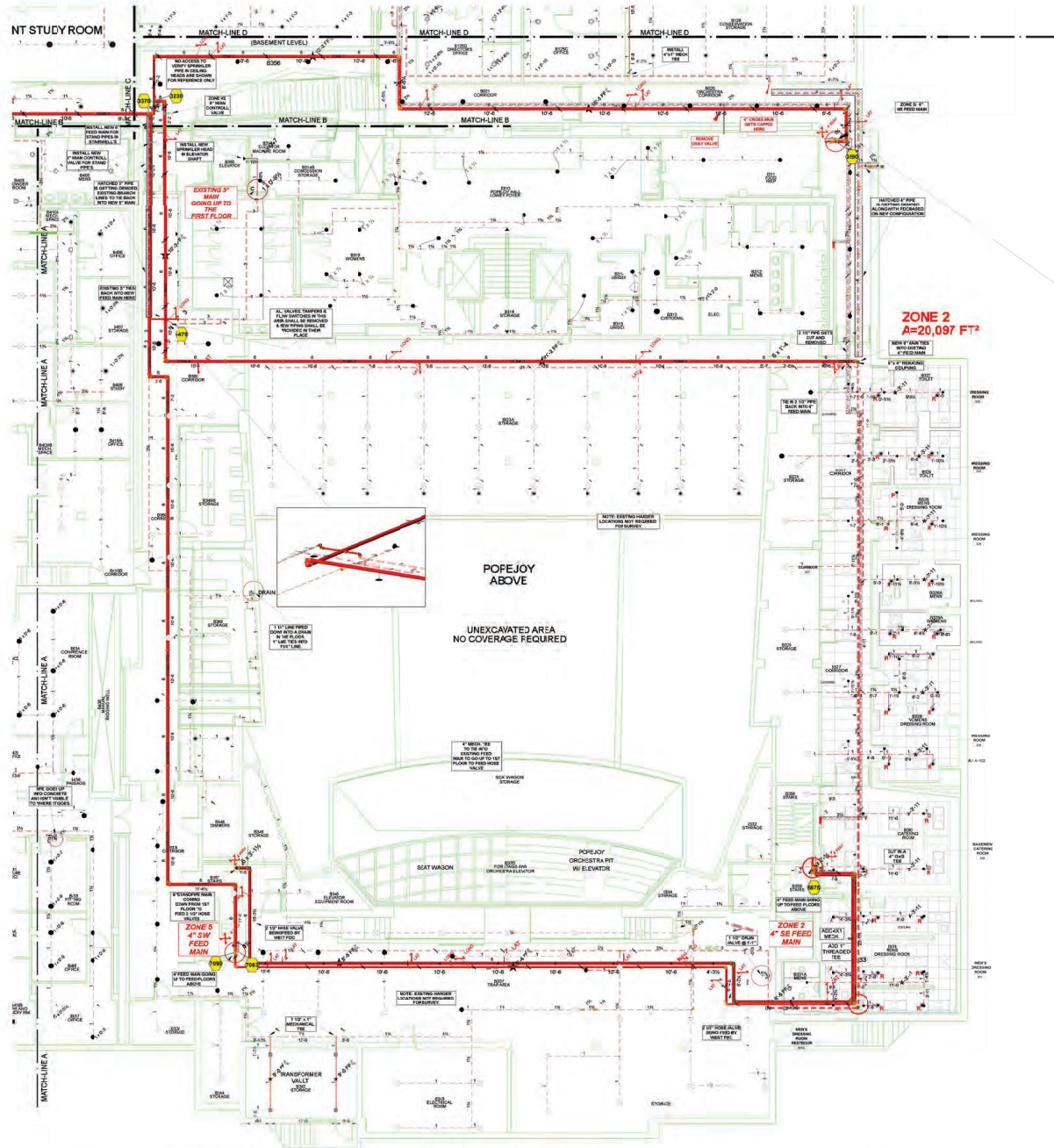
**UNM CENTER FOR THE ARTS
BUILDING #62**
203 Central Dr.
Albuquerque, NM 87131
Fire Sprinkler Plan

PRINT DATE: 09/17/24

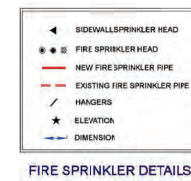
FP-04
of 21



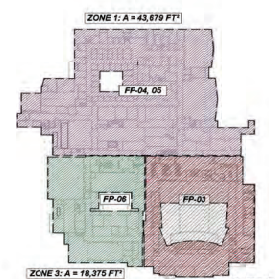
THE UNIVERSITY OF
NEW MEXICO



ISOMETRIC VIEW
N.T.S.



FIRE SPRINKLER DETAILS



KEY PLAN
N.T.S.

UNM CENTER FOR THE ARTS BUILDING SOUTH EAST BASEMENT
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"

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The undersigned, Wetmore States Fire Protection Co., hereby certifies that the design, engineering, and construction documents prepared by it for the project described herein are the property of Wetmore States Fire Protection Co. and shall remain the property of Wetmore States Fire Protection Co. whether or not the project is completed, abandoned, or otherwise terminated. The client agrees to indemnify and hold the undersigned harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of these documents by the client or any third party.

FREELING CONDITIONS
The undersigned certifies that the design, engineering, and construction documents were prepared under the supervision and direct control of a duly Licensed Professional Engineer in the State of New Mexico, and that the undersigned is duly Licensed Professional Engineer in the State of New Mexico.

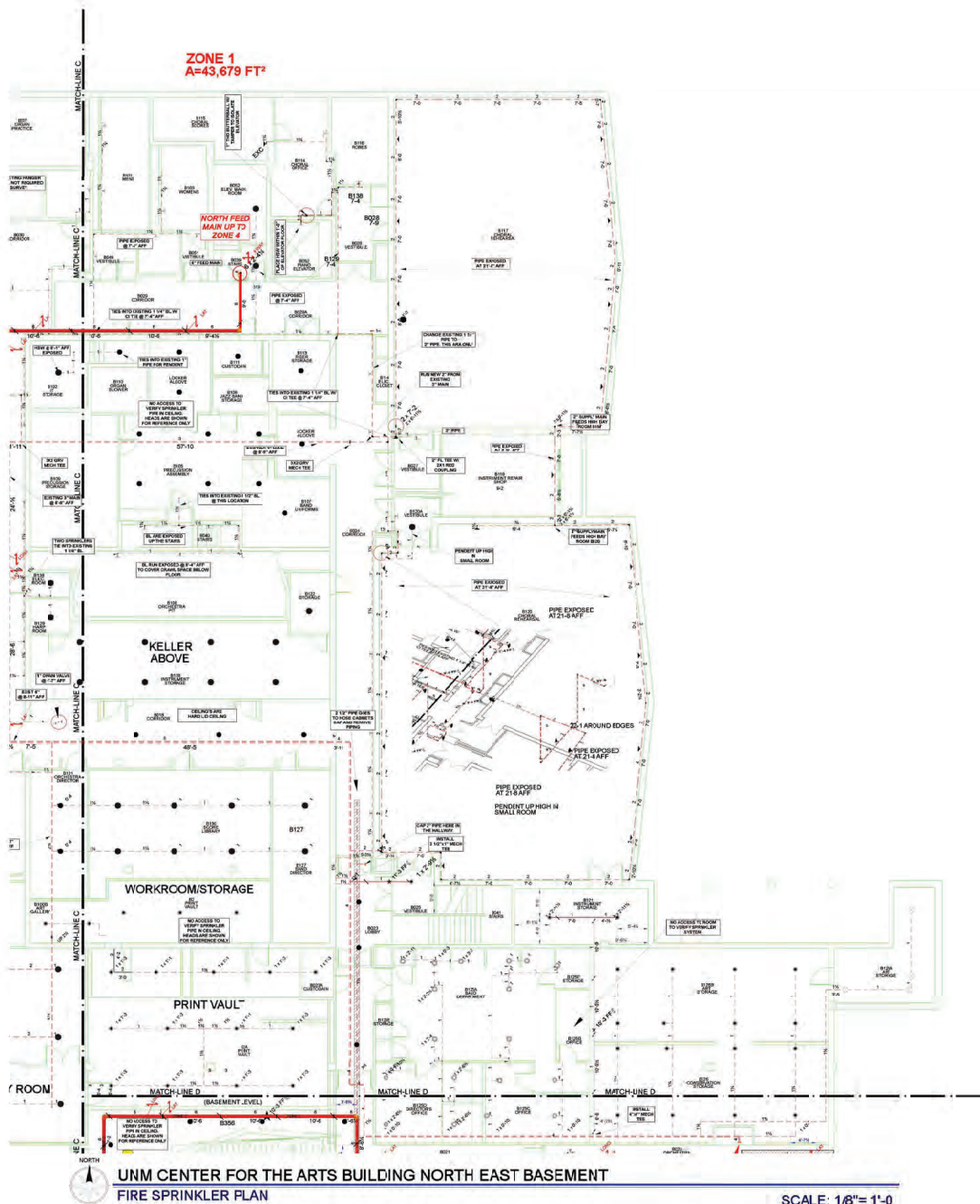
I have reviewed these plans and certify that they comply with the adopted NFPA standards.

Sheet Name: _____ Sheet Value: _____
Project Level: V 100/101
Date of Issue: 09/17/22
Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS

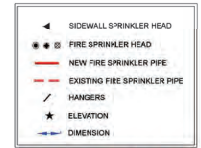
NO.	DATE	DESCRIPTION
1	09/17/22	FOR APPROVAL
2		
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4		
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WORK BEING DONE IN THE BASEMENT IS THE ADDITION OF FIRE SPRINKLER MAIN PIPING TO SEPARATE THE EXISTING BASEMENT FIRE PROTECTION INTO THREE ZONES

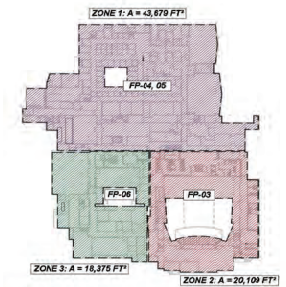


UNM CENTER FOR THE ARTS BUILDING NORTH EAST BASEMENT
FIRE SPRINKLER PLAN

SCALE: 1/8"=1'-0"

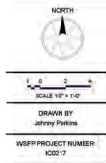


FIRE SPRINKLER DETAILS



KEY PLAN

N.T.S.



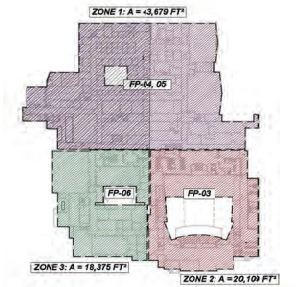
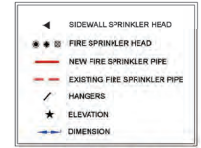
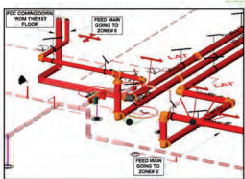
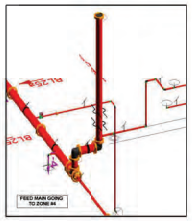
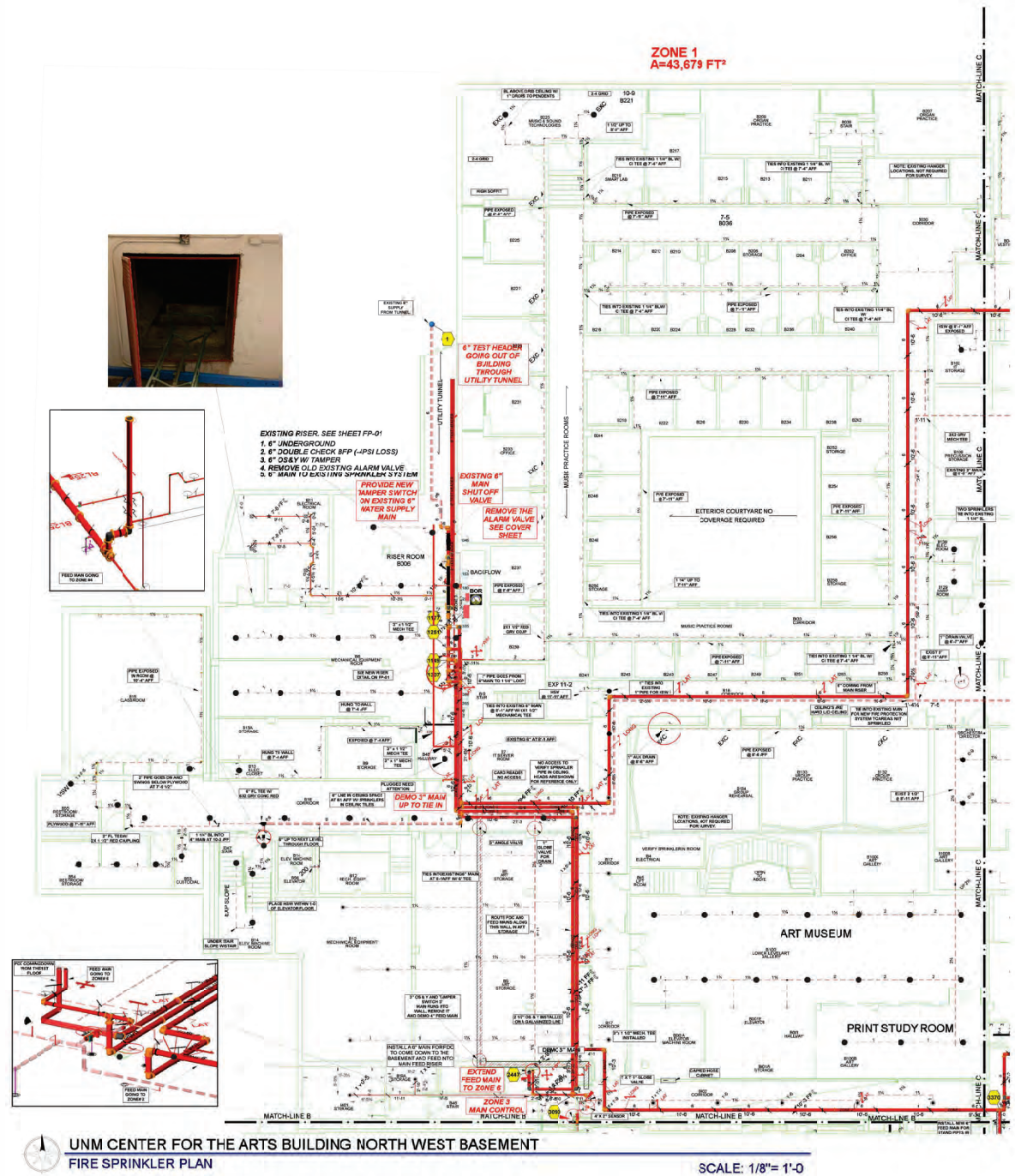
UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.
Albuquerque, NM 87131
Fire Sprinkler Plan

REVISIONS

NO.	DATE	DESCRIPTION
1		FOR APPROVAL
2		
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WORK BEING DONE IN THE BASEMENT IS THE ADDITION OF FIRE SPRINKLER MAIN PIPING TO SEPARATE THE EXISTING BASEMENT FIRE PROTECTION INTO THREE ZONES.

UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.,
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Fire Sprinkler Plan



UNM CENTER FOR THE ARTS BUILDING NORTH WEST BASEMENT
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"

N.T.S.



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Model Name	Sheet Title
Model Level 00	00000
Sheet of Name	00102

Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
01	09/17/22	FOR APPROVAL

Sprinkler Legend

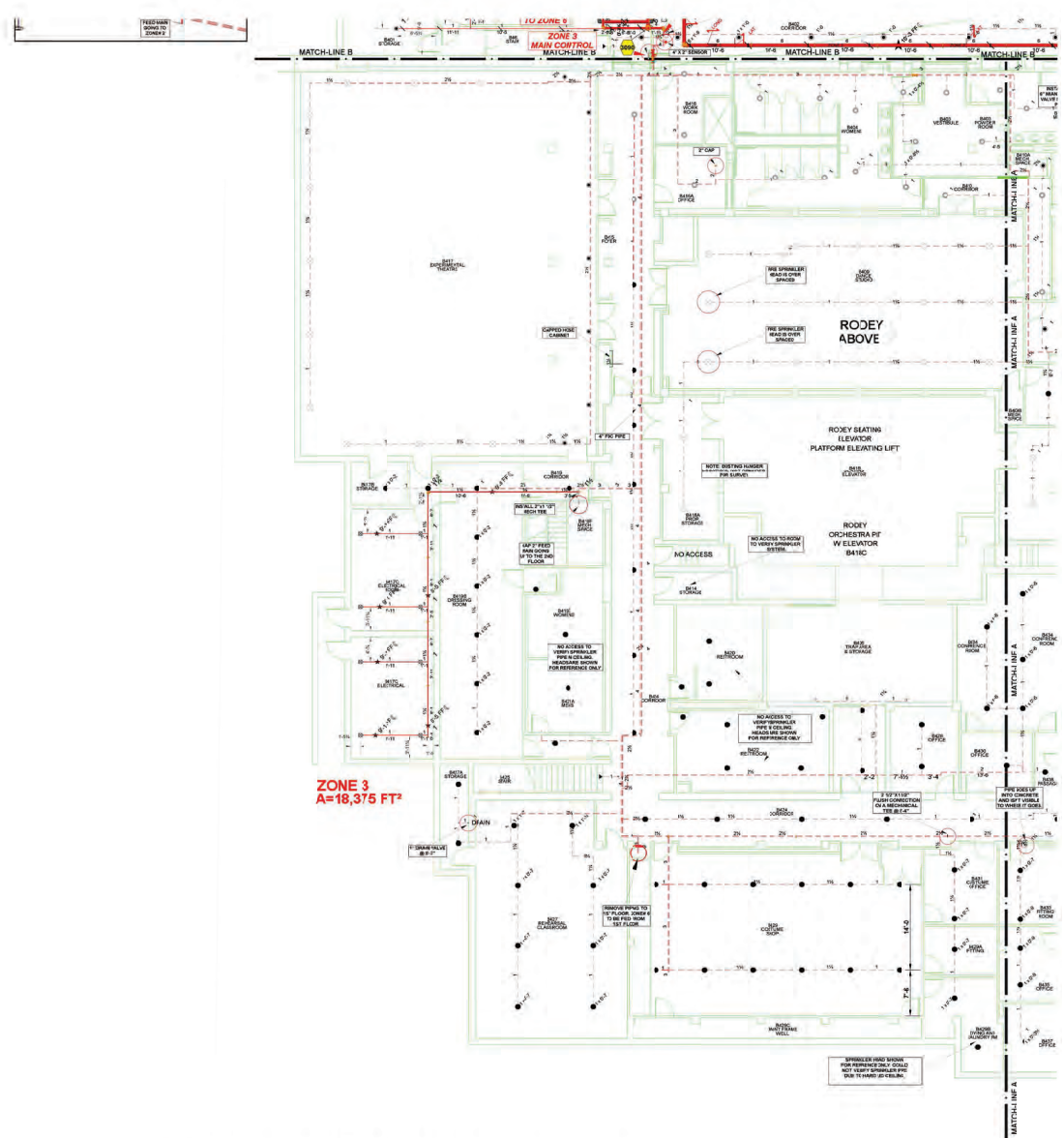
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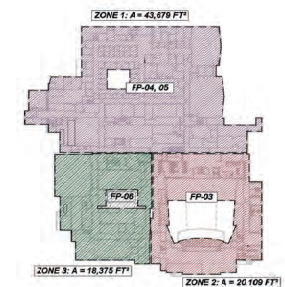
SCALE: 1/8" = 1'-0"
 DRAWN BY: Johnny Parkins
 WSPFP PROJECT NUMBER: 00217

UNM CENTER FOR THE ARTS BUILDING #62
 203 Cornell Dr., Albuquerque, NM 87131
 Fire Sprinkler Plan

PRINT DATE: 09/17/22
FP-07
 of 21



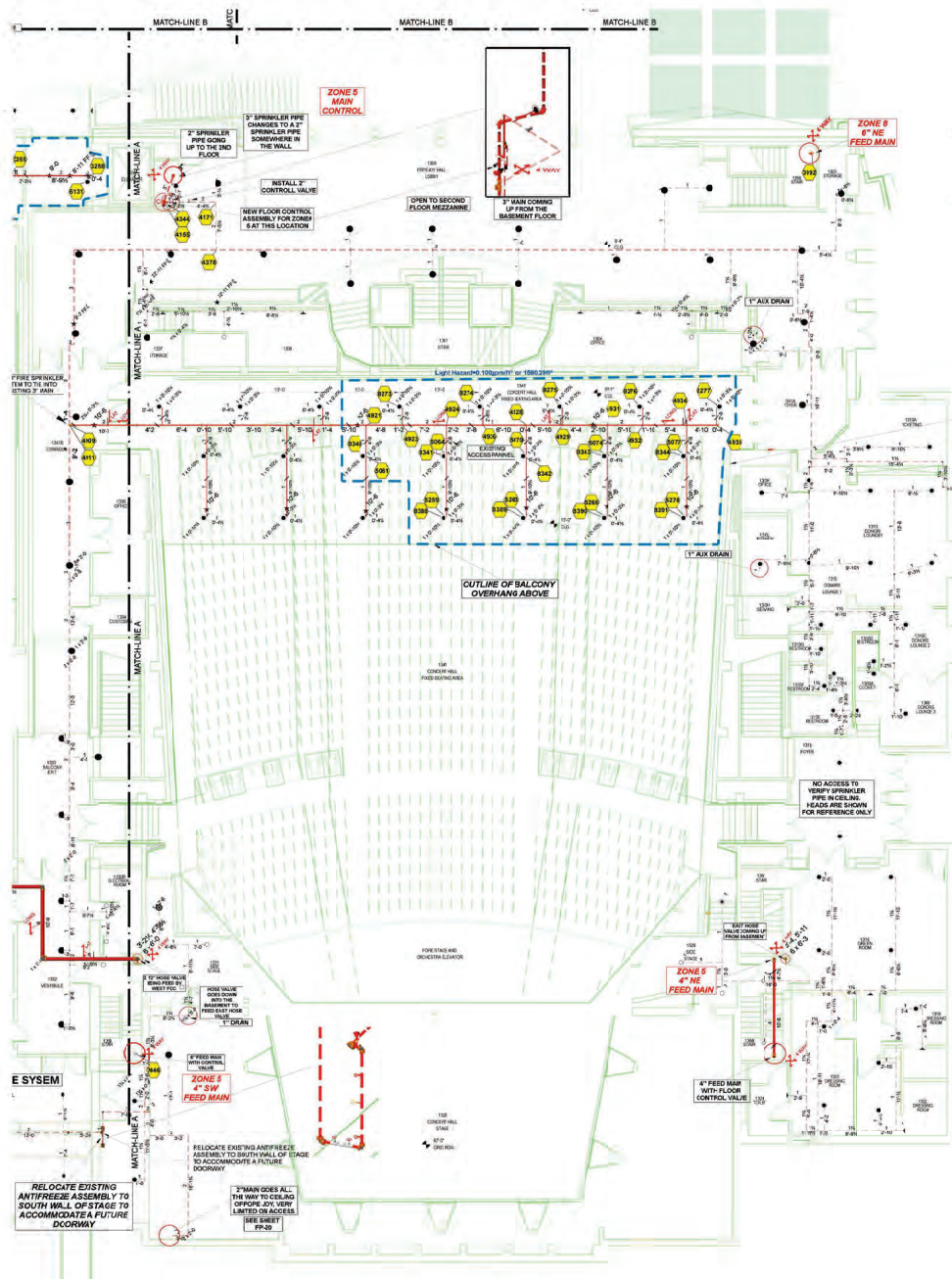
FIRE SPRINKLER DETAILS



KEY PLAN

UNM CENTER FOR THE ARTS BUILDING SOUTH WEST BASEMENT
 FIRE SPRINKLER PLAN
 SCALE: 1/8" = 1'-0"

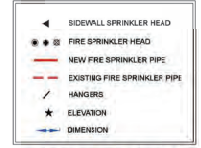
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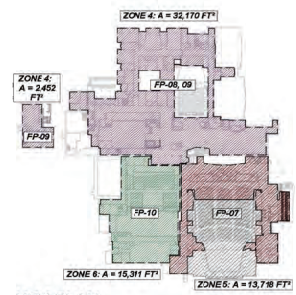
ZONE 5/ 1st FLOOR POPEJOY THEATER RA2

Rimline Area ZONE 5	
OCCUPANCY CLASSIFICATION	1.5M Theater
DENSITY (sq/ft)	0.160 (or 1600.000) (Actual 1600.230)
TOTAL WSE STREAM	100.00
TOTAL HEADS FLOWING	14
K-FACTOR	5.6
TOTAL WATER REQUIRED	348.00
TOTAL PRESSURE REQUIRED	42.04
BASE # WSE (gpm)	246.0
BASE # HEADS (gals)	97.86
SAFETY MARGIN (psf)	+31.70 (43.0%)

**ZONE 5
A = 13,718 FT²**



FIRE SPRINKLER DETAILS



KEY PLAN

**UNM CENTER FOR THE ARTS BUILDING SE 1ST FLOOR
FIRE SPRINKLER PLAN**

SCALE: 1/8" = 1'-0"

N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION
01/10		FOR APPROVAL
1.		
2.		
3.		
4.		
5.		
6.		

NE 1st Floor Existing Sprinkler Legend

Symbol	Manufacturer	SN	Model	Quantity	K Rating	Type	Size	Response	Finish	Temperature	Note
●	ES	101114	ES	1	10	ES	1/2"	Quick	Black	157°F	
●	ES	101115	ES	1	10	ES	1/2"	Quick	Black	157°F	

NORTH

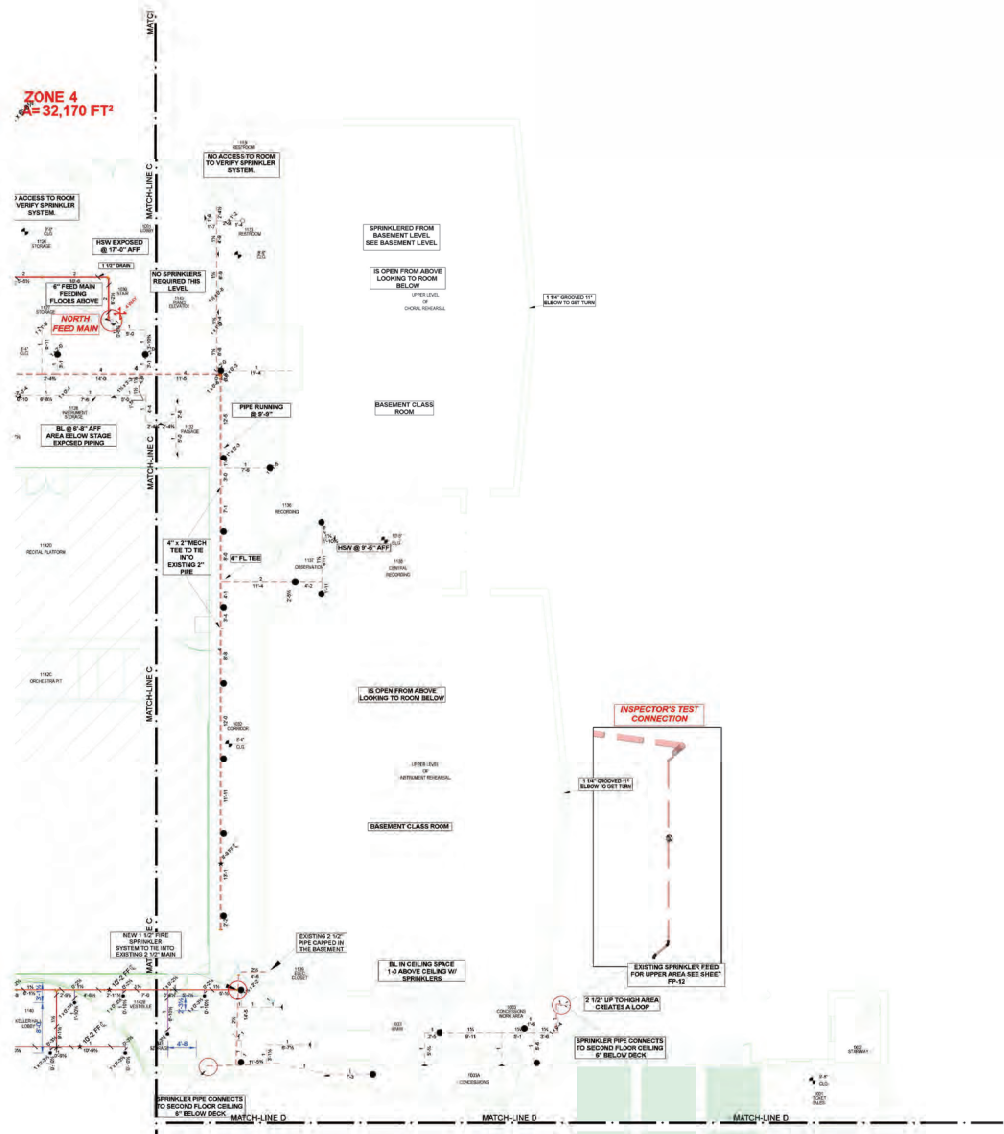


SCALE 1/8" = 1'-0"

DRAWN BY
Johnny Parkins

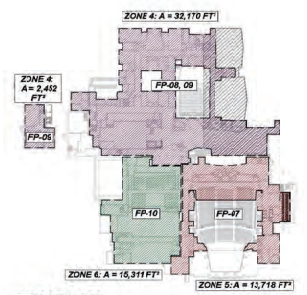
VSPF PROJECT NUMBER
KCB17

UNM CENTER FOR THE ARTS
BUILDING #62
203 Corbett Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan



FIRE SPRINKLER DETAILS

- ◀ SIDEWALL SPRINKLER HEAD
- FIRE SPRINKLER HEAD
- NEW FIRE SPRINKLER PIPE
- - - EXISTING FIRE SPRINKLER PIPE
- HANGER
- ★ ELEVATION
- DIMENSION



UNM CENTER FOR THE ARTS BUILDING NE 1ST FLOOR
FIRE SPRINKLER PLAN
SCALE: 1/8" = 1'-0"

KEY PLAN
N.T.S.



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FREEZING CONDITIONS

These drawings are not valid for use in any area where the ambient temperature is below 40°F. If the ambient temperature is below 40°F, the sprinkler system must be protected by an anti-freeze system.

I have reviewed these plans and certify that they comply with the above NFPA standards.

Name Title Date

Project No. 202103

Date of Issue 03/17/22

Signature

AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1	03/17/22	FOR APPROVAL
2		
3		
4		
5		
6		

NW 1st Floor Fire Sprinkler Legend

Symbol	Manufacturer	SN	Model	Quantity	K Factor	Type	Size	Response	Finish	Temperature
•	SM					ES	1/2"	Quick	Black	158°F
•	SM					ES	1/2"	Quick	Black	158°F
•	SM					ES	1/2"	Quick	Black	158°F
•	SM					ES	1/2"	Quick	Black	158°F
•	SM					ES	1/2"	Quick	Black	158°F
•	SM					ES	1/2"	Quick	Black	158°F

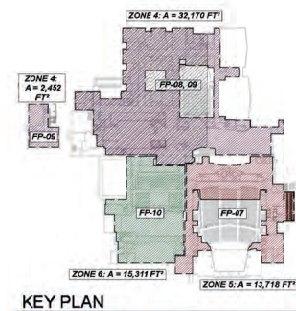
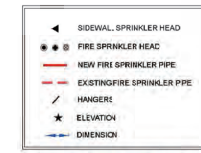
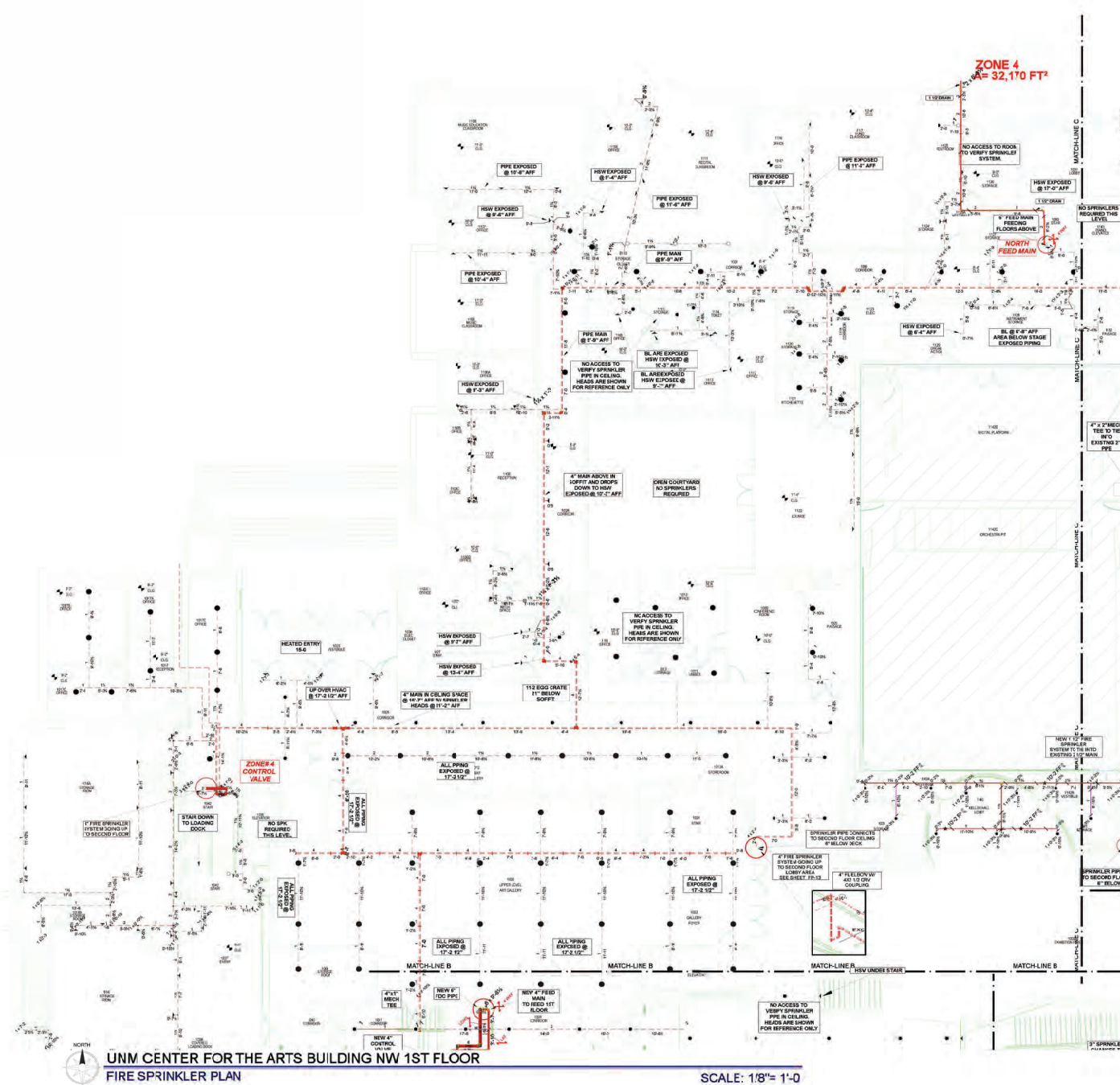
NORTH



SCALE 1/8" = 1'-0"

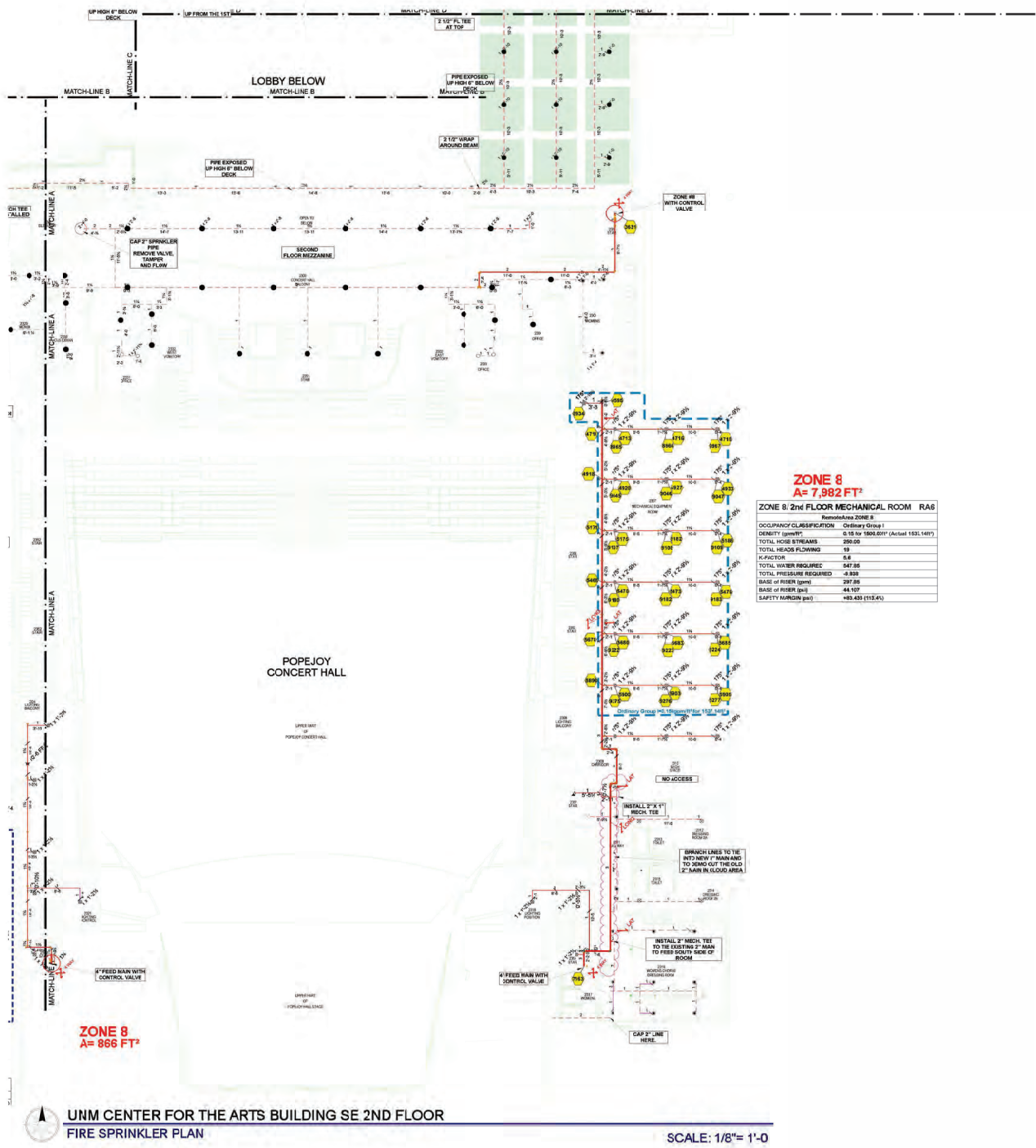
DRAWN BY Johnny Parkins

WSP PROJECT NUMBER 202103



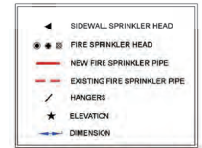
**UNM CENTER FOR THE ARTS BUILDING NW 1ST FLOOR
FIRE SPRINKLER PLAN**

SCALE: 1/8"= 1'-0"

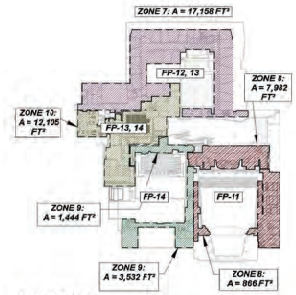


ZONE 8
A= 7,982 FT²

ZONE 8: 2nd FLOOR MECHANICAL ROOM RA6	
OCCUPANCY CLASSIFICATION	Office Area ZONE 8
DENSITY (gpm/FT ²)	0.15 to 1500.00" (Actual 153.148")
TOTAL HOSE STREAMS	250.00
TOTAL HEADS FLOWING	10
K-FACTOR	5.8
TOTAL WATER REQUIRED	147.96
TOTAL PRESSURE REQUIRED	-8.839
BASE OF RISER (gpm)	297.92
BASE OF RISER (psi)	44.107
SAFETY MARGIN (psi)	+83.433 (113.41)



FIRE SPRINKLER DETAILS



KEY PLAN

UNM CENTER FOR THE ARTS BUILDING SE 2ND FLOOR
FIRE SPRINKLER PLAN

SCALE: 1/8"= 1'-0



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FRIGIDIZING CONDITIONS
These drawings are prepared for use in areas where the ambient temperature is expected to be below 40°F (4°C) at any time during the life of the building. If the building is to be used in areas where the ambient temperature is expected to be above 40°F (4°C) at any time during the life of the building, the designer shall specify the appropriate fire protection system for such conditions.

These drawings were prepared and certified by the undersigned on the date shown below and they comply with the adopted NFPA requirements.

Sheet Name: 03-1003
Sheet Date: 03/10/23
Signature: [Signature]

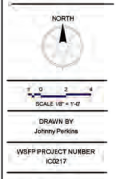
AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1		FOR APPROVAL
2		
3		
4		
5		

Fire Sprinkler Legend

Symbol	Manufacturer	SN	Model	Quantity	K-Factor	Type	Size	Response	Finish	Temperature
▲	ES		ES	1	5.8	ES	1/2"	ES	ES	ES
●	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
—	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
- - -	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
/	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
*	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
- - -	ES		ES	10	5.8	ES	1/2"	ES	ES	ES
Total = 25										



WSPF PROJECT NUMBER: 10017

UNM CENTER FOR THE ARTS
BUILDING #62
203 Corbell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan

NO.	DATE	DESCRIPTION
1	05/17/22	FOR APPROVAL
2		
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Symbol	Manufacturer	SN	Model	Quantity	Detector	Type	Size	Response	Finish	Temperature

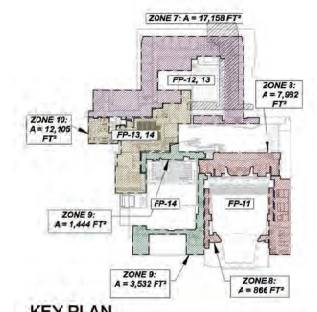
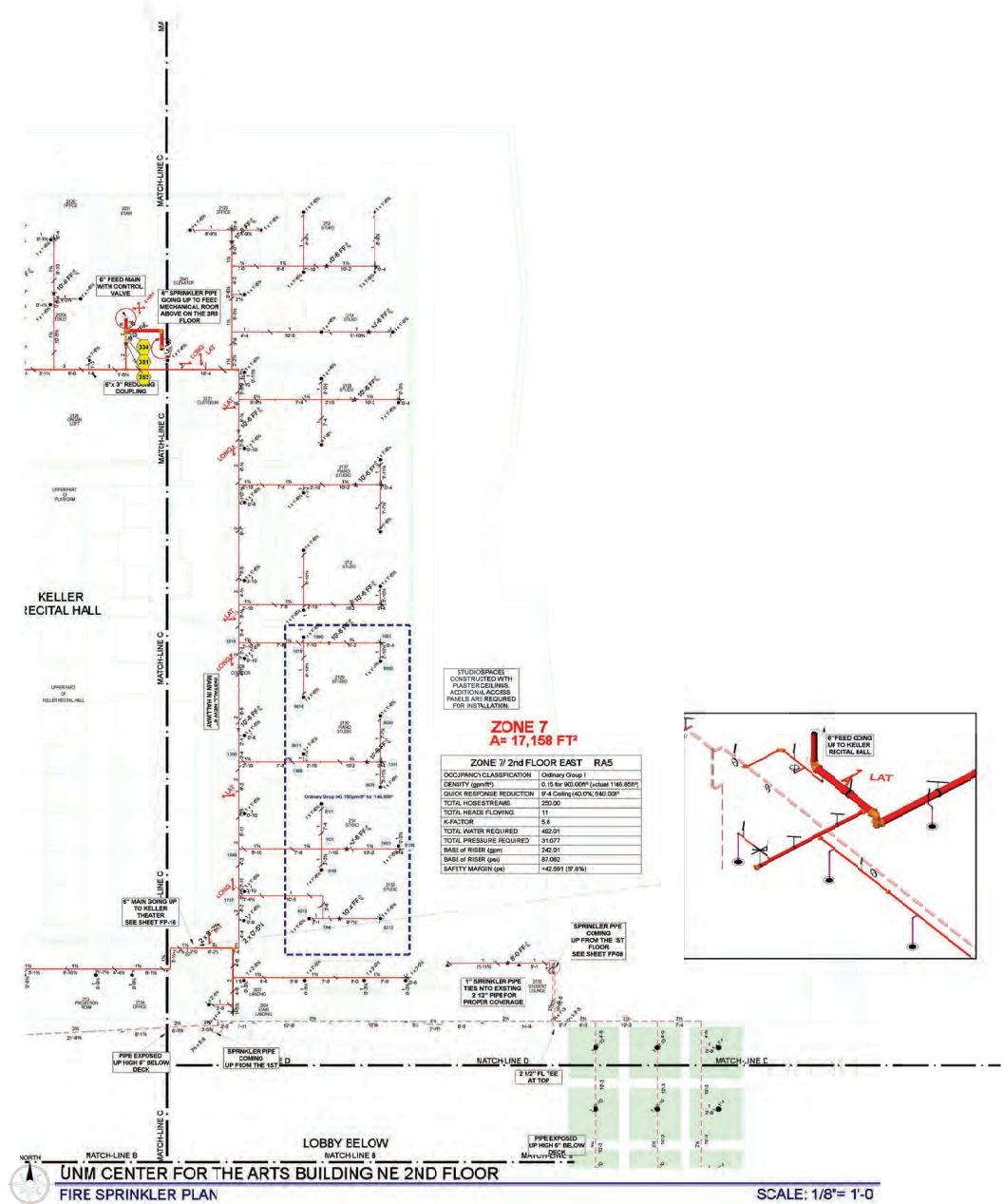


SCALE: 1/8" = 1'-0"

DRAWN BY
Johnny Perkins

WSP PROJECT NUMBER
100217

**UNM CENTER FOR THE ARTS
BUILDING #62**
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan



KEY PLAN



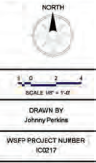
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FREIZING CONDITIONS
THIS PLAN IS DESIGNED FOR USE IN AREAS WHERE THE TEMPERATURES WILL NOT FALL BELOW 32°F (0°C). IF THE TEMPERATURES WILL FALL BELOW 32°F (0°C), THE SYSTEM SHALL BE DESIGNED TO OPERATE AT THE LOWEST EXPECTED TEMPERATURE.

I have reviewed these plans and certify that they comply with the adopted NFPA standards.
Name: _____ Title: _____
Project No.: _____
Date of Review: _____
Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS	
NO.	DATE DESCRIPTION FOR APPROVAL
1.	
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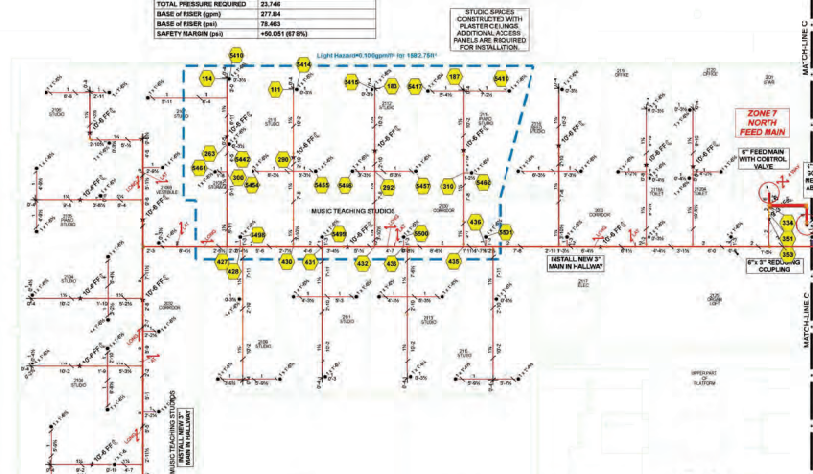
NEW 2nd Floor Fire Sprinkler Layout	
Symbol	Manufacturer / Size / Material / Finish / Notes
◀	Side Wall Sprinkler Head
●	Fire Sprinkler Head
—	New Fire Sprinkler Pipe
- - -	Existing Fire Sprinkler Pipe
—	Hangers
—	Elevation
—	Dimension



UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan

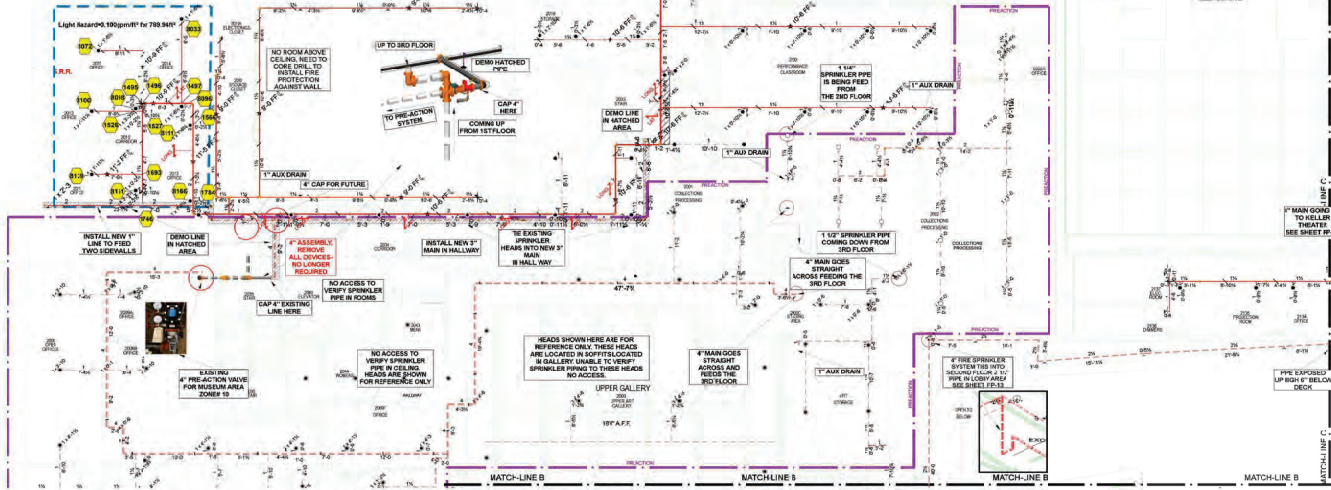
**ZONE 7
A= 17,158 FT²**

Report Area ZONE 7 Zone 7/ 2nd Floor NORTH RA4	
OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sq-ft/ft ³)	0.10 for 1500.000' (Actual 1582.750')
TOTAL HOSE STREAMS	100.00
TOTAL HEADS FLOWING	15
K-FACTOR	5.6
TOTAL WATER REQUIRED	377.84
TOTAL PRESSURE REQUIRED	23.48
BASE OF RISER (psi)	277.84
BASE OF RISER (psi)	78.483
SAFETY MARGIN (psi)	+40.961 (59.2%)



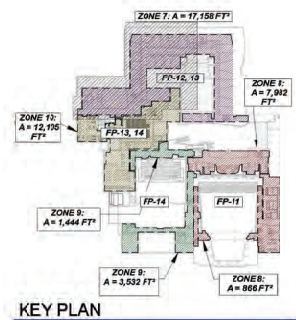
**ZONE 7
A= 10,851 FT²**

Report Area ZONE 7 Zone 7/ 2nd Floor WEST RA3	
OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sq-ft/ft ³)	0.10 for 1500.000' (Actual 78.947')
TOTAL HOSE STREAMS	100.00
TOTAL HEADS FLOWING	9
K-FACTOR	5.6
TOTAL WATER REQUIRED	256.00
TOTAL PRESSURE REQUIRED	29.447
BASE OF RISER (psi)	150.00
BASE OF RISER (psi)	88.034
SAFETY MARGIN (psi)	+44.953 (59.2%)



UNM CENTER FOR THE ARTS BUILDING NW 2ND FLOOR
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"



KEY PLAN

OWNERSHIP OF DOCUMENTS

All drawings, specifications and other documents prepared by Western States Fire Protection Co. are the property of Western States Fire Protection Co. and shall remain the property of Western States Fire Protection Co. whether or not they are used for the project described herein. The user of these documents shall be deemed to have accepted the responsibility for their use and shall indemnify and hold Western States Fire Protection Co. harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, arising out of or in connection with the use of these documents.

FINISHING CONDITIONS

1. All fire protection work shall be installed in accordance with the applicable code requirements and the manufacturer's instructions. 2. All fire protection work shall be installed in a clean, dry, and well-ventilated area. 3. All fire protection work shall be installed in a location that is accessible for inspection and testing. 4. All fire protection work shall be installed in a location that is not subject to vibration or other conditions that may damage the work.

I have reviewed these plans and certify that they comply with the applicable code requirements.

Drawn: [Name] Date: [Date]
Checked: [Name] Date: [Date]
Date of Issue: 03/15/22
Signature: [Signature]

AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1.		FOR APPROVAL
2.		
3.		
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SW 2nd Floor Fire Sprinkler Legend

Symbol	Description	Notes
▲	SIDEWALL SPRINKLER HEAD	
●	FIRE SPRINKLER HEAD	
—	NEW FIRE SPRINKLER PIPE	
- - -	EXISTING FIRE SPRINKLER PIPE	
—	HANGERS	
*	ELEVATION	
—	DIMENSION	



SCALE 1/8" = 1'-0"

DRAWN BY
John@wspfire.com

WSPFP PROJECT NUMBER
ICD17

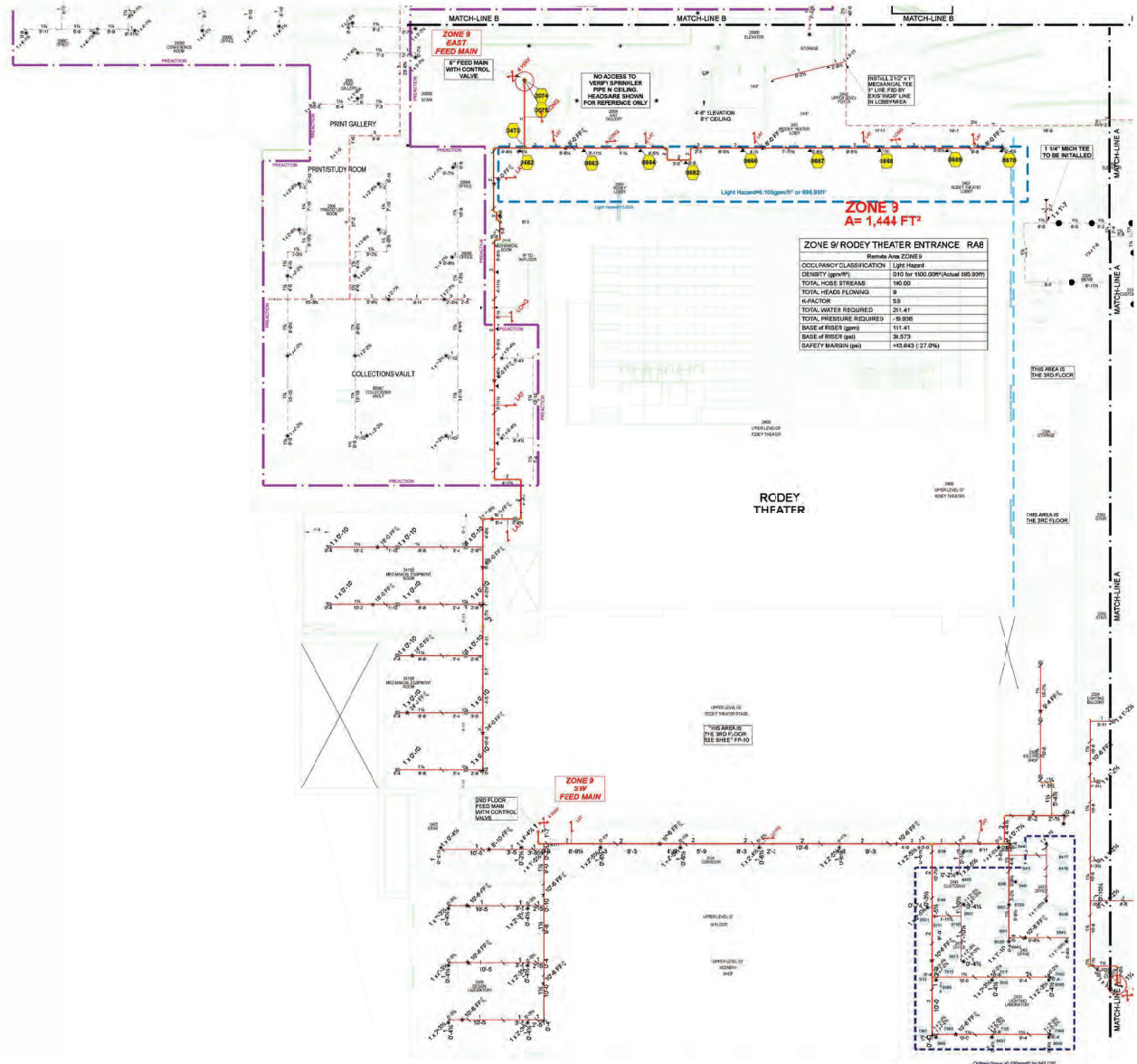
UNM CENTER FOR THE ARTS
BUILDING #52
202 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan

PRINT DATE
03/17/22

FP-15
of 21



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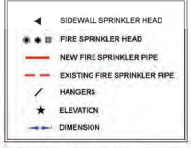


ZONE 9
A= 1,444 FT²

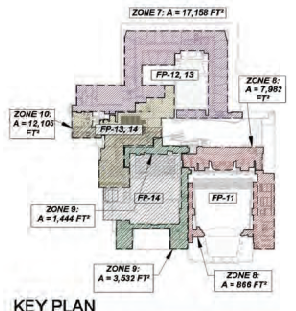
Remainder Area ZONE 9
OCCUPANCY CLASSIFICATION Light Hazard
DENSITY (gpm/ft²) 0.10 for 100,000* Actual (66,900)
TOTAL HOSE STREAMS 140.00
TOTAL HEADS FLOWING 9
K-FACTOR 5.8
TOTAL WATER REQUIRED 251.41
TOTAL PRESSURE REQUIRED 69.806
BASE of RISER (psi) 151.41
BASE of RISER (psi) 38.973
SAFETY MARGIN (psi) +10.843 (1.27 GPM)

ZONE 9
A= 3,532 FT²

ZONE 9 / 2nd FLOOR OFFICE SPACE RA7
OCCUPANCY CLASSIFICATION Ordinary Group
DENSITY (gpm/ft²) 0.3 for 100,000* Actual 543,718
QUICK RESPONSE REDUCTION P-2 Ceiling (40.0N, 900,000)
TOTAL HOSE STREAMS 200.00
TOTAL HEADS FLOWING 18
K-FACTOR 5.8
TOTAL WATER REQUIRED 592.23
TOTAL PRESSURE REQUIRED 52.448
BASE of RISER (psi) 152.23
BASE of RISER (psi) 103.318
SAFETY MARGIN (psi) +10.318 (2.00%)



FIRE SPRINKLER DETAILS



KEY PLAN



UNM CENTER FOR THE ARTS BUILDING SW 2ND FLOOR
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"

OWNERSHIP OF DOCUMENTS
The undersigned warrants that the drawings herein are the original drawings of the undersigned or the undersigned's duly authorized agent, and that the drawings have not been altered, copied, or otherwise used in whole or in part, without the written consent of the undersigned.

FINISHING CONDITIONS
The undersigned warrants that the drawings herein are the original drawings of the undersigned or the undersigned's duly authorized agent, and that the drawings have not been altered, copied, or otherwise used in whole or in part, without the written consent of the undersigned.

I have reviewed these plans and certify that they comply with the adopted NFPA standards.

Drawn: [Signature] Date: 03/12/22
Checked: [Signature] Date: 03/12/22
Reviewed: [Signature] Date: 03/12/22

AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1	03/12/22	FOR APPROVAL
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SE 3rd Floor Fire Sprinkler Legend

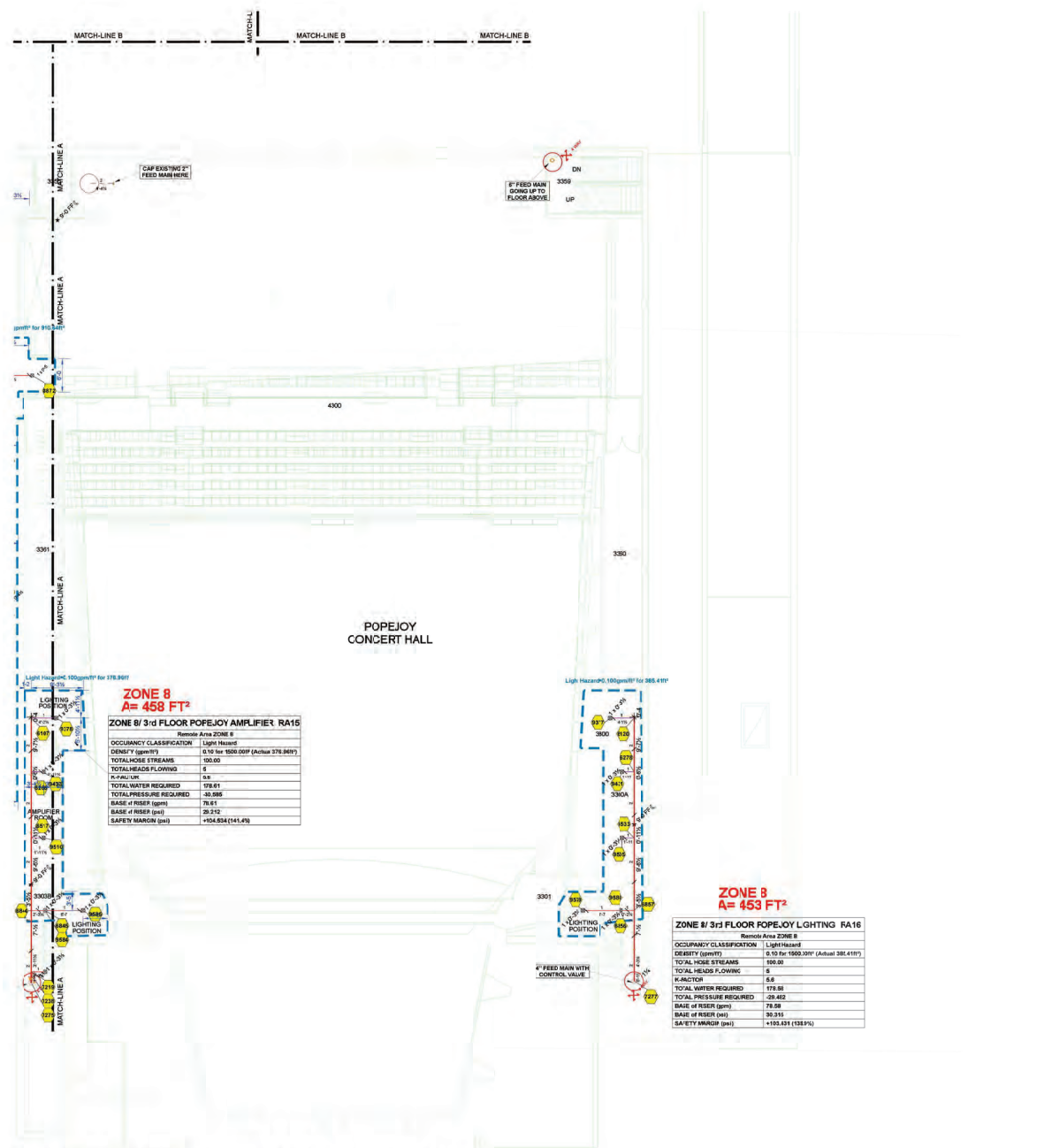
Symbol	Description	Quantity	Remarks
▲	SIDEWALL SPRINKLER HEAD	1	
●	FIRE SPRINKLER HEAD	1	
—	NEW FIRE SPRINKLER PIPE	1	
- - -	EXISTING FIRE SPRINKLER PIPE	1	
—	HANGERS	1	
*	ELEVATION	1	
—	DIMENSION	1	
	Total	11	

SCALE 1/8" = 1'-0"

DRAWN BY
Joey Park

WSP PROJECT NUMBER
40007

**UNM CENTER FOR THE ARTS
BUILDING #82**
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan



**ZONE 8
A= 458 FT²**

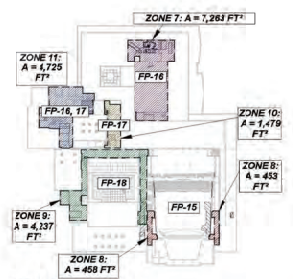
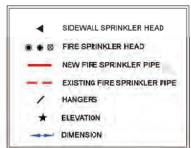
Remainder Area ZONE 8

OCUPANCY CLASSIFICATION	Light Hazard
DENSITY (gpm/ft ²)	0.10 for 1500 GOPP (Active 376.867)
TOTAL HOSE STREAMS	100.00
TOTAL HOSE FLOWING	6
K-FACTOR	5.6
TOTAL WATER REQUIRED	178.81
TOTAL PRESSURE REQUIRED	139.463
BASE of RISER (psi)	78.61
BASE of RISER (psi)	30.314
SAFETY MARGIN (psi)	+104.854 (141.478)

**ZONE 8
A= 453 FT²**

Remainder Area ZONE 8

OCUPANCY CLASSIFICATION	Light Hazard
DENSITY (gpm/ft ²)	0.10 for 1500 GOPP (Actual 388.419)
TOTAL HOSE STREAMS	100.00
TOTAL HOSE FLOWING	6
K-FACTOR	5.6
TOTAL WATER REQUIRED	178.81
TOTAL PRESSURE REQUIRED	139.463
BASE of RISER (psi)	78.68
BASE of RISER (psi)	30.314
SAFETY MARGIN (psi)	+105.131 (138.76)



**UNM CENTER FOR THE ARTS BUILDING SE 3RD FLOOR
FIRE SPRINKLER PLAN**

SCALE: 1/8"= 1'-0



THE UNIVERSITY OF
NEW MEXICO

Western States
Fire Protection Co.
2000 PASADENA AVE SUITE A
ALBUQUERQUE, NM 87113
N. 5054-1044
Johnny.Parsons@wsto.us

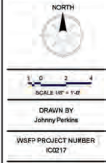
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FREIZING CONDITIONS
THIS PROJECT IS NOT DESIGNED TO BE USED IN AREAS WHERE THE TEMPERATURES ARE LIKELY TO FALL BELOW 32°F (0°C) UNLESS SPECIFICALLY NOTED OTHERWISE.

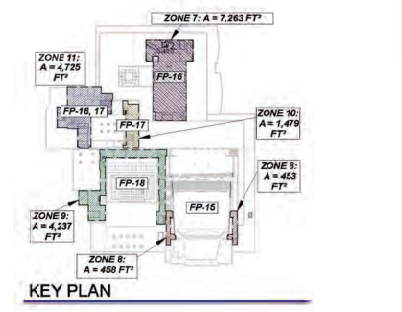
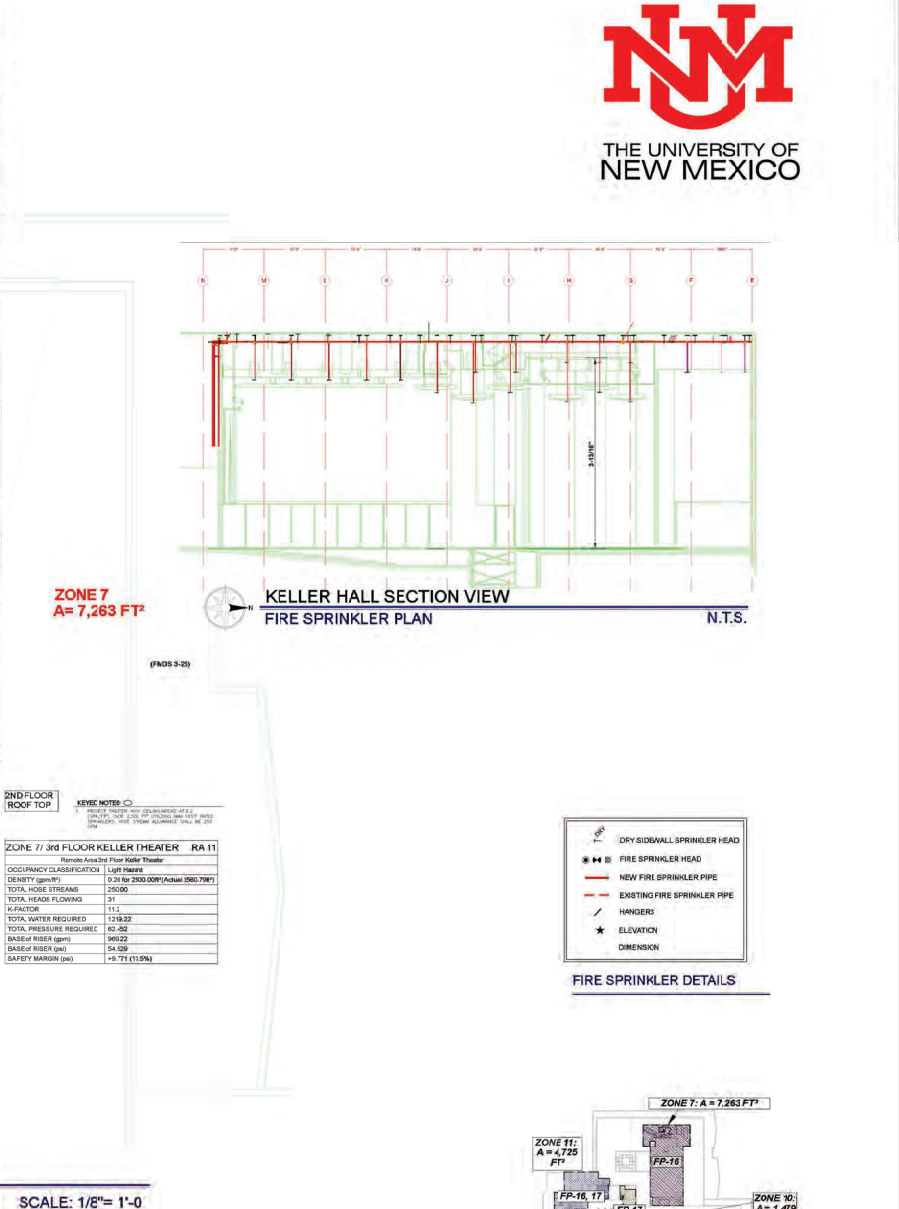
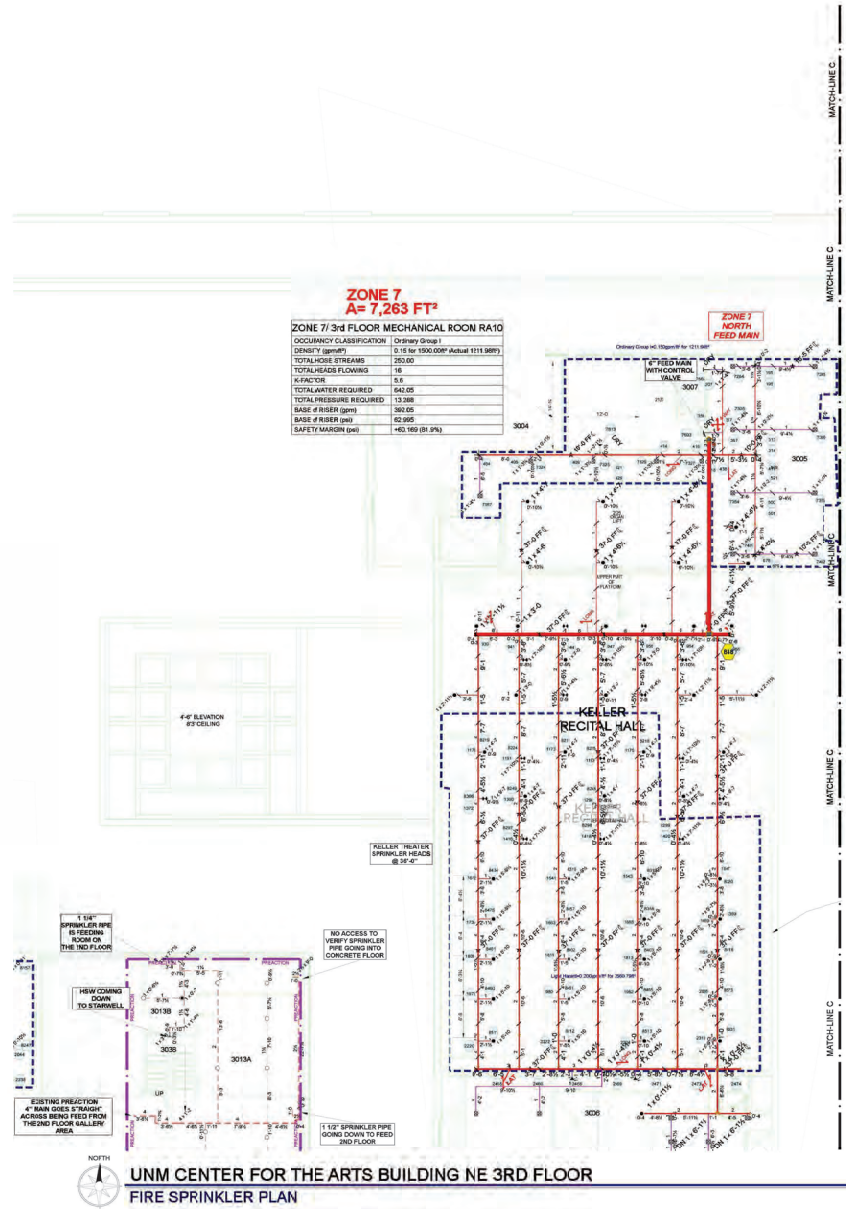
I have reviewed these plans and certify that they comply with the accepted NFPA standards.
Name: _____
Title: _____
Date of Review: _____
Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS	
NO.	DATE DESCRIPTION
1.	03/10/22 FOR APPROVAL
2.	
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N 3rd Floor Fire Sprinkler Legend	
Symbol	Description
—	NEW Fire Sprinkler Pipe
—	EXISTING Fire Sprinkler Pipe
—	HANGER
★	ELEVATION
—	DIMENSION
●	DRY SIDWALL SPRINKLER HEAD
●	FIRE SPRINKLER HEAD



UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan



SCALE: 1/8" = 1'-0"

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FREIZING CONDITIONS
This drawing is not to be used for any project where the freezing conditions are more severe than those specified in the drawing. The user of these drawings, specifications, and other documents shall indemnify and hold Western States Fire Protection Co. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or in connection with the use of these drawings, specifications, and other documents for any purpose other than that for which they were prepared.

I have received these plans and certify that they comply with the adopted NFPA standards.
Name: _____ Title: _____
Project Name: _____
Date of Issue: 03/12/22
Signature: _____
 AS-BUILT SUBMITTAL OTHER

REVISIONS		
NO.	DATE	DESCRIPTION
01/002		FOR APPROVAL
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Sprinkler Legend									
Symbol	Manufacturer	SN	Model	Quantity	K-Factor	Type	Size	Response	Final Temperature
●	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F
○	ES	ES	ES	1	5.0	Pendent	1/2"	Quick	157°F

NORTH
SCALE 1/8" = 1'-0"
DRAWN BY
Johnny Perkins
WSPFP PROJECT NUMBER
K0217

UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan

SPRINKLER TEMPERATURE NOTE

ALL SPRINKLERS TO BE 175 DEGREE UNO.
8.3.2 Temperature Rating:
8.3.2.1 Unless the requirements of 8.3.2.2, 8.3.2.3, 8.3.2.4, or 8.3.2.5 are met, ordinary and intermediate-temperature sprinklers shall be used throughout buildings.

EXTENDED COVERAGE PENDENT SPRINKLER NOTE

WING WEST ECLIP PENDENT - (11.20)
1818 SPACING - REQ. PRESS. - 12.7PSI AT 30GPM
1818 SPACING - REQ. PRESS. - 4.7PSI AT 15GPM
3000 SPACING - REQ. PRESS. - 12.7PSI AT 30GPM
WING EC ON CONCEALED PENDENT - (11.20)
OH
1818 SPACING - REQ. PRESS. - 11.8PSI AT 30GPM
1818 SPACING - REQ. PRESS. - 24.7PSI AT 30GPM
3000 SPACING - REQ. PRESS. - 11.8PSI AT 30GPM
3000 SPACING - REQ. PRESS. - 24.7PSI AT 30GPM

**ZONE 11
A= 4,725 FT²**

Remote Area ZONE 11
Light Hazard

OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sq/ft)	0.15 to 1500.00 (Actual 1587.2217)
TOTAL HOSE STREAMS	126.00
TOTAL HEADS FLOWING	14
K-FACTOR	5.0
TOTAL WATER REQUIRED	335.18
TOTAL PRESSURE REQUIRED	21.869
BASE OF RISER (psi)	235.18
BASE OF RISER (psi)	65.641
SAFETY MARGIN (psi)	+7.428 (34.8%)

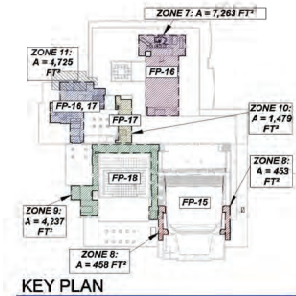
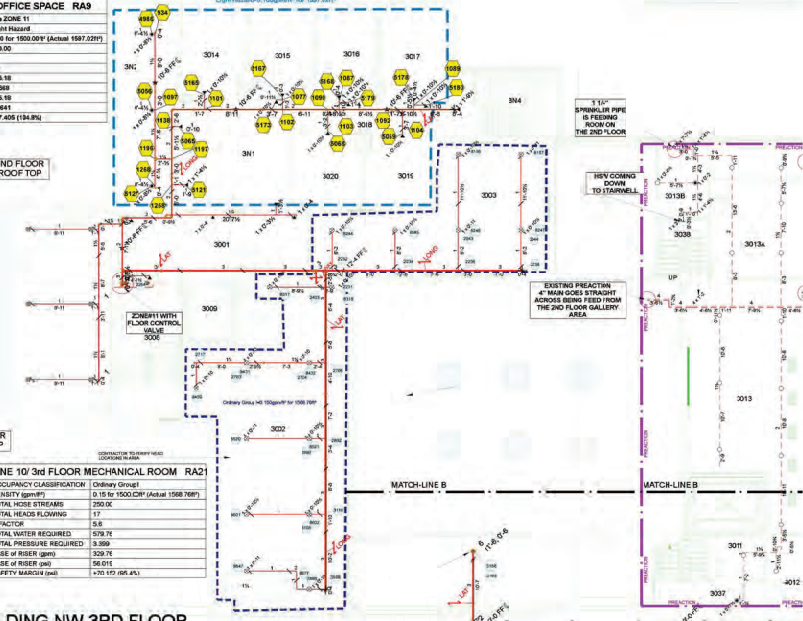
2ND FLOOR
ROOF TOP

OCCUPANCY CLASSIFICATION	Ordinary Group
DENSITY (sq/ft)	0.15 to 1500.00 (Actual 1598.769)
TOTAL HOSE STREAMS	220.00
TOTAL HEADS FLOWING	17
K-FACTOR	5.8
TOTAL WATER REQUIRED	579.74
TOTAL PRESSURE REQUIRED	3.390
BASE OF RISER (psi)	120.75
BASE OF RISER (psi)	56.015
SAFETY MARGIN (psi)	+70.157 (68.1%)

2ND FLOOR
ROOF TOP

2ND FLOOR MECHANICAL ROOM RA2

OCCUPANCY CLASSIFICATION	Ordinary Group
DENSITY (sq/ft)	0.15 to 1500.00 (Actual 1598.769)
TOTAL HOSE STREAMS	220.00
TOTAL HEADS FLOWING	17
K-FACTOR	5.8
TOTAL WATER REQUIRED	579.74
TOTAL PRESSURE REQUIRED	3.390
BASE OF RISER (psi)	120.75
BASE OF RISER (psi)	56.015
SAFETY MARGIN (psi)	+70.157 (68.1%)



UNM CENTER FOR THE ARTS BUILDING NW 3RD FLOOR
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"



OWNERSHIP OF DOCUMENTS

NO.	DATE	DESCRIPTION
1	01/18/23	FOR APPROVAL
2	03/15/23	
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REVISIONS

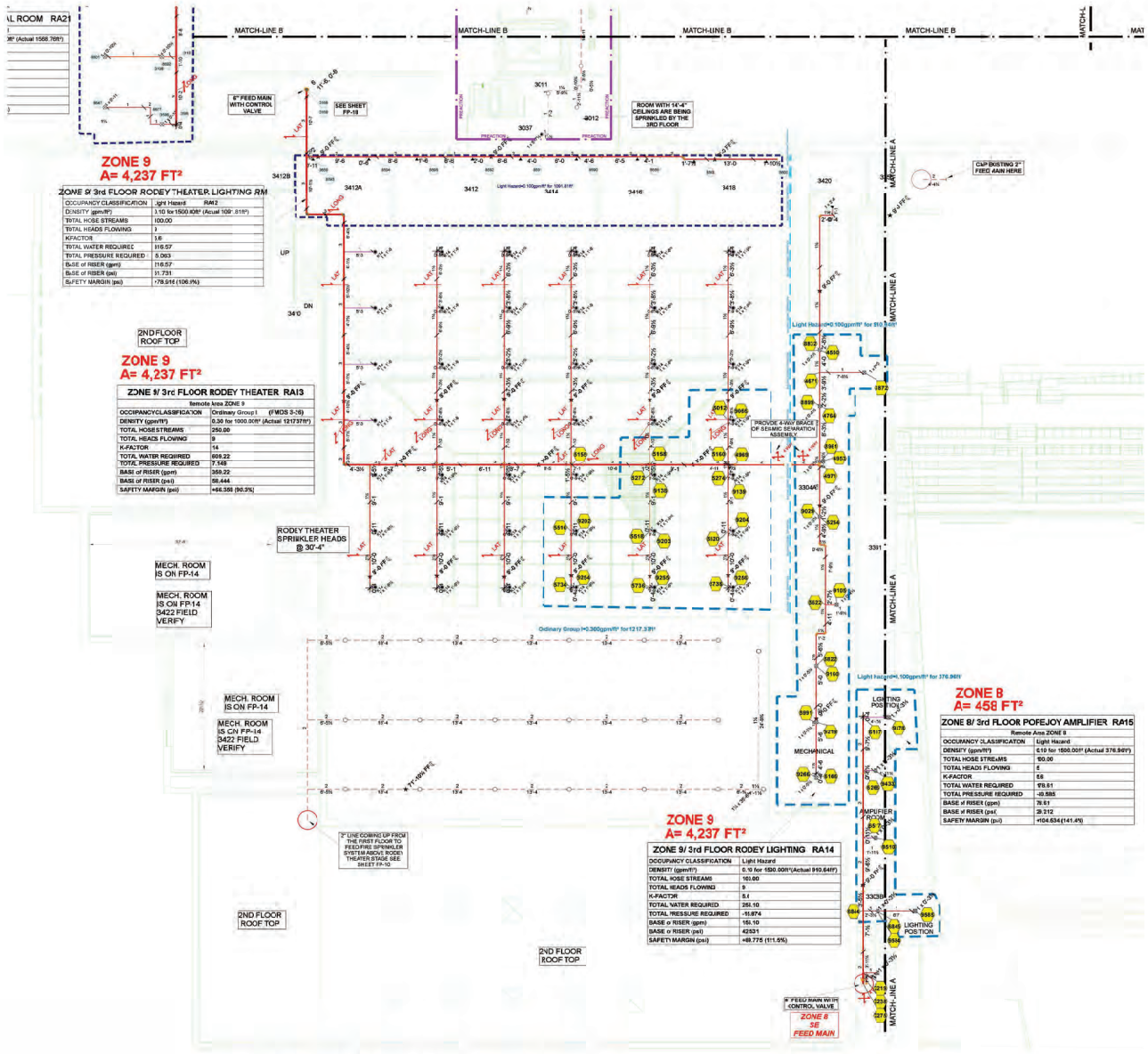
NO.	DATE	DESCRIPTION
1	01/18/23	FOR APPROVAL
2	03/15/23	
3		
4		
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SW 3RD FLOOR SPRINKLER LEGEND

Symbol	Manufacturer	SN	Model	Quantity	K-Factor	Type	Size	Response	Finish	Temperature
●	ES		ES	6	5.6	ES	1/2"	Quick Response	Black	155°F
○	ES		ES	6	5.6	ES	1/2"	Quick Response	Black	155°F
○	ES		ES	14	5.6	ES	1/2"	Quick Response	Black	155°F
○	ES		ES	42	5.6	ES	1/2"	Quick Response	Black	155°F
○	ES		ES	42	5.6	ES	1/2"	Quick Response	Black	155°F

DRAWN BY
Johnny Parkins
WSPF PROJECT NUMBER
K0217

UNM CENTER FOR THE ARTS
BUILDING #62
203 Cornell Dr.,
Albuquerque, NM 87131
Fire Sprinkler Plan



UNM CENTER FOR THE ARTS BUILDING SW 3RD FLOOR
FIRE SPRINKLER PLAN

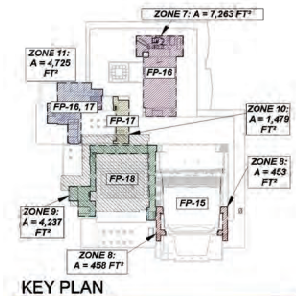
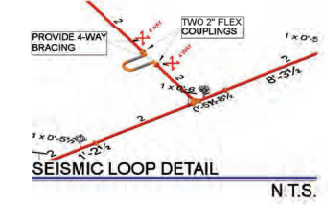
SCALE: 1/8" = 1'-0"

SPRINKLER TEMPERATURE NOTE

ALL SPRINKLERS TO BE 178 DEGREE UNDO.
5.5.2 Temperature Rating:
K-5.2 1" Labels Derivations of K5.2, K1.2, K3.2, K5.2 L or K5.23 are not ordinary and intermediate temperature options used for end-through ceilings.

EXTENDED COVERAGE PENDENT SPRINKLER NOTE

1618 SPACING - REG PRESS - 0.9PSI AT 80GPM	1618 SPACING - REG PRESS - 0.9PSI AT 80GPM
1818 SPACING - REG PRESS - 1.1PSI AT 80GPM	1818 SPACING - REG PRESS - 1.1PSI AT 80GPM
2025 SPACING - REG PRESS - 0.9PSI AT 80GPM	2025 SPACING - REG PRESS - 0.9PSI AT 80GPM
1618 SPACING - REG PRESS - 1.1PSI AT 80GPM	1618 SPACING - REG PRESS - 1.1PSI AT 80GPM
1818 SPACING - REG PRESS - 1.1PSI AT 80GPM	1818 SPACING - REG PRESS - 1.1PSI AT 80GPM
2025 SPACING - REG PRESS - 1.1PSI AT 80GPM	2025 SPACING - REG PRESS - 1.1PSI AT 80GPM





REVISIONS

NO.	DATE	DESCRIPTION
1	03/12/22	FOR APPROVAL
2		
3		
4		
5		
6		

Legend

Symbol	Manufacturer	SN	Model	Quantity	K-Factor	Type	Size	Response	Finish	Temperature
SP-1	SP-1	SP-1	SP-1	SP-1	SP-1	SP-1	SP-1	SP-1	SP-1	SP-1



**ZONE 8
 A=825 SQ. FT**

Remote Area ZONE 8 RA17

OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sqm/ft)	5.50 for 1000.000' (Actual 752.661')
TOTAL HOSE STREAMS	100.00
TOTAL HEADS FLOWING	8
K-FACTOR	8.4
TOTAL WATER REQUIRED	250.54
TOTAL PRESSURE REQUIRED	-13.804
BASE of RISER (psi)	100.94
BASE of RISER (m)	44.827
SAFETY MARGIN (psi)	147.739 (118.8%)

**ZONE 8
 A=562 SQ. FT**

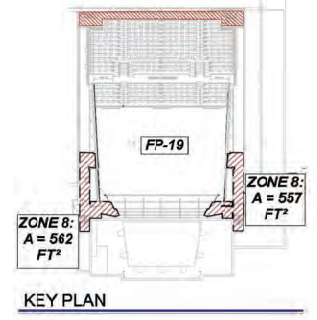
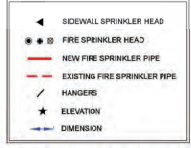
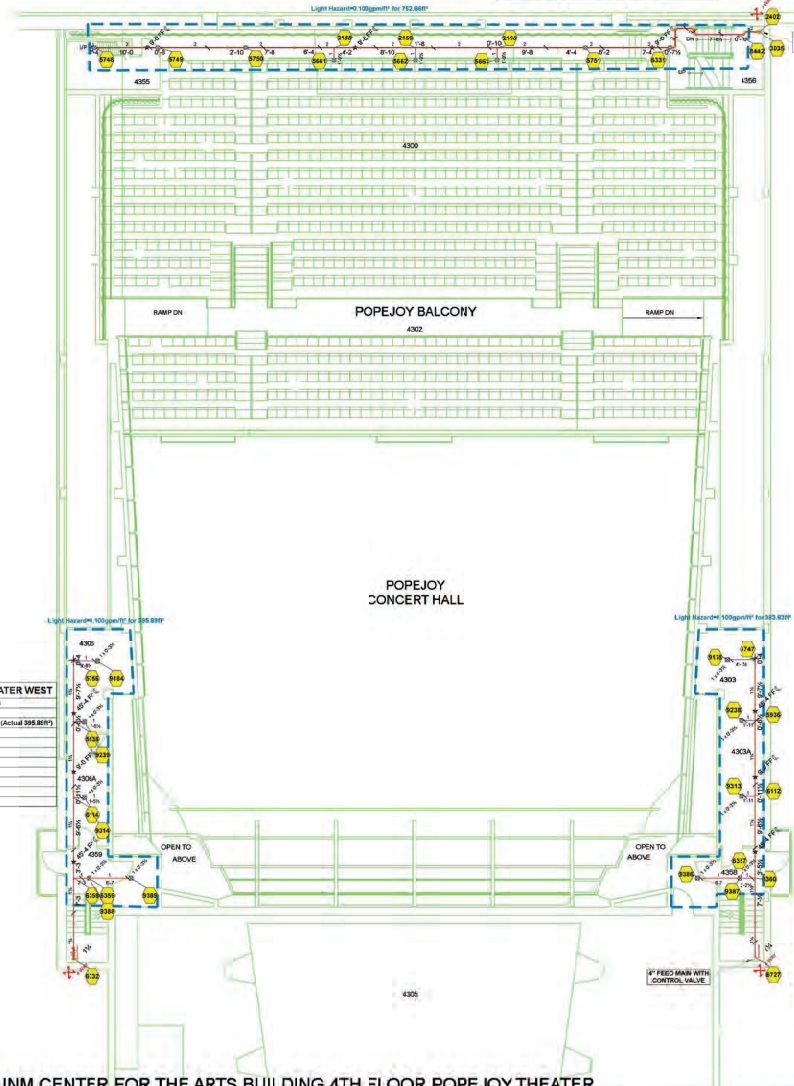
Remote Area ZONE 8 RA: 8

OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sqm/ft)	8.51 for 500.000' (Actual 395.881')
TOTAL HOSE STREAMS	100.00
TOTAL HEADS FLOWING	8
K-FACTOR	8.4
TOTAL WATER REQUIRED	176.53
TOTAL PRESSURE REQUIRED	-11.103
BASE of RISER (psi)	76.63
BASE of RISER (m)	42.720
SAFETY MARGIN (psi)	+91.063 (123.1%)

**ZONE 8
 A=557 SQ. FT**

Remote Area ZONE 8 RA19

OCCUPANCY CLASSIFICATION	Light Hazard
DENSITY (sqm/ft)	8.50 for 1000.000' (Actual 288.631')
TOTAL HOSE STREAMS	100.00
TOTAL HEADS FLOWING	8
K-FACTOR	8.4
TOTAL WATER REQUIRED	177.37
TOTAL PRESSURE REQUIRED	-11.106
BASE of RISER (psi)	77.77
BASE of RISER (m)	42.661
SAFETY MARGIN (psi)	+91.106 (123.2%)



UNM CENTER FOR THE ARTS BUILDING 4TH FLOOR POPEJOY THEATER
 FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"



OWNERSHIP OF DOCUMENTS
All drawings, specifications, and other data are the property of Western States Fire Protection Co. and shall remain the property of Western States Fire Protection Co. whether or not such drawings, specifications, or other data are revised, altered, or amended in any way. The user of these drawings, specifications, or other data shall indemnify and hold Western States Fire Protection Co. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, which may be asserted against or incurred by Western States Fire Protection Co. in connection with the use of these drawings, specifications, or other data.

FRIDING CONDITIONS
This drawing is intended to be used in conjunction with the applicable NFPA standards. It is the responsibility of the user to ensure that the applicable NFPA standards are followed.

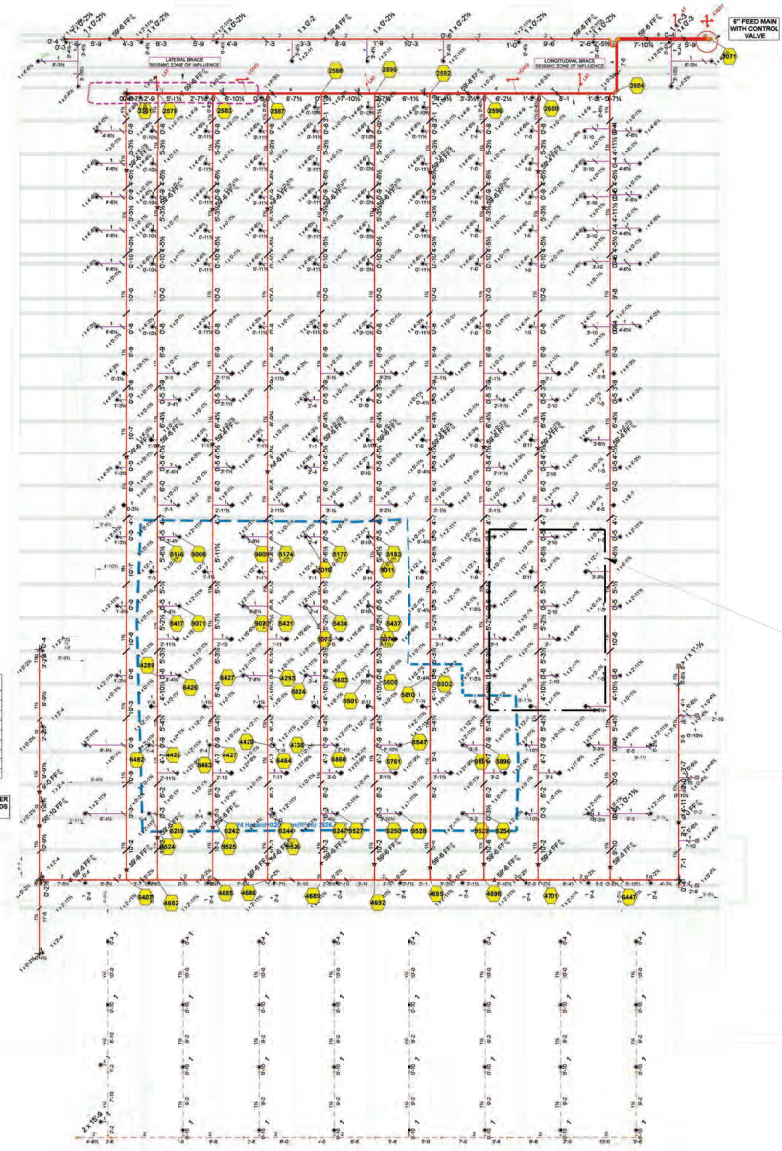
I have reviewed these plans and certify that they comply with the applicable NFPA standards.
 Your Name: []
 NCEI License #: []
 Date of Review: []
 Signature: []
 AS-BUILT SUBMITTAL OTHER

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		
5.		
6.		

6th Floor Sprinkler Legend

Symbol	Manufacturer	Model	Quantity	Response Class	Type	Size	Temperature	Notes
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100
●	ES	ES-100	100	ES	ES	1 1/2"	157°F	ES-100

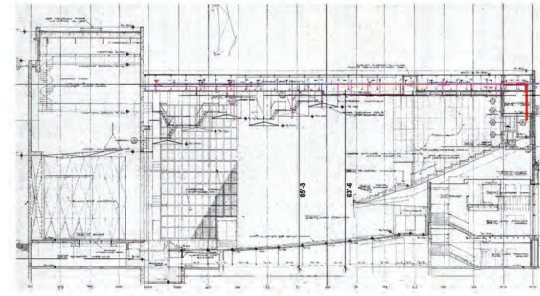


ZONE 8

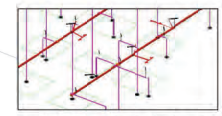
ZONE 8/ 5th FLOOR POPEJOY THEATER RA20

Remedy Area ZONE 8	
OCCUPANCY CLASSIFICATION	Light Hazard (FMDS 3-26)
DENSITY (sq/ft)	0.200/2000 SQ/FT (Actual 2000.4817)
TOTAL HOSE STREAMS	280.32
TOTAL HEADS FLOWING	28
IN-FLOOR	11.2
TOTAL WATER REQUIRED	148.47
TOTAL PRESSURE REQUIRED	68.88
SAFETY MARGIN (psi)	+14.910 (19.3%)

POPEJOY THEATER
SPRINKLER LEGEND
@ 5F-01

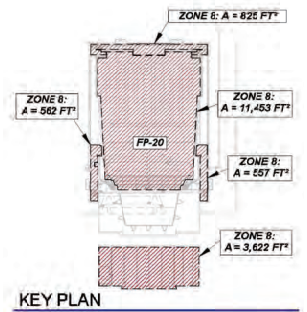


POPEJOY HALL SECTION VIEW
FIRE SPRINKLER PLAN N.T.S.



SPRINKLER IN CLOUDS

- FIRE SPRINKLER DETAILS**
- ◀ SIDEWALL SPRINKLER HEAD
 - ● ● FIRE SPRINKLER HEAD
 - NEW FIRE SPRINKLER PIPE
 - - - EXISTING FIRE SPRINKLER PIPE
 - HANGERS
 - ★ ELEVATION
 - DIMENSION



KEY PLAN



UNM CENTER FOR THE ARTS BUILDING 5TH FLOOR POPEJOY THEATER
FIRE SPRINKLER PLAN

SCALE: 1/8" = 1'-0"

NORTH

SCALE 1/8" = 1'-0"

DRAWN BY
Johnny Parkins

WSP PROJECT NUMBER
102817

**UNM CENTER FOR THE ARTS
BUILDING #62**
202 Cornell Dr.
Albuquerque, NM 87131
Fire Sprinkler Plan

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM – FIRE
SYSTEM**

UNIVERSITY OF NEW MEXICO

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Elizabeth Waters Center for Dance at Carlisle Gymnasium – Fire System on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The Elizabeth Waters Center for Dance (#A0004) is located in the historic Carlisle Gymnasium and is an integral component of the College of Fine Art's core mission. The approximate 37,545 GSF facility is comprised of studio spaces, a large performance arena, offices, conference rooms, and multiple storage spaces. The facility is currently lacking sufficient fire and life safety systems.

The project will provide a new fire protection system for the facility. It is an extension of the facility's fire and life safety improvements, which underwent a complete fire alarm upgrade in 2021. A new wet-pipe automatic fire sprinkler system will be devised and installed for this primarily single-story structure. Modifications are required for the fire alarm system and will also be administered through this project. No modifications to the building's exterior are anticipated at this time, and the building's operational schedule will be minimally affected. Final system acceptance is through the NM State Fire Marshal's Office.

PROJECT RATIONALE:

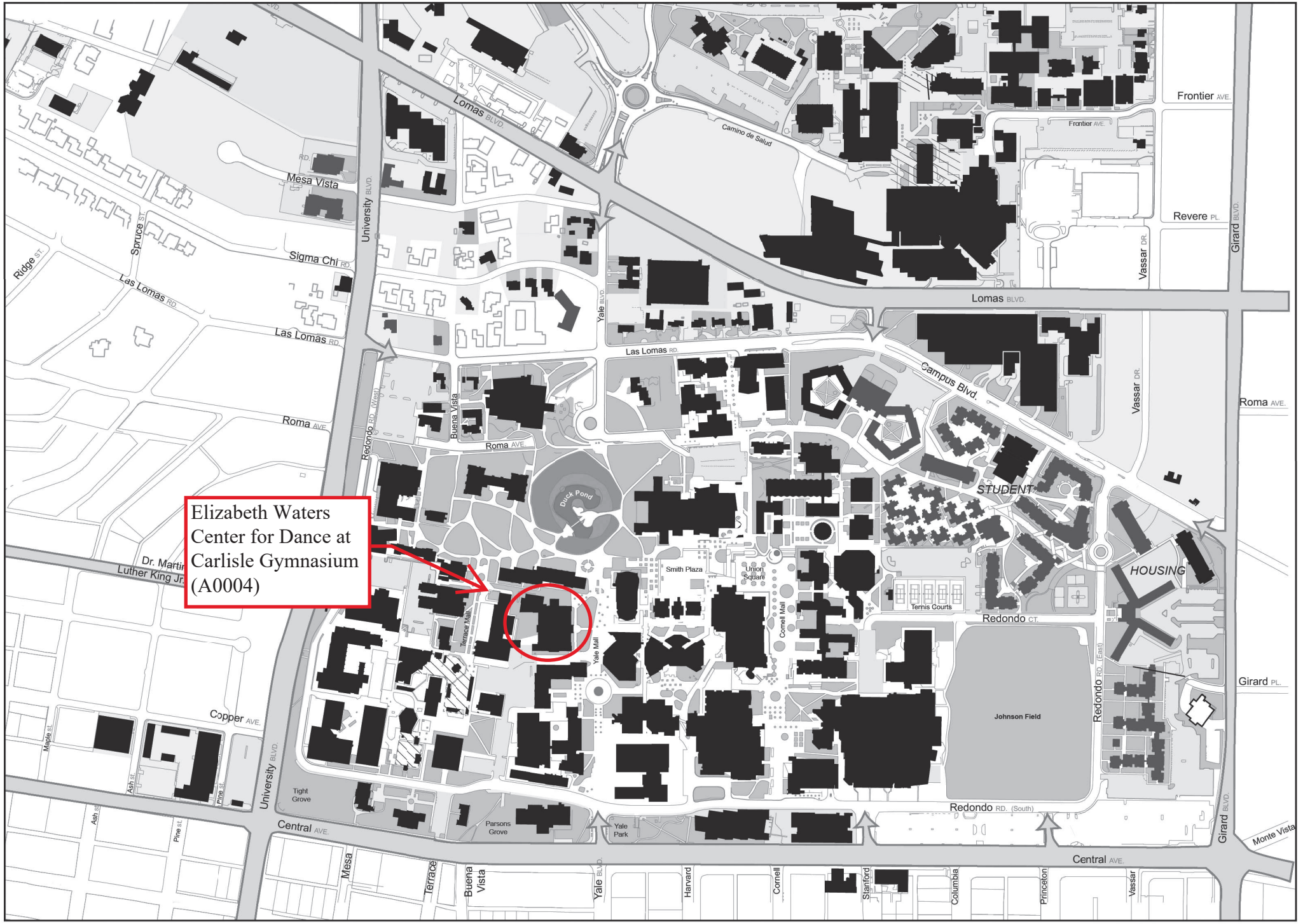
The addition of a fire protection system is needed to comply with current codes and University design standards. Without this project, the University is at extreme risk during an emergency fire scenario, especially during a performance event when hundreds of people are meandering throughout all portions of the facility. This system must be installed to meet all applicable code and standard requirements since the facility is a hub for the UNM Theatre and Dance Department which caters to graduate and undergraduate students, faculty, and outside theater and performance arts groups who utilize this building almost continuously.

FUNDING:

The total estimated Project Budget is \$700,000:

- \$700,000.00 is funded from 2025 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



Elizabeth Waters
Center for Dance at
Carlisle Gymnasium
(A0004)

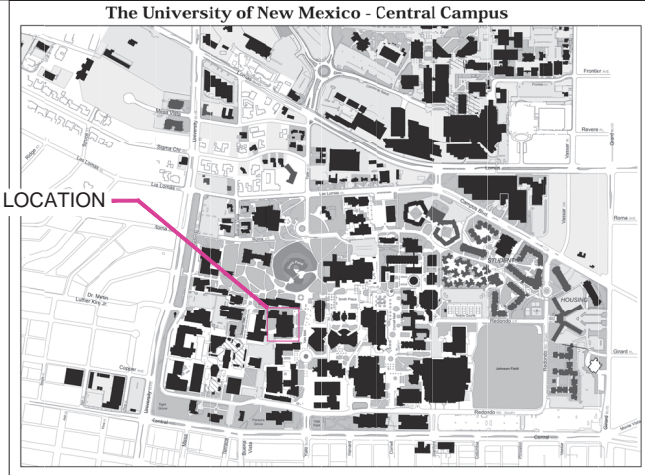


THE UNIVERSITY OF NEW MEXICO

CENTRAL CAMPUS

301 Yale Blvd. NE, Albuquerque, NM 87131

ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM FIRE PROTECTION ADDITION



VICINITY MAP: CENTRAL CAMPUS: UNIVERSITY OF NEW MEXICO

THE CONTRACTOR SHALL PERFORM THE WORK OF THE CONTRACT IN CONFORMANCE WITH THESE DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH THE UNIVERSITY OF NEW MEXICO GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2012 EDITION.

GENERAL CONDITIONS NOTES

GENERAL PROJECT NOTES

BUILDING IN CONTRACT
BLDG. 004, ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM, APPROX. 37,545 gross ft ²

ADD. ALTS.
ADDITIVE ALTERNATE ITEMS: SHEET: _____ DESCRIPTION: _____

A	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT I.E.B.C. & STATE OF NEW MEXICO BUILDING CODES AND ORDINANCES.
B	SECURITY IN THE FACILITY IS TO BE MAINTAINED AT ALL TIMES. NO DOORS SHALL BE PROPPED OPEN. THE CONTRACTOR SHALL COOPERATE FULLY WITH THE OWNER AND SHALL TAKE MEASURES TO MINIMIZE DUST AND NOISE.
C	DURING DEMOLITION COORDINATE WITH THE OWNER REGARDING ANY MATERIALS TO BE SALVAGED FOR OWNER OR PLACED IN STORAGE OR REUSED.
D	ANY DEVICE, DEVICE BOX, JUNCTION BOX, RACEWAY OR CONDUIT DIRECTLY AFFECTED BY THE CONTRACTOR WILL BE BROUGHT UP TO CURRENT NM ELECTRICAL CODE STANDARDS. THIS INCLUDES D RATING OF CONDUCTORS, BOX AND CONDUIT FILL, ETC.
E	CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED, CONTRACTOR SHALL VERIFY INTENT WITH THE OWNER BEFORE PROCEEDING.
F	MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SERVICES TO OWNERS OPERATIONAL AREAS WHILE PERFORMING REMODELING WORK IN THE CURRENT CONSTRUCTION AREA. PROVIDE ALL BYPASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTING AND CONNECTIONS TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION.
G	ALL LEGAL EXITS AND EXIT ACCESS PATHWAYS SHALL REMAIN CLEAR AND UNOBSTRUCTED AT ALL TIMES.
H	THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK FROM DAMAGE DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE THAT DOES OCCUR SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF UNM FACILITIES MANAGEMENT.
I	CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM OWNER'S PROPERTY ON A DAILY BASIS TO A LAWFUL DISPOSAL AREA. CONTRACTOR TO PAY ALL HAULING AND DISPOSAL COSTS. UPON COMPLETION OF THE WORK, VACUUM AND REMOVE ALL DUST, DIRT STAINS, HAND MARKS, ETC.
J	CONTRACTOR SHALL PROVIDE SCAFFOLDING, BARRIERS AND REQUIRED SAFETY EQUIPMENT FOR WORKING IN THE CORE AREA OF THE BUILDING FOR A SAFE EXECUTION OF THE WORK.
K	ALL PENETRATIONS THROUGH RATED WALLS AND/OR SHAFTS SHALL BE PROTECTED IN ACCORDANCE WITH APPLICABLE CODES TO MAINTAIN INTEGRITY OF THE SYSTEM'S RATING.
L	UNM FACILITIES MANAGEMENT SHALL BE CONTACTED PRIOR TO CUTTING ANY STRUCTURAL ELEMENT OF THE BUILDING
M	COORDINATE ALL SHUTDOWNS AND TIE-INS WITH UNM-UTILITIES DEPARTMENT
N	DO NOT PARK IN CAMPUS ASSIGNED SPACES, HANDICAPPED SPACES, RESTRICTED ZONES ETC. ON THIS PROJECT, VEHICLES WILL BE TICKETED AND/OR TOWED AWAY. DESIGNATED CONSTRUCTION PARKING, LOADING & UNLOADING AREA AND STAGING AREAS WILL BE ESTABLISHED BY THE PROJECT MANAGER PRIOR TO STARTING WORK.
O	THE WORK IN THIS CONTRACT MUST BE PLANNED AND PERFORMED WITH MINIMAL DISRUPTION TO NORMAL OPERATIONS OF THE BUILDING AND ITS USERS. CONTRACTOR IS ALLOWED TO WORK DURING NORMAL BUSINESS HOURS 8AM-5PM OR DURING WORKING HOURS MUTUALLY AGREED UPON WITH THE UNM PROJECT MANAGER. IF WORK IS REQUESTED OUTSIDE OF THE NORMAL BUSINESS HOURS IT SHALL BE AT NO ADDITIONAL COST TO THE UNIVERSITY.
P	CONTRACTOR SHALL PROVIDE PROVISIONS FOR MINIMIZING CONSTRUCTION DUST (I.E. ACOUSTICAL CEILING TILE, CMU, PLASTER, GYPSUM WALLBOARD) IN ALL AREAS OF WORK. CONTRACTOR SHALL COORDINATE WITH THE BUILDING USERS FOR PROVIDING PROTECTION FOR FURNITURE, EQUIPMENT, AND STORED COMMODITIES DURING CONSTRUCTION.

1	ALL SITE WORK INCLUDING UNDERGROUND PIPING, FITTINGS, VALVES, MECHANICAL RESTRAINED JOINTS, ETC. SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR
2	ALL FIRE ALARM WORK INCLUDING TAMPER SWITCHES, FLOW SWITCHES, CONDUIT & WIRE, ETC. SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. FIRE ALARM SYSTEM FOR CARLISLE GYMNASIUM IS MANUFACTURED BY EDWARDS, APC SOLUTIONS, INC.. TO BE GIVEN FIRST RIGHT OF REFUSAL FOR ALL FIRE ALARM RELATED WORK.
3	ALL WATER SERVICE LINES SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED PER NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION (N.M.A.P.W.A.) AND NFPA REQUIREMENTS. DOCUMENTATION OF ALL ACCEPTANCE TESTING OF WATER SUPPLY SYSTEMS FOR FIRE PROTECTION SHALL BE SUBMITTED FOR APPROVAL
4	CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL INC. DBA NEW MEXICO 811 NO LESS THAN TWO WORKING DAYS PRIOR TO START OF ANY EXCAVATION OR NO MORE THAN FIVE WORKING DAYS PRIOR TO THE EXCAVATION. STANDARD LOCATE REQUESTS CAN BE SUBMITTED ONLINE 24 HOURS A DAY, SEVEN DAYS A WEEK.
5	ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES
6	WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY OF ALBUQUERQUE PRIOR TO BEGINNING EXCAVATION
7	UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, LAYDOWN YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEED ACCORDING TO N.M.A.P.W.A. SECTION 1012 "NATIVE GRASS SEEDING". THIS IS CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO ADDITIONAL PAYMENT SHALL BE MADE.
8	A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
9	THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
10	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
11	PAINTING OF SPRINKLER PIPE AND FITTINGS SHALL BE BY THIS CONTRACTOR
12	PAINTING OF SPRINKLER SHALL COMPLY WITH NFPA 291 REQUIREMENTS AND SHALL BE BY THIS CONTRACTOR
13	WHERE PIPING IS INDICATED TO BE INSTALLED ABOVE FINISHED CEILINGS, REMOVAL AND REPLACEMENT OF CEILINGS SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. UNLESS OTHERWISE STATED IN THE CONTRACT, CEILING REPLACEMENT MATERIALS SHALL MATCH FINISH OF ADJACENT CEILING AREAS. ANY CEILING WORK WILL BE INSTALLED TO ALL CURRENT IBC REGULATIONS.

DRAWING INDEX

APPLICABLE CODES

GENERAL G1 TITLE SHEET - SITE MAP, INDEX, CODES & GENERAL NOTES
FIRE PROTECTION FP1 FIRE PROTECTION NOTES, LEGEND, & DETAILS FP2 BUILDING #004 FIRE PROTECTION UTILITY SITE PLAN FP3 FIRST FLOOR PLAN FIRE SPRINKLER FP4 BASEMENT AND SECOND FLOOR PLAN FIRE SPRINKLER

NEW MEXICO COMMERCIAL BUILDING CODE - 2021 ED. INTERNATIONAL BUILDING CODE - 2021 ED. INTERNATIONAL EXISTING BUILDING CODE - 2021 ED. NEW MEXICO PLUMBING AND MECHANICAL CODE - 2021 ED. UNIFORM MECHANICAL CODE (UMPC) - 2021 ED. UNIFORM PLUMBING CODE (UPMCO) - 2021 ED. NEW MEXICO ELECTRICAL CODE - 2020 ED. NATIONAL ELECTRICAL CODE - 2020 ED. INTERNATIONAL FIRE CODE - 2021 ED. UNIVERSITY OF NEW MEXICO DESIGN STANDARDS - 2023 ED. UNIVERSITY OF NEW MEXICO GENERAL CONDITIONS - 2012 ED. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES & STANDARDS AS REFERENCED BY APPLICABLE CODES NM STATE FIRE MARSHAL'S OFFICE, PLANS REVIEW SUBMITTAL REQUIREMENTS & INFORMATION, 2022 ED.
--

DESIGNED RG									
DRAWN RG									
CHECKED UNM-FM									
APPROVED UNM-FM									
DATE 7-19-23									



The University of New Mexico
Facilities Management - E&BS Division
Facilities Management Service Building
Bldg. 204, Rm. 121 - 1818 Camino del Servicio NE - Albuquerque, NM 87131-3500

UNM CENTRAL CAMPUS

ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM
FIRE PROTECTION ADDITION
TITLE SHEET - SITE MAP, INDEX, CODES & GENERAL NOTES

G1

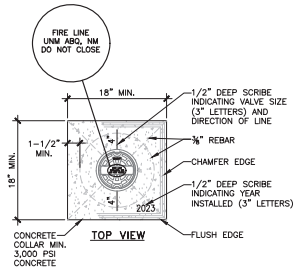
Pg. 1 of 5

FIELD PAINTING AND LABELING NOTES:
FIRE EXTINGUISHING SPRINKLER SYSTEMS
PAINTING: CLEAN, PRETREAT, PRIME, AND PAINT NEW FIRE EXTINGUISHING SPRINKLER SYSTEMS INCLUDING VALVES, PIPING, CONDUIT, HANGERS, SUPPORTS, MISCELLANEOUS METALWORK, AND ACCESSORIES. APPLY COATINGS TO CLEAN, DRY SURFACES. USING CLEAN BRUSHES. CLEAN THE SURFACES TO REMOVE DUST, DIRT, RUST, AND LOOSE MILL SCALE. IMMEDIATELY AFTER CLEANING, PROVIDE THE METAL SURFACES WITH ONE COAT PRIMER. SHIELD SPRINKLER HEADS WITH PROTECTIVE COVERINGS WHILE PAINTING IS IN PROGRESS. UPON COMPLETION OF PAINTING, REMOVE PROTECTIVE COVERING FROM SPRINKLER HEADS. REMOVE SPRINKLER HEADS WHICH HAVE BEEN PAINTED AND REPLACE WITH NEW SPRINKLER HEADS. PROVIDE PRIMED SURFACES WITH THE FOLLOWING:

- PIPING IN UNFINISHED AREAS: PROVIDE PRIMED SURFACES WITH ONE COAT OF RED ALKYD GLOSS ENAMEL APPLIED TO A MINIMUM DRY FILM THICKNESS OF 1.0 MIL IN CRAWL SPACES, PIPE CHASES, MECHANICAL EQUIPMENT ROOM, ELEVATOR MACHINE ROOM, AND SPACES WHERE WALLS OR CEILING ARE NOT PAINTED OR NOT CONSTRUCTED OF A PREFINISHED MATERIAL.
- PIPING IN FINISHED AREAS: PROVIDE PRIMED SURFACES WITH TWO COATS OF PAINT TO MATCH ADJACENT SURFACES. EXCEPT FLOOR VALVES AND OPERATING ACCESSORIES WITH ONE COAT OF RED ALKYD GLOSS ENAMEL APPLIED TO A MINIMUM DRY FILM THICKNESS OF 1.0 MIL.

LABELING: ASME(ANSI) A13.1 REQUIRES THAT ALL PIPES BE MARKED WITH A LEGEND INDICATING THE NAME OF THE CONTENTS AND ARROWS SHOWING THE DIRECTION OF FLOW OF THE MATERIAL. PROVIDE THE LABEL EVERY 25'-0" ON STRAIGHT PIPE AND AT ALL CHANGES IN DIRECTION. WHENEVER PIPE PASSES THROUGH A WALL OR FLOOR, LABEL ON BOTH SIDES OF PENETRATION.

- FIRE PROTECTION PIPE MARKERS SHALL CONSIST OF SELF-ADHESIVE VINYL LABELING TAPE WITH WHITE LETTERING ON A RED BACKGROUND INDICATING "SPRINKLER FIRE".
- INDICATOR POSTS: PROVIDE A PERMANENT, WEATHER-RESISTANT, ENGRAVED ALUMINUM NAMEPLATE WITH SELF-ADHESIVE TAPE BACKING AND WHITE LETTERING ON A RED BACKGROUND INDICATING THE FOLLOWING: LINE 1: PIV, LINE 2: BUILDING NAME, LINE 3: BUILDING NUMBER, SETON STYLE NO. JS0119 OR APPROVED EQUIVALENT.

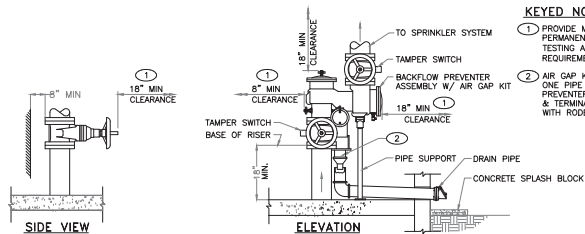


VALVE BOX COLLAR DETAIL

NOT TO SCALE

KEYED NOTES:

- PROVIDE MINIMUM CLEARANCES FROM PERMANENT OBSTRUCTIONS FOR UNIT TESTING AND REPAIR (PER MANUFACTURER'S REQUIREMENTS).
- AIR GAP KIT, DRAIN PIPE SIZE MINIMUM ONE PIPE SIZE LARGER THAN BACKFLOW PREVENTER. ROUTE DRAIN PIPE TO DAYLIGHT & TERMINATE END OF DISCHARGE PIPING WITH RODENT SCREEN AND FLAP VALVE.

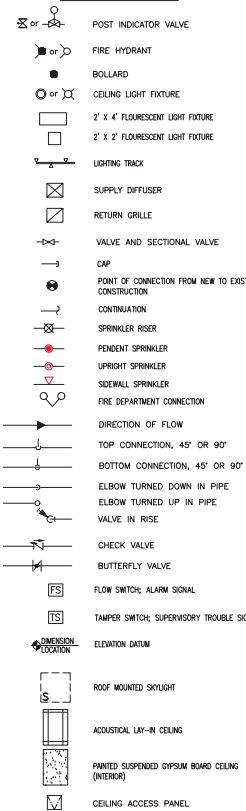


REDUCED PRESSURE ASSEMBLY VERTICAL INDOOR INSTALLATION

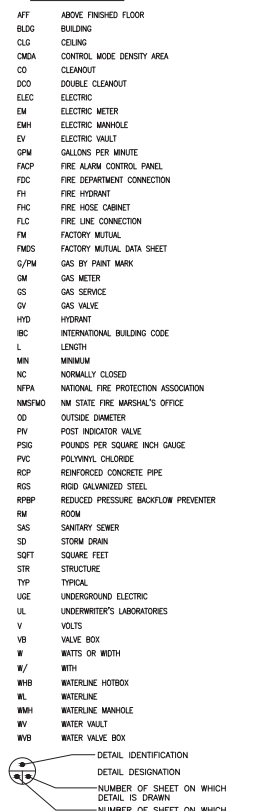
NOT TO SCALE

FIRE PROTECTION LEGEND

GENERAL SYMBOLS



ABBREVIATIONS



NOTE: THIS PROJECT MAY NOT USE EVERY SYMBOL OR DEVICE APPEARING ON THIS LEGEND.

FIRE PROTECTION NOTES (APPLY TO ALL FP SHEETS)

- THE ENTIRE BUILDING AS SHOWN SHALL BE PROVIDED WITH A COMPLETE AUTOMATIC WET-PIPE FIRE PROTECTION SPRINKLER SYSTEM. ALL AREAS SHALL BE DESIGNED PER LIGHT HAZARD CLASSIFICATION AREA 0.10 (GM/FT²) OVER 1500 FT² UNLESS NOTED OTHERWISE. DOCUMENT SET INDICATES THE GENERAL SITE CONDITIONS AND SCOPE AND INTENT OF FIRE PROTECTION SYSTEM TO ASSIST THE FIRE PROTECTION CONTRACTOR IN CREATION OF DETAILED SHOP DRAWINGS. CONTRACTOR TO FURNISH DETAILED SHOP DRAWINGS PRIOR TO INSTALLATION AND SHALL PROVIDE FINAL AS-BUILT DRAWINGS AT THE COMPLETION OF THE PROJECT. REMOVAL OF THE SHOP DRAWINGS FROM THE STATE FIRE MARSHAL OFFICE AND UTM FIRM-AGES DIVISION IS REQUIRED PRIOR TO INSTALLATION. CONTRACTOR SHALL CONDUCT A SITE SURVEY OF EXISTING FACILITY PRIOR TO BID TO DETERMINE EXTENT OF WORK.
- THE FIRE PROTECTION CONTRACTOR SHALL DESIGN, INSTALL, AND TEST THE FIRE SPRINKLER SYSTEM TO THE APPROPRIATE EDITIONS OF NFPA 13, 24, 25, 70, 72 & 101, FMDS 3-26, 2023-UNM ENGINEERING DESIGN STANDARDS, 2022-UNM/EMO PLANS REVIEW GUIDELINES, 2021-IFC, 2021-IBC AND THE SPECIFICATIONS. THE MOST STRINGENT OF THESE PUBLICATIONS SHALL APPLY.
- HYDRAULIC CALCULATIONS FOR AUTOMATIC WET PIPE SYSTEMS SHALL BE SUBMITTED AND SHALL BE PROVIDED FROM WATER SOURCE TO REMOTE AREA. AREAS OF SPRINKLER CALCULATION FOR THIS FACILITY ARE PERMITTED TO BE REDUCED FOR UTILIZING QUICK RESPONSE SPRINKLERS, INCLUDE OUTSIDE HOSE ALLOWANCE IN HYDRAULIC CALCULATIONS.
- ORDINARY HAZARD GROUP 1 OCCUPANCIES: ELEVATOR SHEDS AND ELEVATOR MACHINE ROOMS, MECHANICAL AND ELECTRICAL ROOMS, CHEMISTS & BIOLOGY LABORATORIES, ELECTRIC CLOSETS, STORAGE DOES NOT EXCEED 8FT
- ORDINARY HAZARD GROUP 2 OCCUPANCIES: STORAGE OF ELECTRONIC AND PLASTIC MEDIA, STORAGE DOES NOT EXCEED 12FT
- AUTOMATIC SPRINKLERS SHALL BE LUL LISTED OR FM APPROVED, QUICK-RESPONSE SPRINKLERS, PER NFPA 13.
- WHERE PROVIDED, AUTOMATIC SPRINKLER HEAD AND ESCUTCHEON SHALL MATCH THE COLOR OF CEILING AND CEILING TILES. SIDEWALL SPRINKLERS AND ESCUTCHEON SHALL MATCH THE WALL COLOR. ALL COLORING SHALL BE FACTORY FINISHED IN ACCORDANCE WITH AUTOMATIC SPRINKLER MANUFACTURER.
- CONTRACTOR SHALL REMOVE AND REPLACE CEILING TILES AND T-BAR SUPPORT SYSTEM FOR RENOVATED AREAS AS REQUIRED TO INSTALL SPRINKLER PIPING, SUPPORTS, AND HEADS, CUT AND PATCH GYPSUM BOARD CEILING AND WALLS AS REQUIRED TO MATCH OR BETTER EXISTING CONDITIONS.
- THE FIRE PROTECTION CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL FIRE PROTECTION WORK WITH THE BUILDING'S STRUCTURAL, MECHANICAL, AND ELECTRICAL ELEMENTS INCLUDING, BUT NOT LIMITED TO STRUCTURAL MEMBERS, AIR DUCTS AND OUTLETS, PIPING AND CONDUIT, LIGHT FIXTURES AND SIMILAR EQUIPMENT AND MATERIALS THAT MAY INTERFERE WITH THE PROPER INSTALLATION AND OPERATION OF THE SYSTEM. ALL PIPING SHALL BE RUN AS HIGH AS POSSIBLE AND SHALL BE AS INCONSPICUOUS AS POSSIBLE. CONTRACTOR'S COORDINATION SHALL BE REFLECTED ON THE INSTALLATION PLANS SUBMITTED FOR APPROVAL.
- THE LOCATION OF AUXILIARY DRAINS SHALL BE ACCURATELY DETERMINED AND INSTALLED PER NFPA 13. SPRINKLER SYSTEM DRAINAGE SHALL DISCHARGE OUTSIDE THE BUILDING THROUGH A DRAIN CAPABLE OF ACCEPTING THE FULL FLOW UNDER SYSTEM PRESSURE TO A LOCATION WHERE WATER DRAINAGE WILL NOT RESULT IN PROPERTY DAMAGE.
- FLOW AND TAMPER SWITCHES SHALL BE FURNISHED AND INSTALLED BY THE FIRE PROTECTION CONTRACTOR. THE FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL NEW DEVICES ASSOCIATED WITH THE FIRE SPRINKLER SYSTEM. VERIFY COMPATIBILITY OF DEVICES AND ZONE CONFIGURATIONS PRIOR TO INSTALLATION. CONTACT EXISTING FIRE ALARM MAINTENANCE AND SERVICE REPRESENTATIVE FOR DEVICE COMPATIBILITY AND ZONE REQUIREMENTS.
- PROVIDE SLEEVES AND WALL PLATES FOR ALL PENETRATIONS THROUGH WALLS OR FLOORS THAT MIGHT INCLUDE DRILLING THROUGH CONCRETE, METAL WALL BOARD, OR OTHER MATERIALS. FIELD VERIFY APPROXIMATE WALL AND FLOOR PENETRATIONS. SEAL ALL PIPE PENETRATIONS IN WATED SEPARATIONS TO MEET THE MINIMUM FIRE RATING OF THE WALL OR FLOOR.
- HOLES IN FOUNDATIONS, WALLS, OR FLOORS SHALL BE SIZED SUCH THAT THE DIAMETER OF THE HOLE IS NOMINALLY 2" LARGER THAN PIPE FOR 1" TO 3.5" PIPE SIZE, AND 4" LARGER THAN PIPE FOR 4" AND LARGER PIPE SIZE.
- PROVIDE ACCESS DOORS AND SIGNAGE WHERE ACCESS IS REQUIRED TO CONCEALED SPRINKLER EQUIPMENT, VALVES, AND CONTROLS LOCATED IN WALLS OR ABOVE CEILING.
- ELEVATOR SHAFTS SHALL INCORPORATE FIRE PROTECTION AT TOP AND BOTTOM OF HOSTWAY & MACHINE ROOM AS DIRECTED BY 2015-IBC, NFPA 13, AND UTM-DESIGN STANDARDS.
- FACILITY TO BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR TO PROVIDE UTM FIRM-AGES DIVISION A CONSTRUCTION SCHEDULE WITHIN 15 DAYS OF NOTICE TO PROCEED.
- DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL COMPLETE AND READY FOR INTEREED USE.
- WATER SUPPLY DATA FOR DESIGN: CONTRACTOR SHALL BE TASKED TO PERFORM AN UPDATED AND ACCURATE HYDRANT FLOW TEST WITHIN 12-MONTHS OF THE DATE OF SUBSTANTIAL COMPLETION OF THIS PROJECT. THIS DATA SHALL BE USED FOR ALL NEW SYSTEM HYDRAULIC CALCULATIONS.



PROJECT TEAM
FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

UNIVERSITY LIFE SAFETY RENOVATIONS ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM Building #004 301 Yale Blvd. NE Albuquerque, NM 87131
FIRE PROTECTION ADDITION

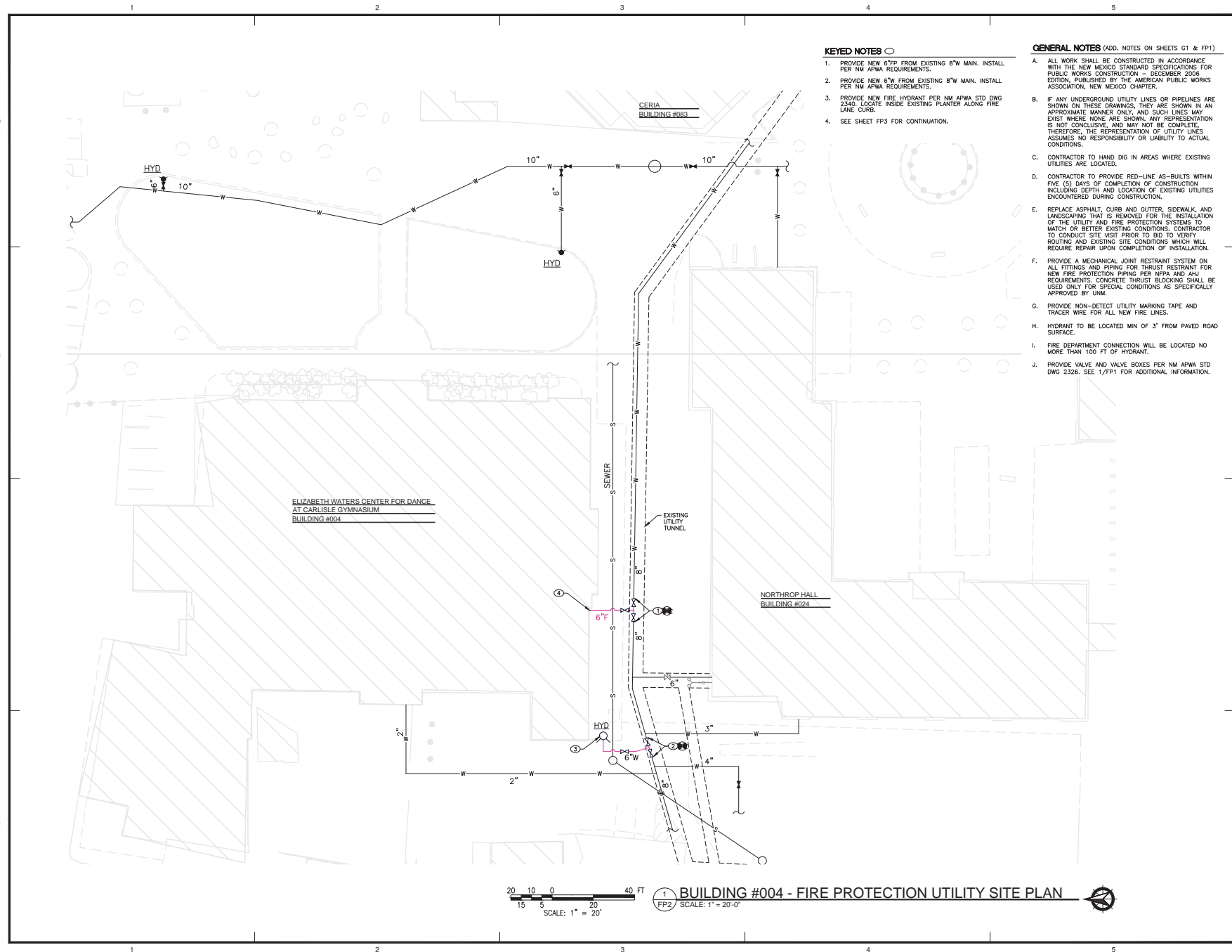
MARK DATE DESCRIPTION

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DESIGNED BY: FM-E&ES
 DRAWN BY: RG
 CHECKED BY: DP
 DATE: 07/19/23

FIRE SPRINKLER SYSTEM GENERAL NOTES LEGEND & DETAILS

FP1

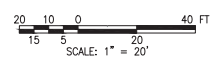


KEYED NOTES ○

1. PROVIDE NEW 6"FP FROM EXISTING 8"W MAIN. INSTALL PER NM APWA REQUIREMENTS.
2. PROVIDE NEW 6"W FROM EXISTING 8"W MAIN. INSTALL PER NM APWA REQUIREMENTS.
3. PROVIDE NEW FIRE HYDRANT PER NM APWA STD DWG 2340. LOCATE INSIDE EXISTING PLANTER ALONG FIRE LANE CURB.
4. SEE SHEET FP3 FOR CONTINUATION.

GENERAL NOTES (ADD. NOTES ON SHEETS G1 & FP1)

- A. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - DECEMBER 2006 EDITION, PUBLISHED BY THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER.
- B. IF ANY UNDERGROUND UTILITY LINES OR PIPELINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. ANY REPRESENTATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, THE REPRESENTATION OF UTILITY LINES ASSUMES NO RESPONSIBILITY OR LIABILITY TO ACTUAL CONDITIONS.
- C. CONTRACTOR TO HAND DIG IN AREAS WHERE EXISTING UTILITIES ARE LOCATED.
- D. CONTRACTOR TO PROVIDE RED-LINE AS-BUILTS WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING DEPTH AND LOCATION OF EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- E. REPLACE ASPHALT, CURB AND GUTTER, SIDEWALK, AND LANDSCAPING THAT IS REMOVED FOR THE INSTALLATION OF THE UTILITY AND FIRE PROTECTION SYSTEMS TO MATCH OR BETTER EXISTING CONDITIONS. CONTRACTOR TO CONDUCT SITE VISIT PRIOR TO BID TO VERIFY ROUTING AND EXISTING SITE CONDITIONS WHICH WILL REQUIRE REPAIR UPON COMPLETION OF INSTALLATION.
- F. PROVIDE A MECHANICAL JOINT RESTRAINT SYSTEM ON ALL FITTINGS AND PIPING FOR THRUST RESTRAINT FOR NEW FIRE PROTECTION PIPING PER NFPA AND AHJ REQUIREMENTS. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS AS SPECIFICALLY APPROVED BY UNM.
- G. PROVIDE NON-DETECT UTILITY MARKING TAPE AND TRACER WIRE FOR ALL NEW FIRE LINES.
- H. HYDRANT TO BE LOCATED MIN OF 3' FROM PAVED ROAD SURFACE.
- I. FIRE DEPARTMENT CONNECTION WILL BE LOCATED NO MORE THAN 100 FT OF HYDRANT.
- J. PROVIDE VALVE AND VALVE BOXES PER NM APWA STD DWG 2326. SEE 1/FP1 FOR ADDITIONAL INFORMATION.



BUILDING #004 - FIRE PROTECTION UTILITY SITE PLAN
 1 FP2 SCALE: 1" = 20'-0"



PROJECT TEAM

FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

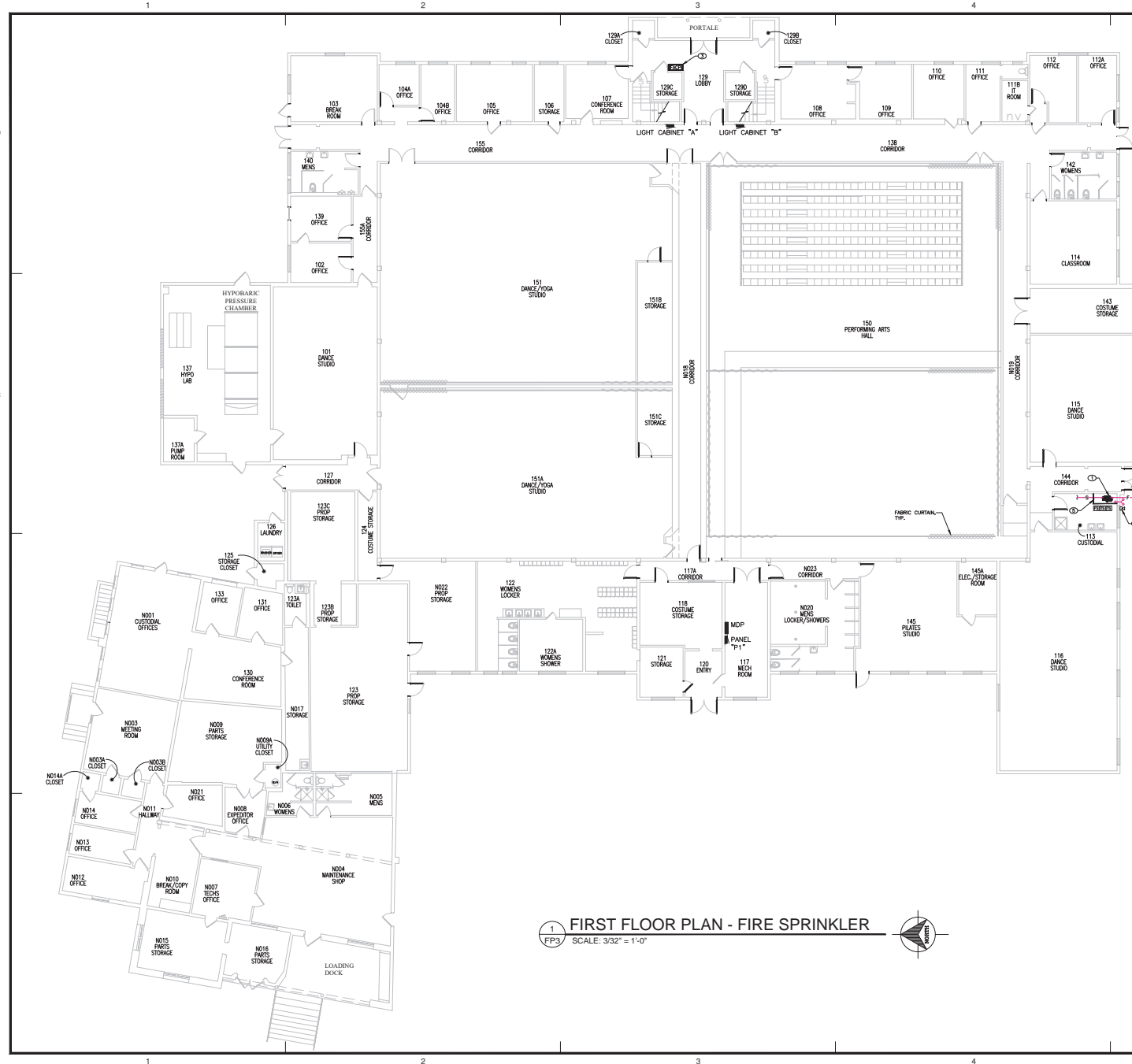
UNIVERSITY LIFE
 SAFETY
 RENOVATIONS
 ELIZABETH WATERS
 CENTER FOR DANCE
 AT CARLISLE
 GYMNASIUM
 Building #004
 301 Yale Blvd. NE
 Albuquerque, NM
 87131
 FIRE PROTECTION
 ADDITION

MARK	DATE	DESCRIPTION
X	XXXXXX	XXXXXXXX

DESIGNED BY:	FM-E&ES
DRAWN BY:	RG
CHECKED BY:	DP
DATE:	7/19/23

**BUILDING #004
 FIRE PROTECTION
 UTILITY
 SITE PLAN**

FP2



SHEET NOTES

- A. FOR FIRE PROTECTION SYSTEM GENERAL NOTES REFER TO SHEET FP1
- B. FOR SYMBOLS AND ABBREVIATIONS REFER TO SHEET FP1
- C. ALL PIPING SHALL BE CONCEALED WHERE POSSIBLE. ALL EXPOSED PIPING WHERE CONCEALMENT IS NOT POSSIBLE SHALL BE PAINTED AS DIRECTED BY SHEET FP1.
- D. ALL PIPE PENETRATIONS THROUGH FIRE RESISTANCE ASSEMBLIES SHALL BE GULCHED AND SEALED WITH APPROVED FIRE STOPPING MATERIALS.

KEYED NOTES

- 1. PROVIDE NEW FIRE PROTECTION RISER WITH REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER AT THIS LOCATION. PROVIDE A MEANS TO FORWARD FLOW TEST THE BACKFLOW PREVENTER. SEE DETAIL 2/FP1 FOR ADDITIONAL INFORMATION. LOCATE THE CENTERLINES OF THE FIRE DEPARTMENT CONNECTION INLETS BETWEEN 18'-48" ABOVE FINISHED GRADE.
- 2. PROVIDE EXTERIOR ALARM STROBE DIRECTLY ABOVE FDC TO VISUALLY INDICATE FLOWING. SPRINKLER SYSTEM STROBE SHALL BE ACTIVATED BY THE RISER FLOW SWITCH. MAINTAIN ACCESS TO THE FDC FITTINGS WITH A MINIMUM 30" CLEARANCE AROUND ALL SIDES TO A HEIGHT OF 78" ABOVE THE LEVEL OF THE ADJACENT GRADE.
- 3. EXISTING EDWARDS EST-3 FACP. CONNECT ALL NEW DEVICES TO THIS PANEL. COORDINATE AND VERIFY WITH A MANUFACTURER'S APPROVED SALES AND SERVICE REPRESENTATIVE.
- 4. PROVIDE SIGNAGE FOR EXTERIOR DOOR IDENTIFICATION SHALL CONSIST OF A PERMANENT WEATHER-RESISTANT SIGN WITH WHITE LETTERING AT LEAST 2" IN HEIGHT ON A RED BACKGROUND INDICATING FIRE SPRINKLER RISER INSIDE.
- 5. PROVIDE YELLOW SAFETY RAILING TO ESTABLISH A MACHINERY ZONE SEGREGATED FROM THE REMAINING CUSTODIAL ROOM FOR PERSONNEL. SAFETY RAILINGS AND POSTS SHALL BE 1 1/2" WITH SOCKET FITTINGS AND ANCHORED TO THE FLOOR WITH 4 BOLT FLANGES. SYSTEMS SHALL BE REMAINABLE TO ALLOW ACCESS TO CRITICAL COMPONENTS BY FIRST RESPONDERS AND UNIVERSITY MAINTENANCE STAFF.



PROJECT TEAM
FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

UNIVERSITY LIFE SAFETY
 RENOVAIONS
 ELIZABETH WATERS
 CENTER FOR DANCE
 AT CARLISLE GYMNASIUM
 Building #004
 301 Yale Blvd. NE
 Albuquerque, NM
 87131
 FIRE PROTECTION
 ADDITION

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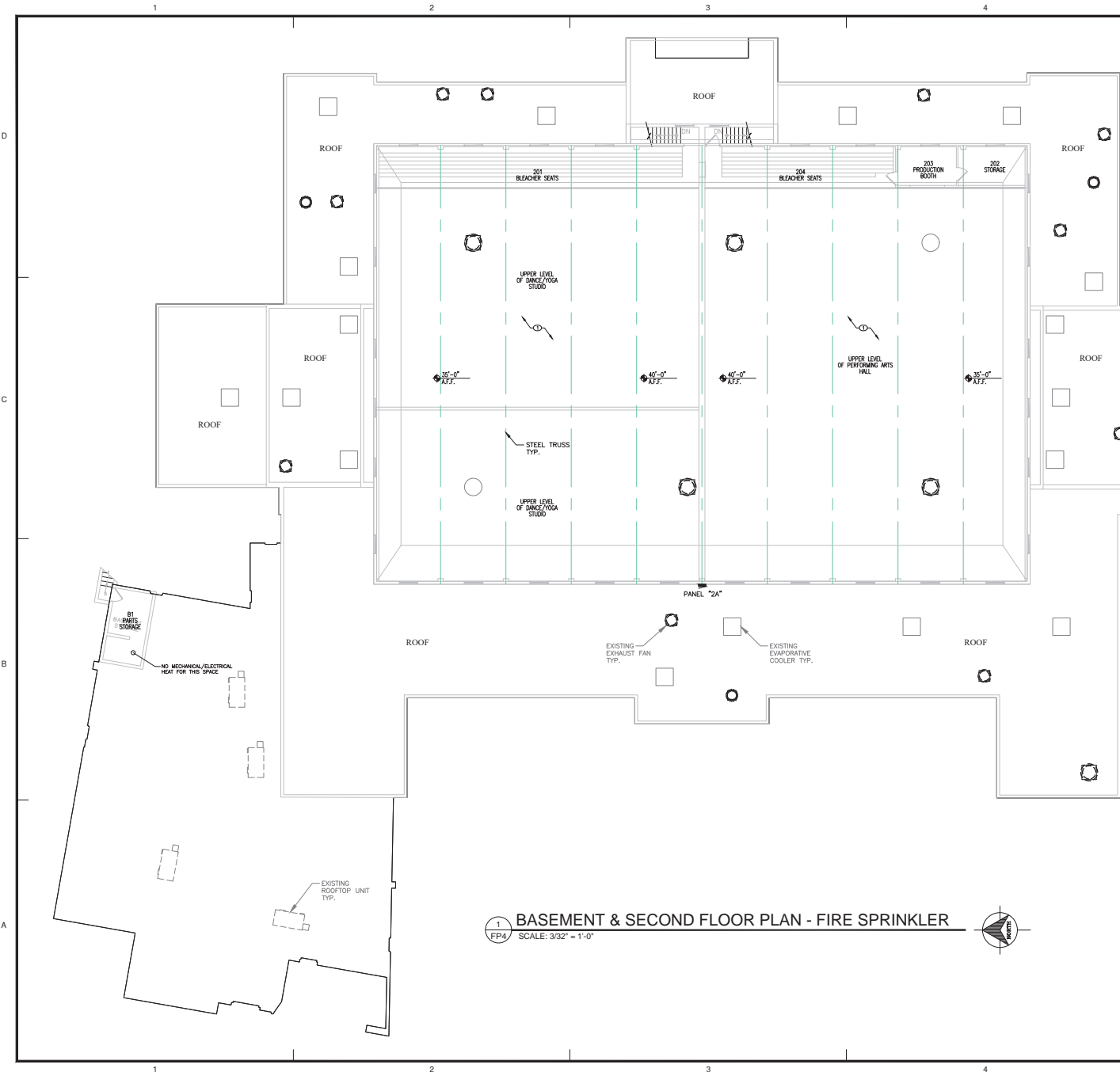
DESIGNED BY: FM-E&ES
 DRAWN BY: RG
 CHECKED BY: DP
 DATE: 07/19/23

FIRST FLOOR
 PLAN
 FIRE SPRINKLER

FP3

1 FIRST FLOOR PLAN - FIRE SPRINKLER
 SCALE: 3/32" = 1'-0"





- SHEET NOTES**
- A. FOR FIRE PROTECTION SYSTEM GENERAL NOTES REFER TO SHEET FP1
 - B. FOR SYMBOLS AND ABBREVIATIONS REFER TO SHEET FP1
 - C. ALL PIPING SHALL BE CONCEALED WHERE POSSIBLE. ALL EXPOSED PIPING WHERE CONCEALMENT IS NOT POSSIBLE SHALL BE PAINTED AS DIRECTED BY SHEET FP1.
 - D. ALL PIPE PENETRATIONS THROUGH FIRE RESISTANCE ASSEMBLIES SHALL BE SLEEVED AND SEALED WITH APPROVED FIRE STOPPING MATERIALS.

- KEYED NOTES:** ○
1. PROTECT HIGH CEILING AREAS (>30FT A.F.F.) AT 0.2 (GPM/FT²) OVER 2,500 FT² UTILIZING EXTENDED COVERAGE QUICK RESPONSE PENDANT 180° RATED SPRINKLERS. HOSE STREAM ALLOWANCE SHALL BE 250 GPM.



PROJECT TEAM
FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

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UNIVERSITY LIFE SAFETY RENOVATIONS
 ELIZABETH WATERS CENTER FOR DANCE AT CARLISLE GYMNASIUM
 Building #004
 301 Yale Blvd. NE
 Albuquerque, NM 87131
 FIRE PROTECTION ADDITION

MARK	DATE	DESCRIPTION
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DESIGNED BY: FM-E&ES
 DRAWN BY: RG
 CHECKED BY: DP
 DATE: 07/19/23

**BASEMENT & SECOND FLOOR PLAN
 FIRE SPRINKLER**

FP4

1
 FP4 SCALE: 3/32" = 1'-0"

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION RE-APPROVAL for
INFORMATION TECHNOLOGIES BUILDING (#153) RESTROOM REMODEL RE-
APPROVAL**

UNIVERSITY OF NEW MEXICO

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Information Technologies Building (#153) Restroom Remodel, located on Albuquerque Central Campus.**

PROJECT DESCRIPTION:

This project is for the remodel of five restrooms (1143, 1141, 2120, 2122, and 2160), totaling 800 GSF in the Information Technologies Building (building #153) at the University of New Mexico. These restrooms are outdated and non-compliant. All existing plumbing in the chase will be replaced to meet current code compliance. All fixtures, toilet partitions, ceiling tiles, and accessories will be removed and replaced with new products to meet current standards and address ADA accessibility. New floor and wall tile will be installed, and walls will be painted as necessary.

This project needs re-approval because the scope increased by an additional restroom (2160) now totaling five renovated restrooms.

PROJECT RATIONALE

The Information Technologies building houses the personnel who support the Main campus and Branch campuses with Information Technologies equipment, software, and services. The building also serves as the current data center for the University. A high number of maintenance and correction requests have been recorded for these restrooms. Remodeling them will align these restrooms with other recently remodeled spaces in the facility.

If this project is not approved, maintenance costs will increase, and the restrooms will remain outdated and non-compliant with current code requirements and University standards.

FUNDING:

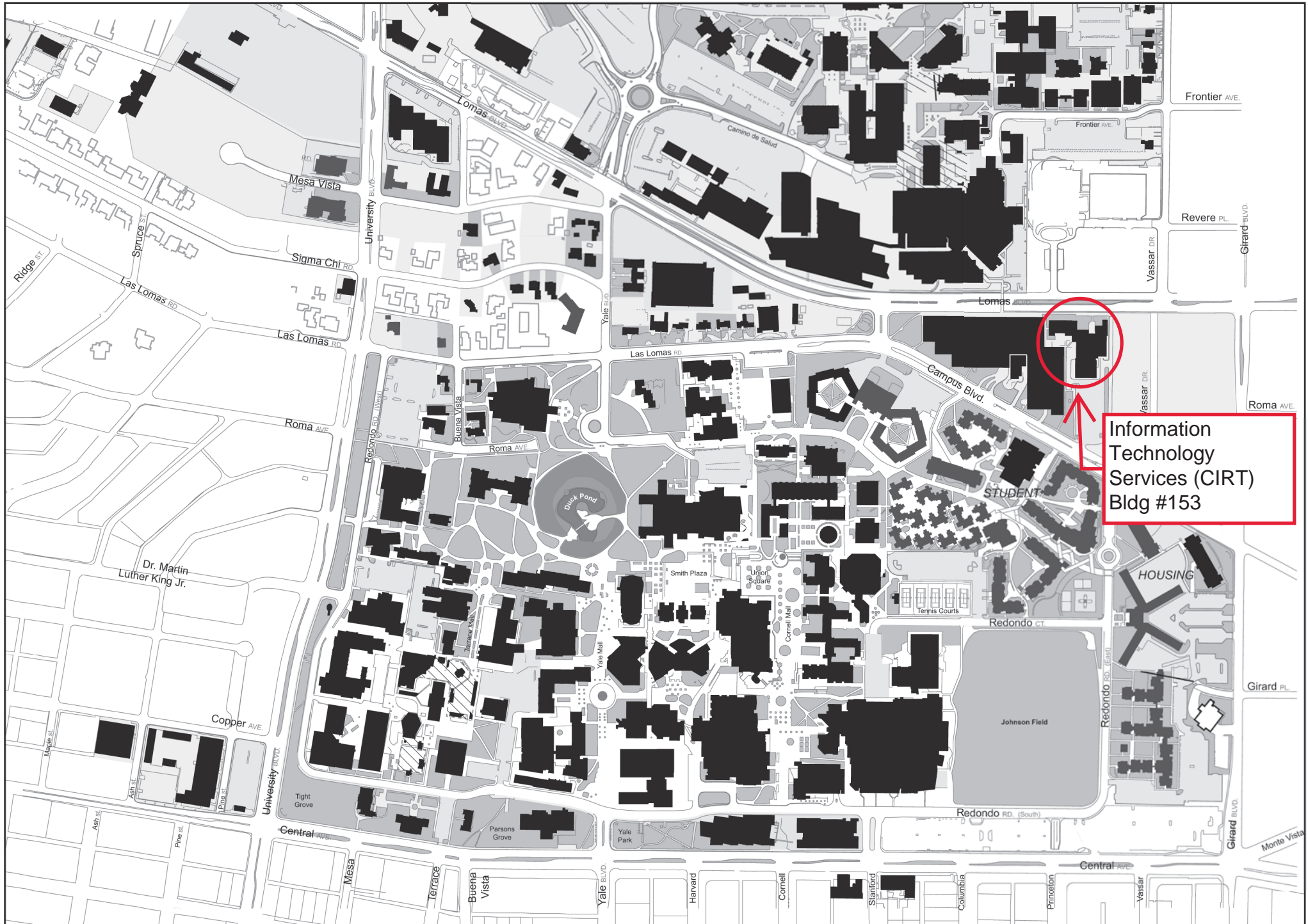
The total **Revised Project Budget** is: \$950,000

- \$650,000 is funded from FY24 Building Renewal & Replacement (BR&R)
- \$300,000 is funded from FY25 Building Renewal & Replacement (BR&R)

The total estimated **original** Project Budget is: \$650,000

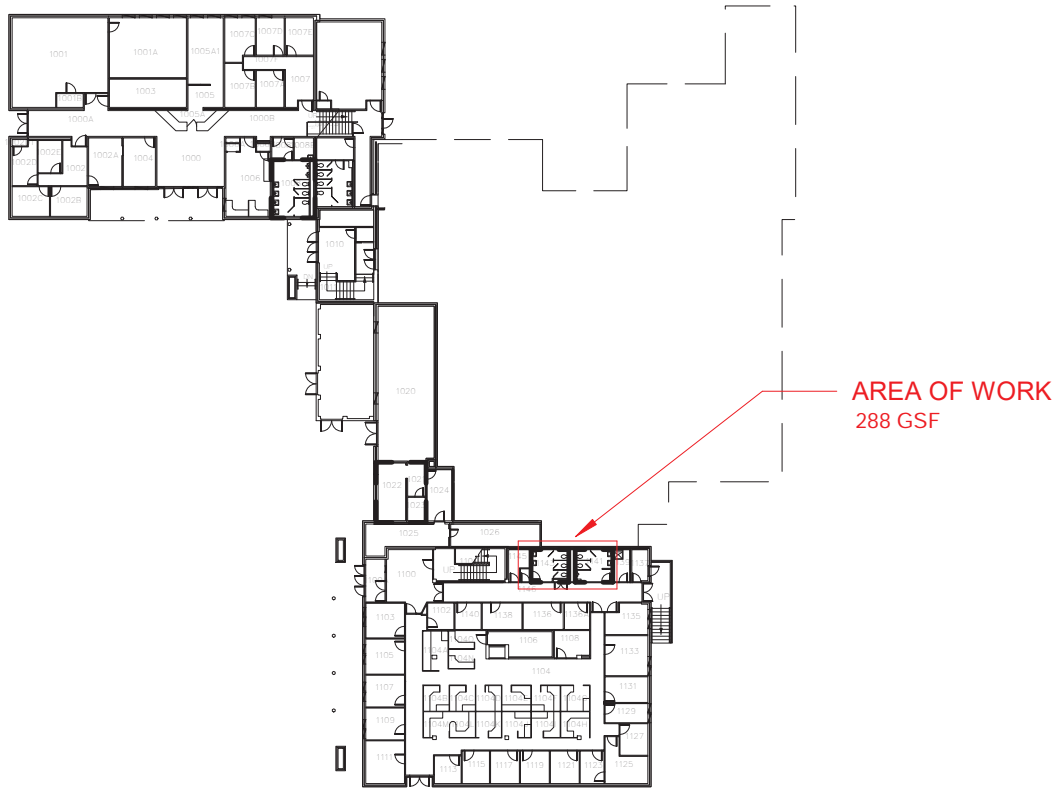
- \$650,000 is funded from FY24 Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus

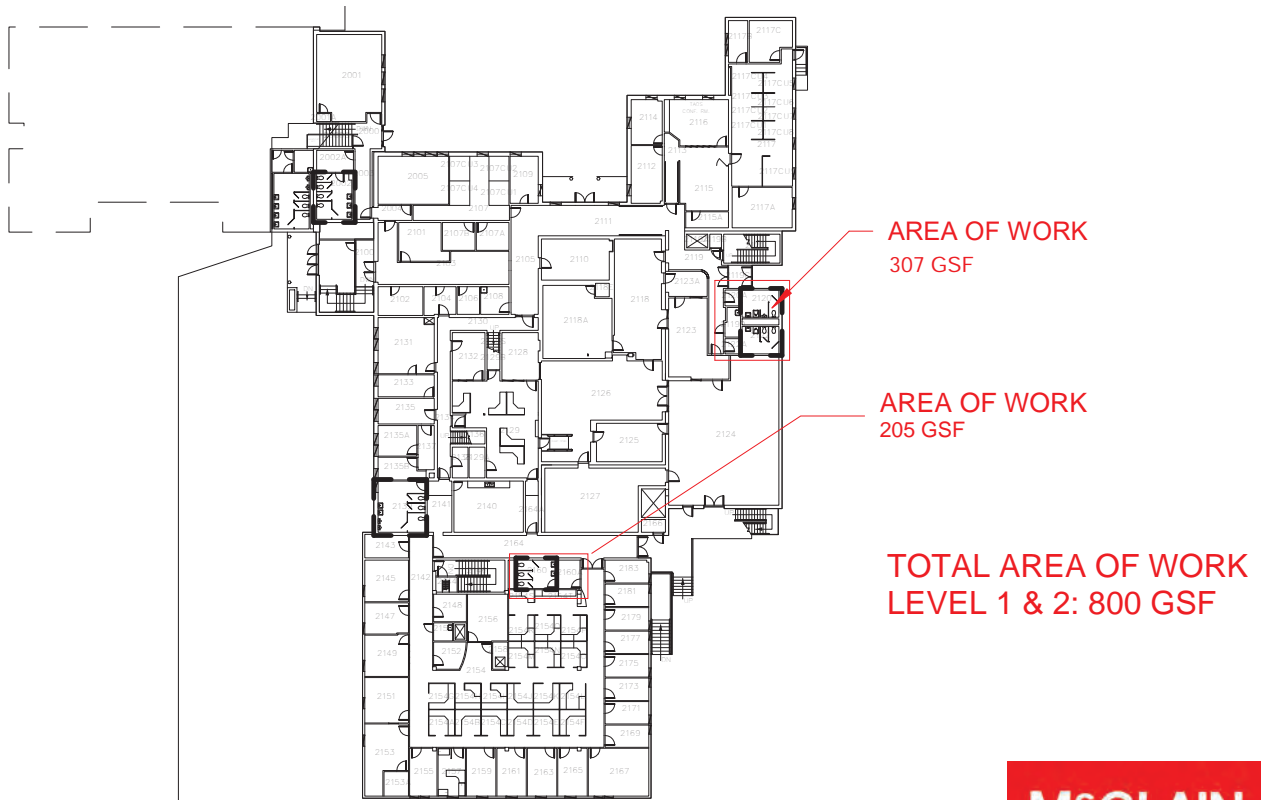


Information
Technology
Services (CIRT)
Bldg #153

CIRT RESTROOM RENOVATION PHASE 2



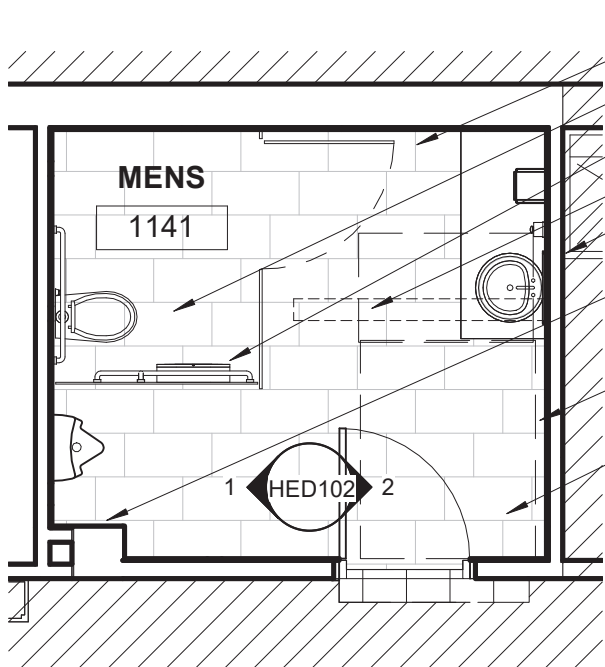
1 FIRST FLOOR PLAN
1" = 60'-0"



2 SECOND FLOOR PLAN
1" = 60'-0"

CIRT II RESTROOM RENOVATIONS

MEN'S 1141 & WOMEN'S 1143

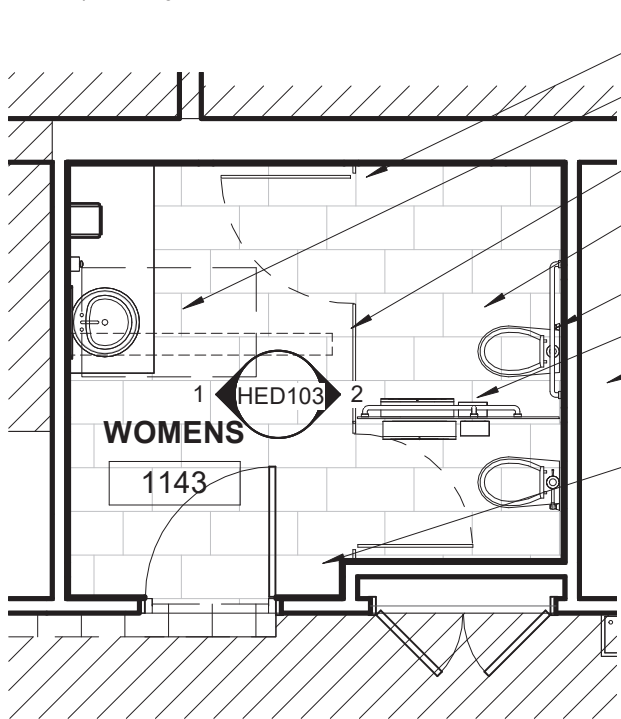


- NEW STAINLESS STEEL TOILET PARTITIONS
- NEW FIXTURES THROUGH OUT
- NEW TOILET ACCESSORIES THROUGHOUT
- NEW FLOOR DRAIN
- NEW SOLID SURFACE COUNTER TOP WITH UNDER MOUNTED LAVATORY
- NEW WALL TILE AND SUBSTRATE UP TO 6'0" THROUGH OUT, WITH NEW PAINTED GYPSUM BOARD FINISH ABOVE TO CEILING
- NEW FLOOR TILE WITH WATER PROOFING MEMBRANE BELOW THROUGH OUT
- NEW ACCESSIBLE OPENING, HOLLOW METAL FRAME AND DOOR

GENERAL NOTES:

- NEW PAINTED GYPSUM BOARD CEILING AND FRAMING THROUGH OUT WITH NEW MECHANICAL DIFFUSERS AND GRILLES, AND NEW LIGHTING FIXTURES
- REPLACE ALL EXISTING PLUMBING PIPING TO CLEAN CONNECTION

2 1141 NEW FLOOR PLAN
1/4" = 1'-0"



- NEW STAINLESS STEEL TOILET PARTITIONS
- NEW SOLID SURFACE COUNTER TOP WITH UNDER MOUNTED LAVATORY
- NEW FLOOR DRAIN
- NEW FLOOR TILE WITH WATER PROOFING MEMBRANE BELOW THROUGH OUT
- NEW FIXTURES THROUGH OUT
- NEW TOILET ACCESSORIES THROUGHOUT
- NEW WALL TILE AND SUBSTRATE UP TO 6'0" THROUGH OUT, WITH NEW PAINTED GYPSUM BOARD FINISH ABOVE TO CEILING
- NEW ACCESSIBLE OPENING, HOLLOW METAL FRAME AND DOOR

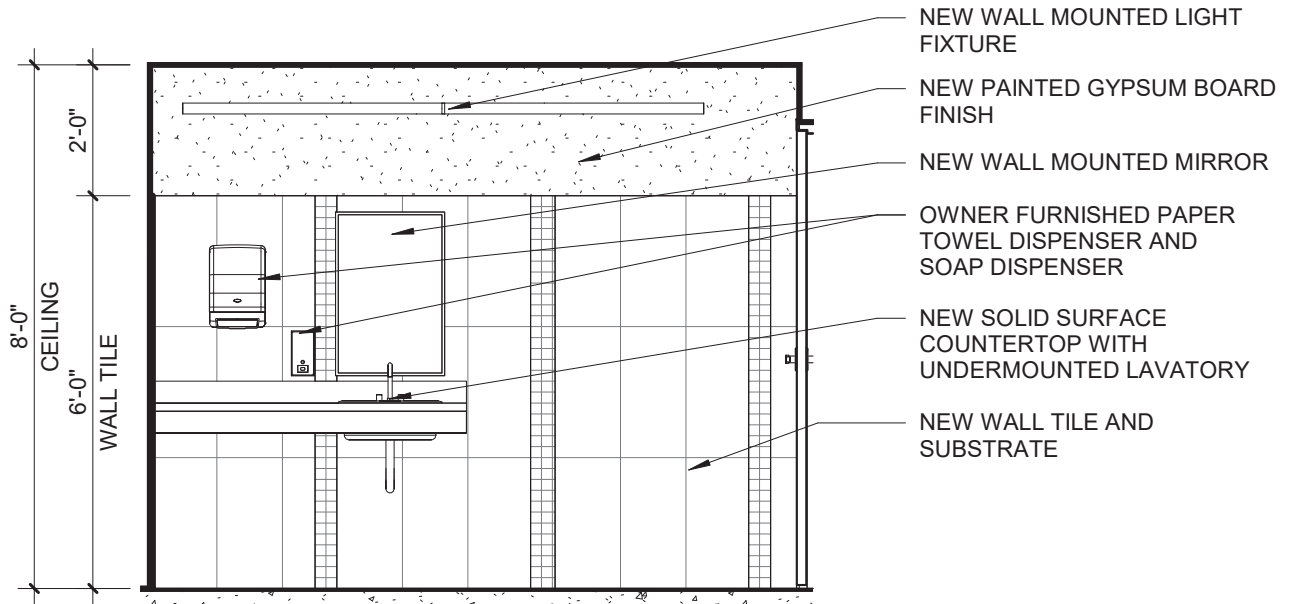
GENERAL NOTES:

- NEW PAINTED GYPSUM BOARD CEILING AND FRAMING THROUGH OUT WITH NEW MECHANICAL DIFFUSERS AND GRILLES, AND NEW LIGHTING FIXTURES
- REPLACE ALL EXISTING PLUMBING PIPING TO CLEAN CONNECTION

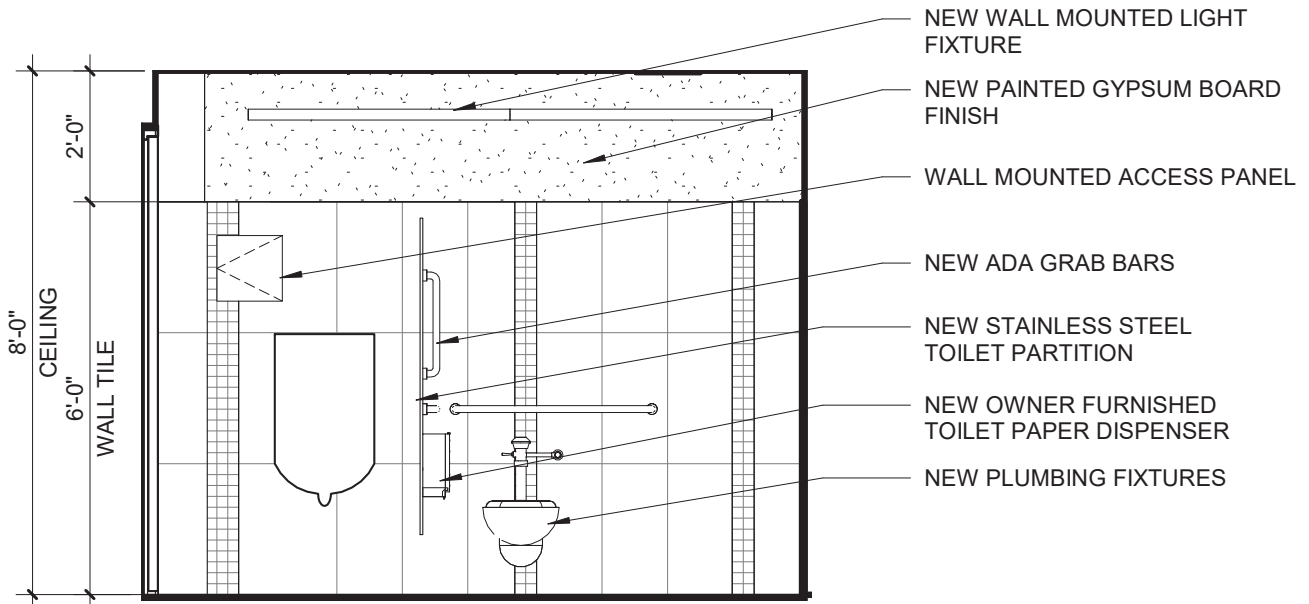
1 1143 NEW FLOOR PLAN
1/4" = 1'-0"

CIRT II RESTROOM RENOVATIONS

MEN'S 1141 ELEVATIONS



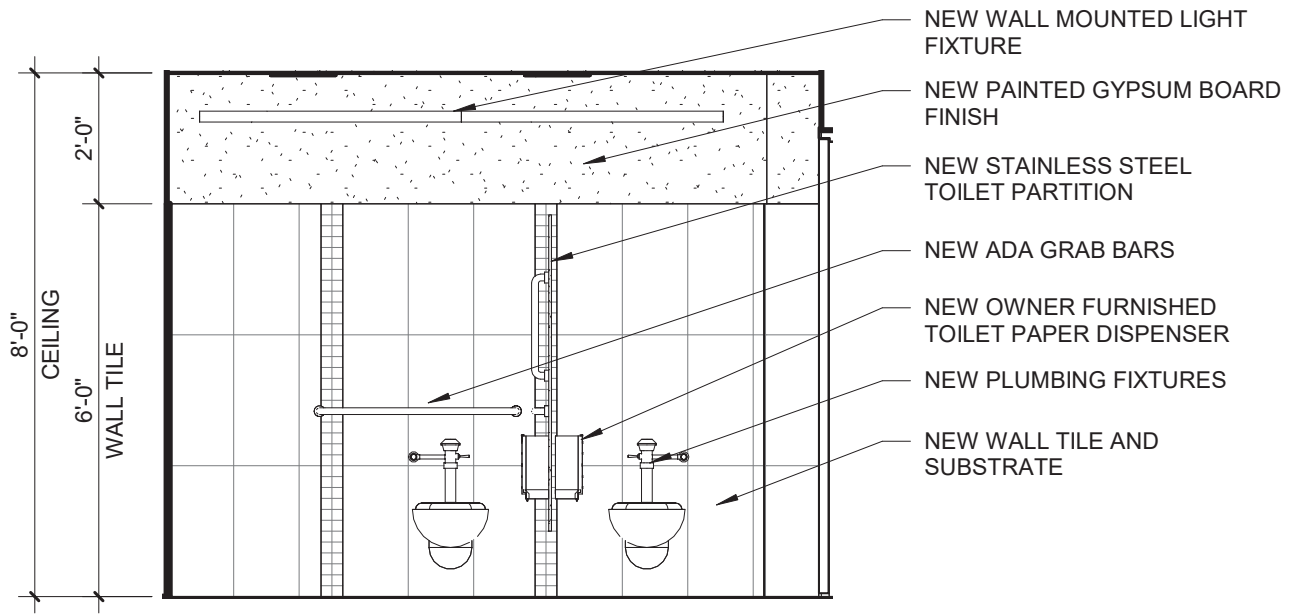
2 EAST PLUMBING WALL
3/8" = 1'-0"



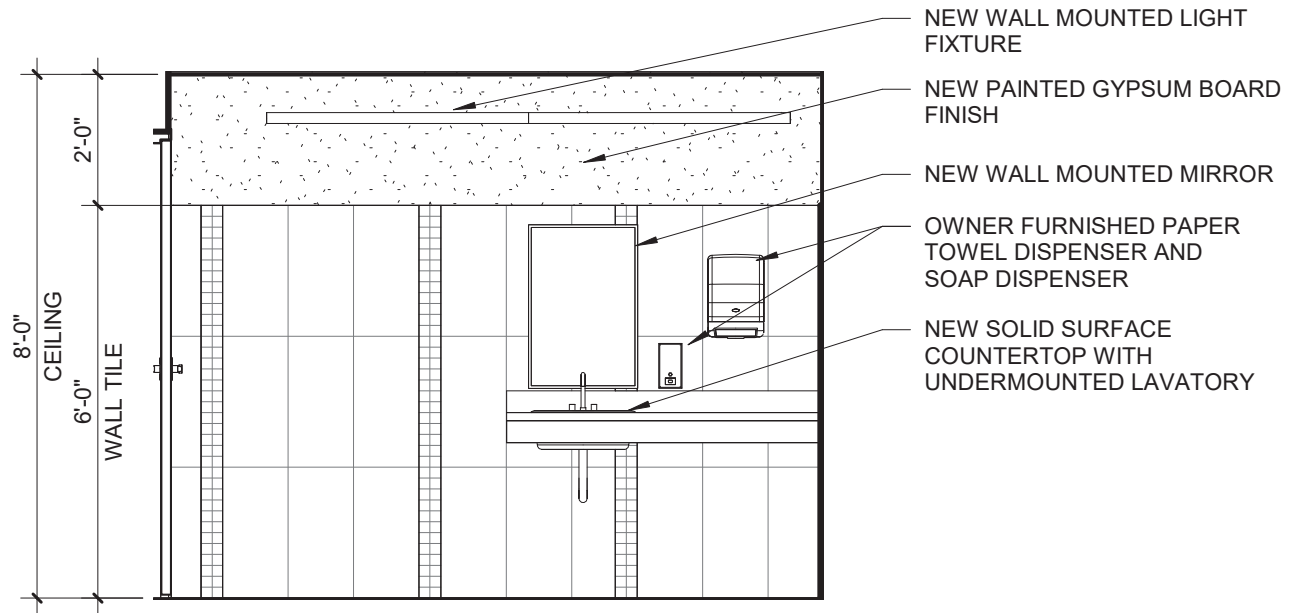
1 WEST PLUMBING WALL
3/8" = 1'-0"

CIRT II RESTROOM RENOVATIONS

MEN'S 1141 ELEVATIONS



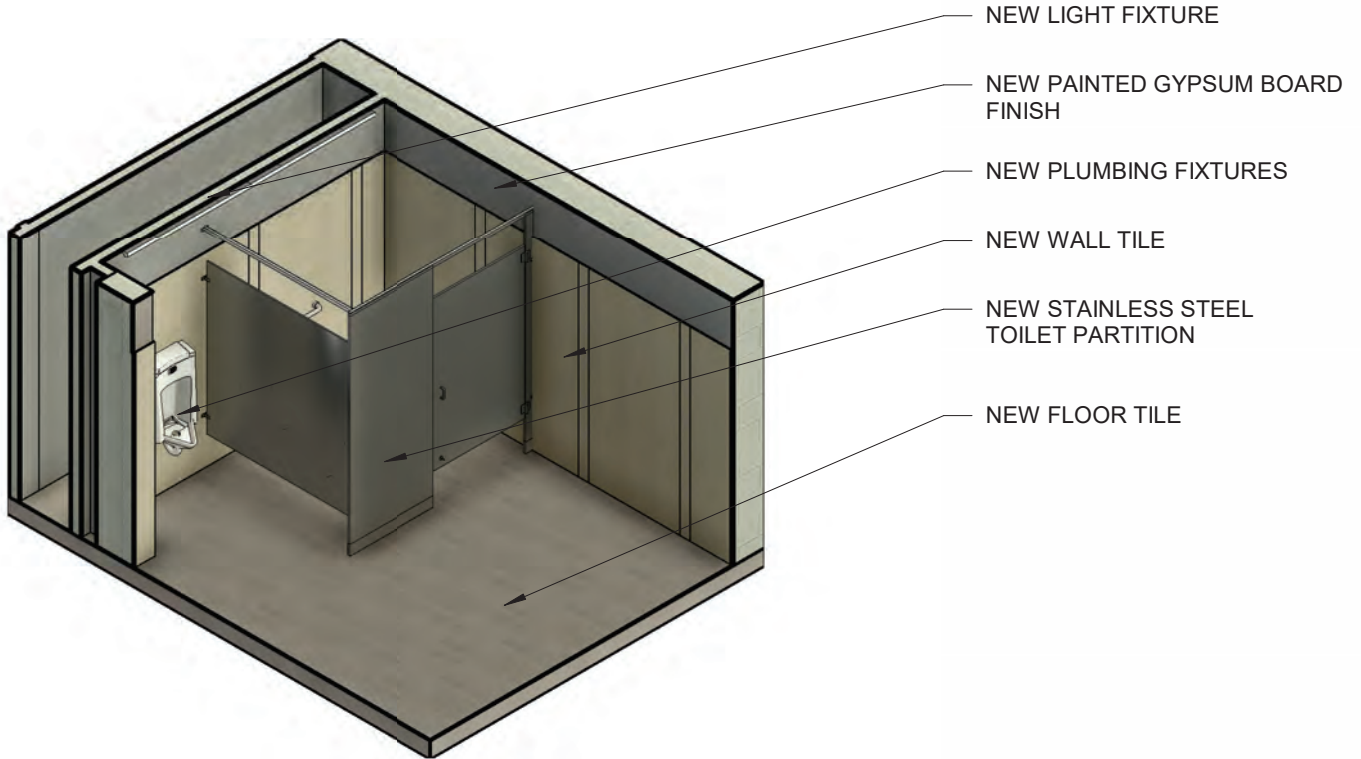
2 EAST PLUMBING WALL
3/8" = 1'-0"



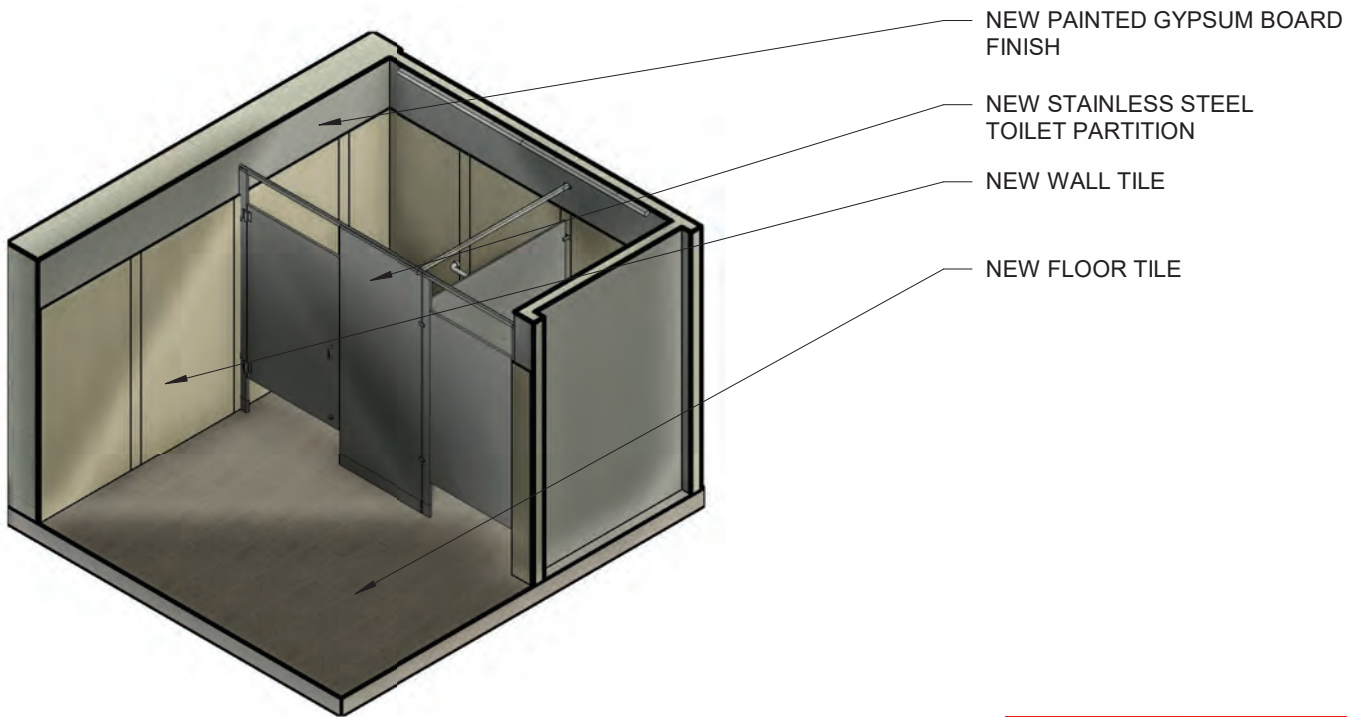
1 WEST PLUMBING WALL
3/8" = 1'-0"

CIRT II RESTROOM RENOVATION

MEN'S 2120 AND WOMENS 2122 PERSPECTIVES



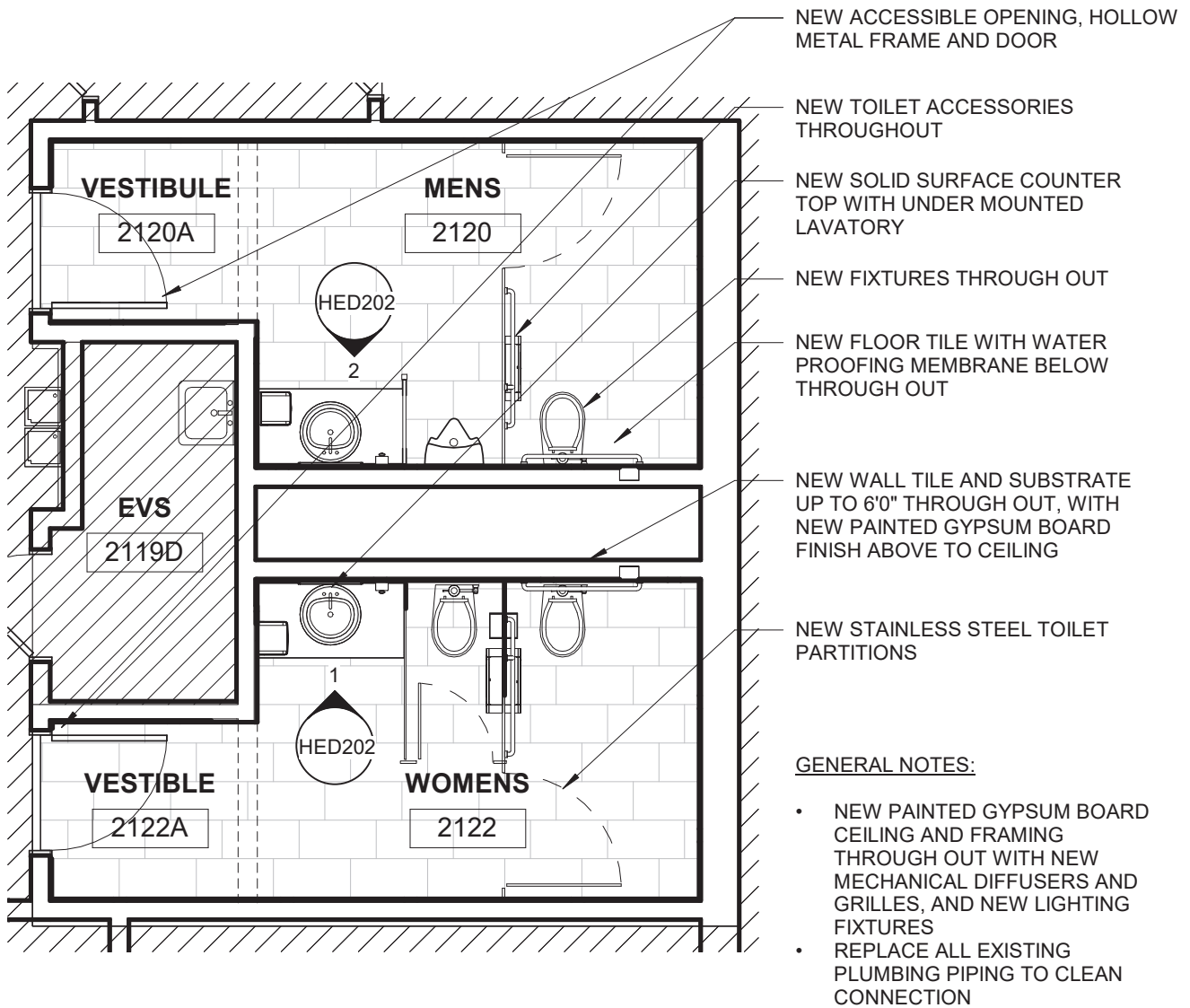
1 MEN'S PERSPECTIVE



2 WOMEN'S PERSPECTIVE

CIRT II RESTROOM RENOVATIONS

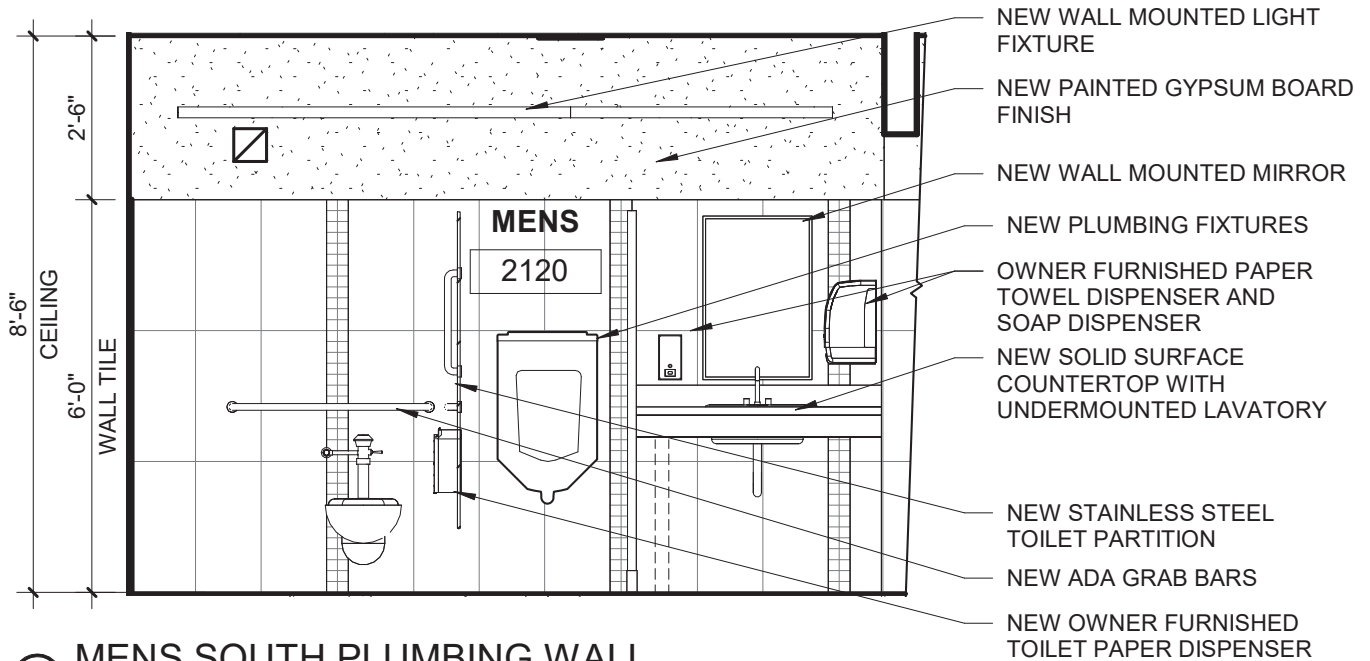
MEN'S 2120 & WOMEN'S 2122



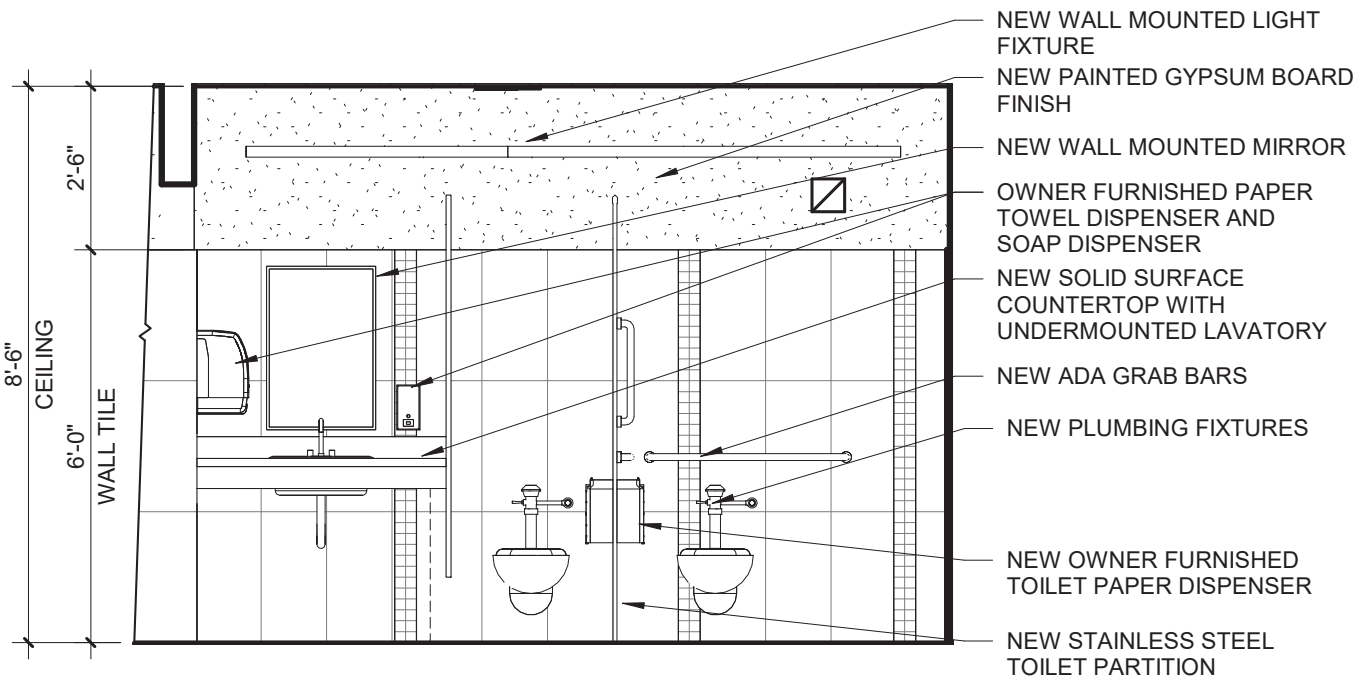
1 2120 & 2122 FLOOR PLAN
1/4" = 1'-0"

CIRT RESTROOM RENOVATIONS

MEN'S 2120 AND WOMENS 2122 ELEVATIONS



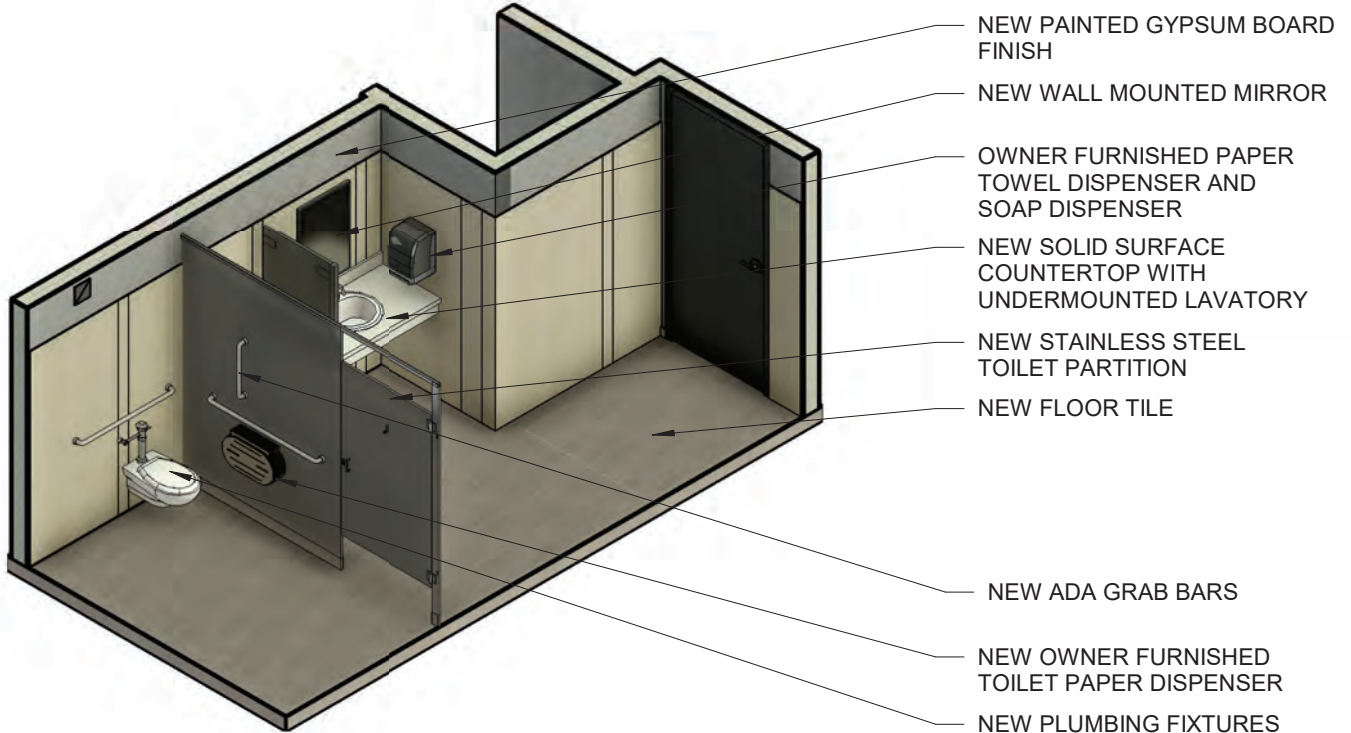
2 MENS SOUTH PLUMBING WALL
 $3/8" = 1'-0"$



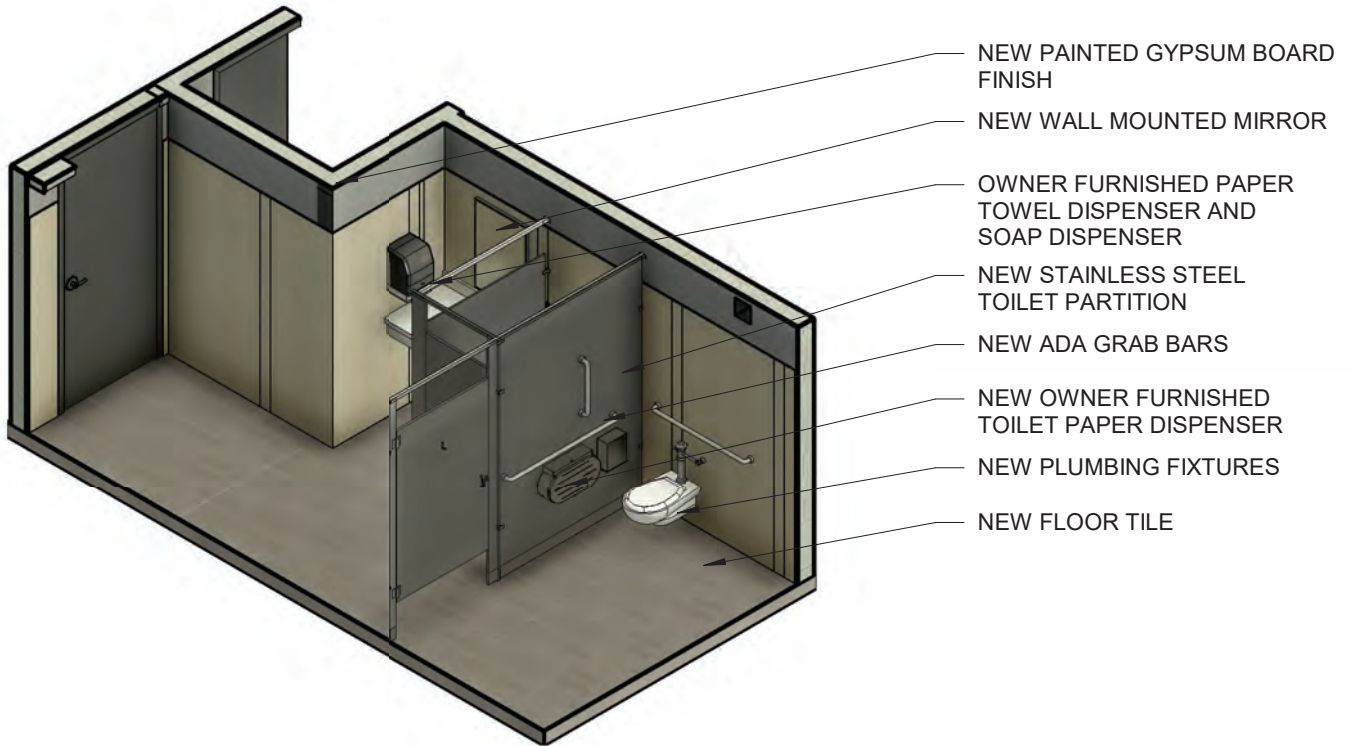
1 WOMEN'S NORTH PLUMBING WALL
 $3/8" = 1'-0"$

CIRT II RESTROOM RENOVATION

MEN'S 2120 AND WOMENS 2122 PERSPECTIVES

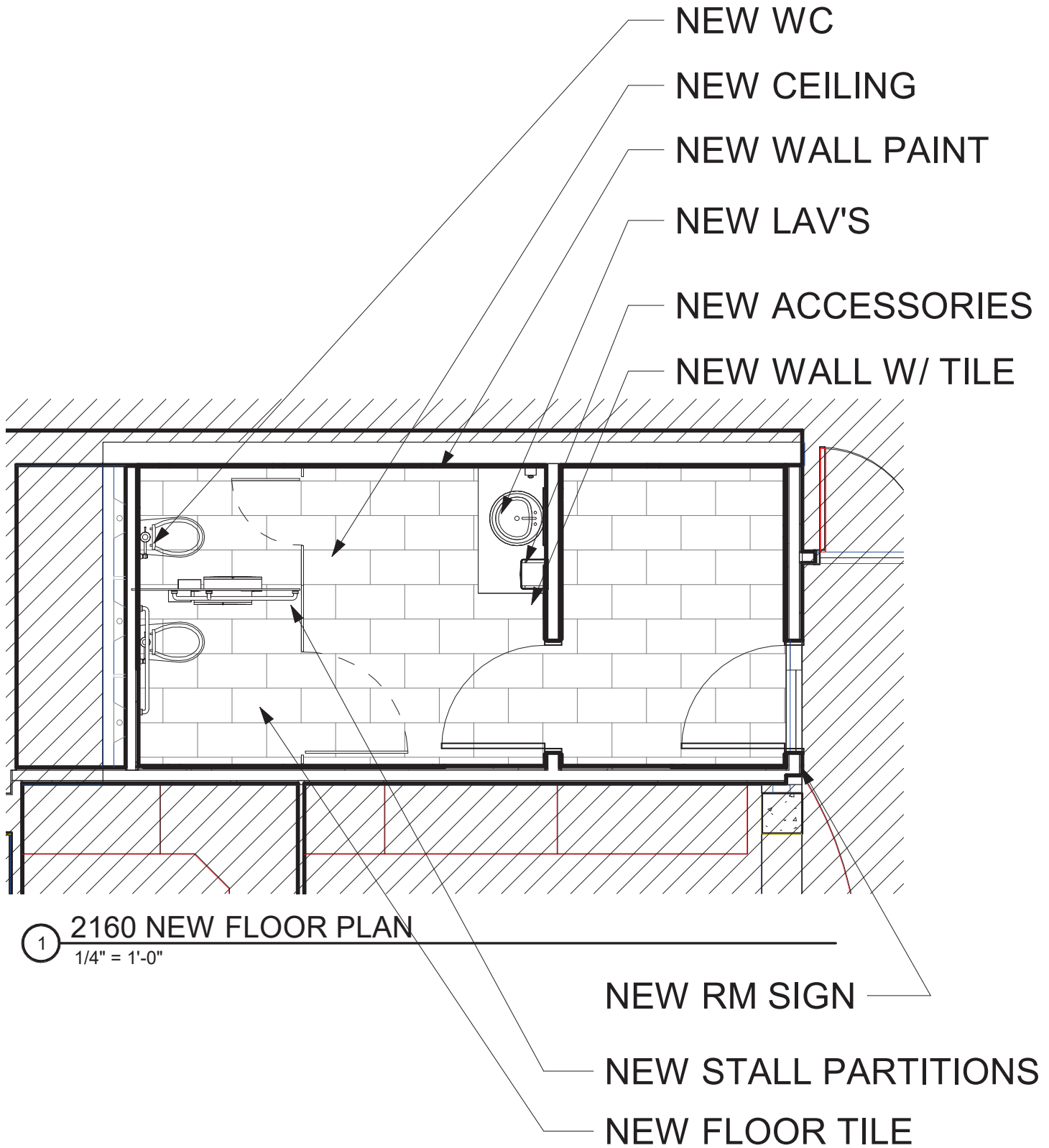


2 MEN'S PERSPECTIVE

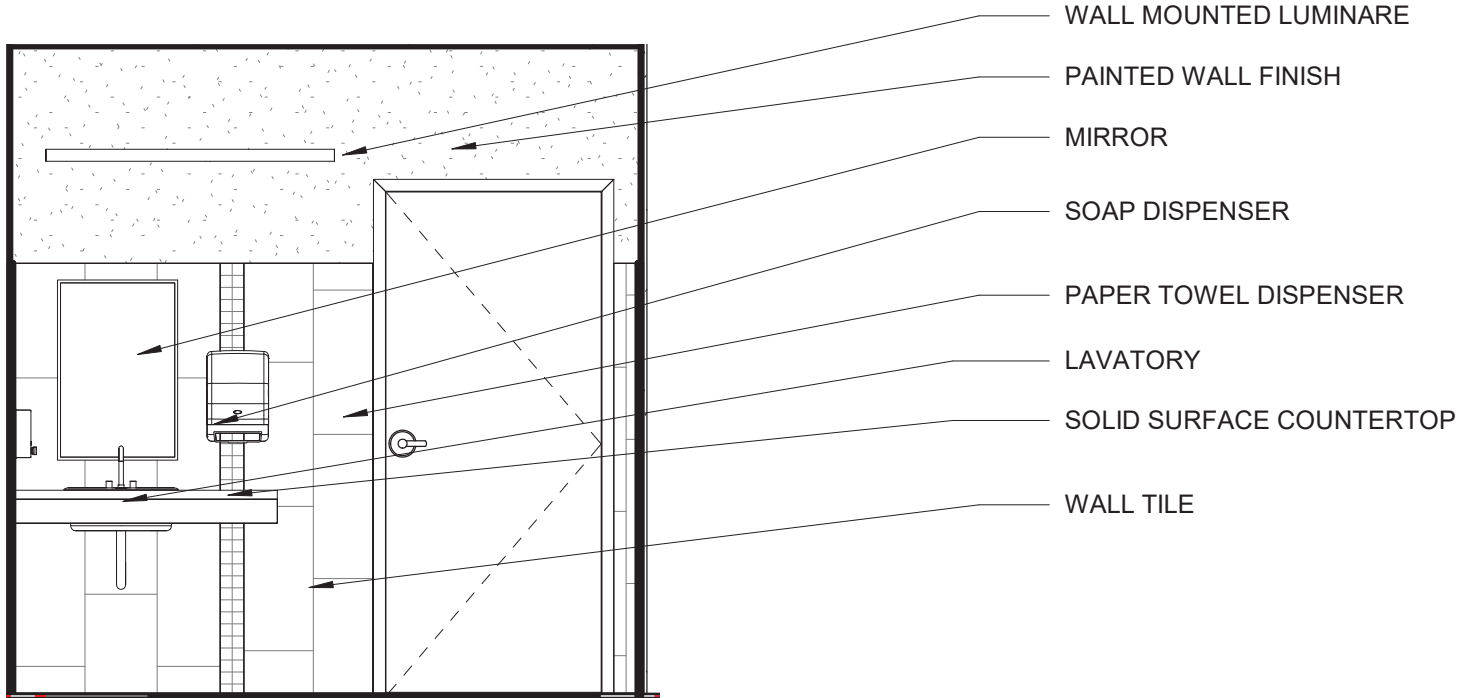


1 WOMEN'S PERSPECTIVE

HED - FLOOR PLAN - RESTROOM 2160

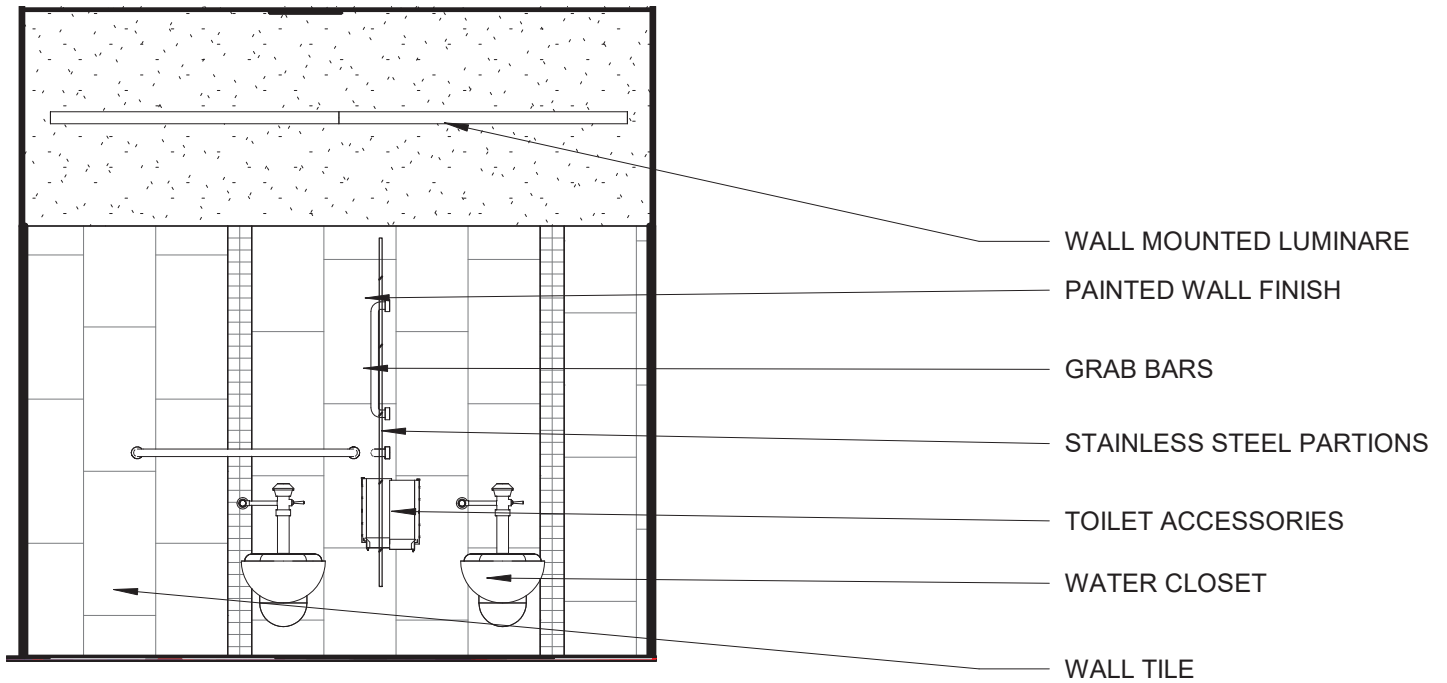


HED - ELEVATIONS - RESTROOM 2160



- WALL MOUNTED LUMINARE
- PAINTED WALL FINISH
- MIRROR
- SOAP DISPENSER
- PAPER TOWEL DISPENSER
- LAVATORY
- SOLID SURFACE COUNTERTOP
- WALL TILE

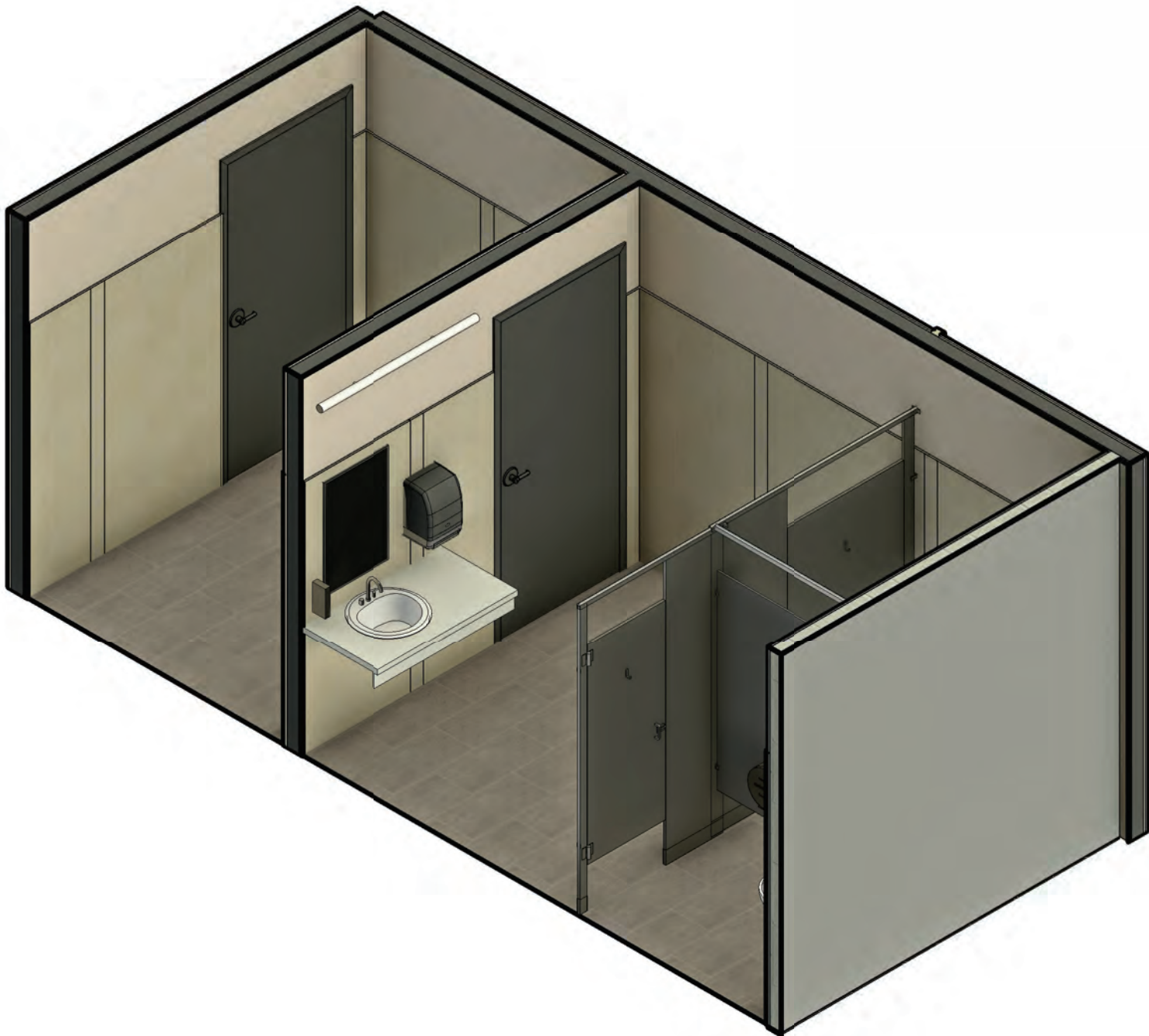
1 **2160 EAST ELEVATION**
3/8" = 1'-0"



- WALL MOUNTED LUMINARE
- PAINTED WALL FINISH
- GRAB BARS
- STAINLESS STEEL PARTIONS
- TOILET ACCESSORIES
- WATER CLOSET
- WALL TILE

2 **2160 WEST ELEVATION**
3/8" = 1'-0"

HED - AXON - RESTROOM 2160



① 3D - 2160 WOMEN'S RESTROOM

CIRT II RESTROOM RENOVATION

LIST OF GREEN FEATURES

INFORMATION & TECHNOLOGIES CENTER (CIRT) BUILDING 153 RESTROOM RENNOVATION

ENERGY EFFICIENCY

- USE OF LED LIGHTING FIXTURES
- USE OF OCCUPANCY SENSORS FOR LIGHTING CONTROL AND REDUCTION OF ENERGY USE

WATER EFFICIENCY

- USE OF LOW FLOW FIXTURES

INDOOR AIR QUALITY

- USE OF LOW VOC PAINT

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
DANE SMITH HALL – ATRIUM SMOKE CONTROL UPGRADE
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Dane Smith Hall – Atrium Smoke Control Upgrade on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

Dane Smith Hall (#A0048) is approximately 99,961 GSF and houses classroom spaces, lecture halls, computer labs, student lounges, and academic office spaces.

This project will update the existing atrium smoke control system. The atrium or Student Commons #103 area open to three-floor levels will be the centerpiece of this renovation project. The smoke control system serving this student population area has been redesigned and reconfigured to provide adequate make-up air and exhaust air volumes based on a 2018 University engineering study. Construction will include new roof-mounted exhaust fans and associated ductwork to meet the exhaust air quantities determined by the 2018 Jensen Hughes atrium smoke control evaluation. Additionally, a new make-up air unit shall be provided along with exterior door operators for the first and second-level east-facing doors. New beam smoke detectors shall be installed at the third level of the atrium, and a new code-compliant firefighter's smoke control station will be provided near the existing ground floor fire alarm annunciator panel location. New systems will connect to existing floor control assemblies. The new system will be reviewed by the NM State Fire Marshal's Office pre- and post-construction.

PROJECT RATIONALE:

Dane Smith Hall is mainly a classroom building that provides instructional and study space for students and faculty throughout the year.

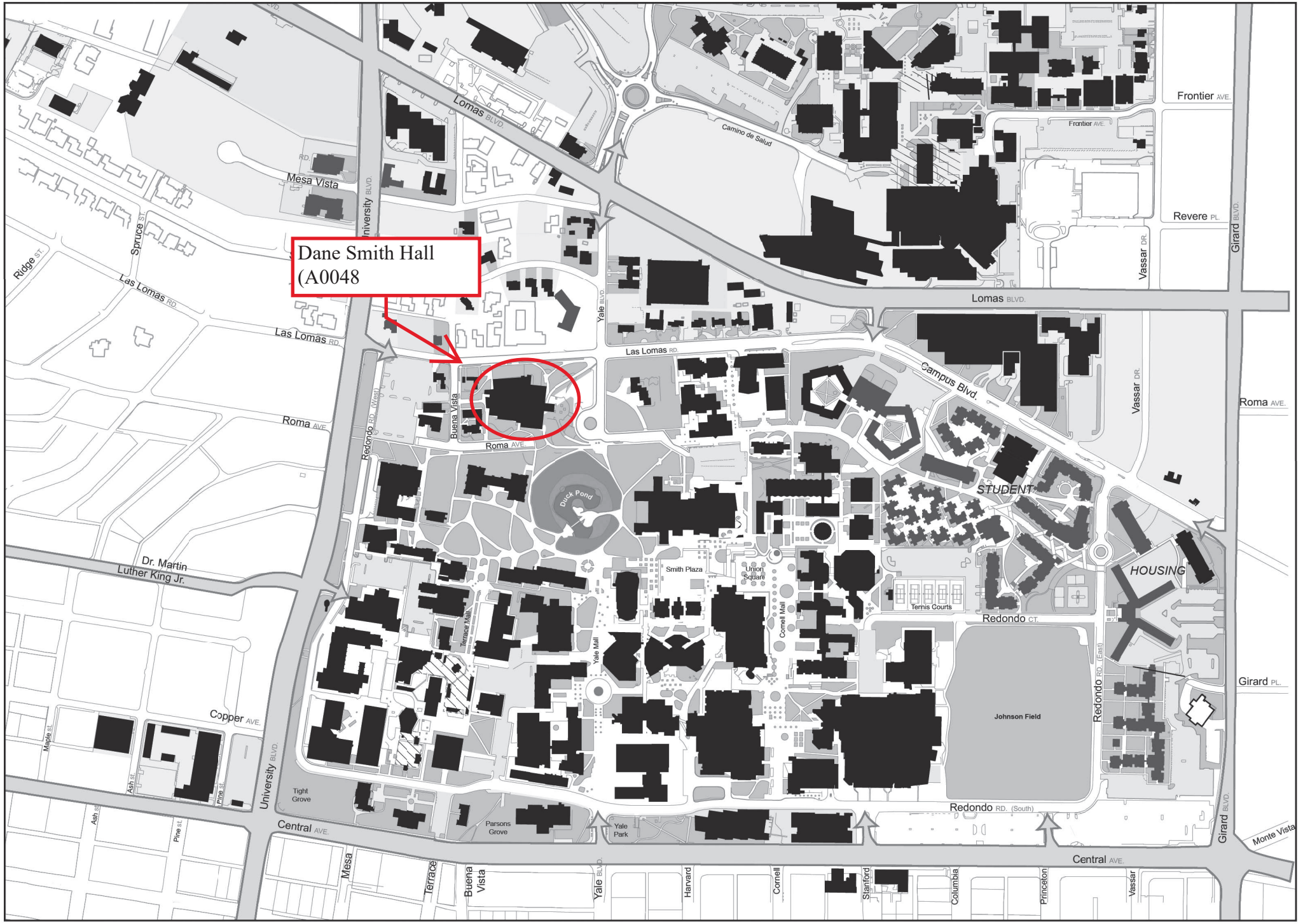
Upgrades are needed for the entire smoke control system to comply with current codes and standards. Without this project, the university is at extreme risk during an emergency fire scenario. The smoke control system must be updated to meet all applicable codes and standard requirements.

FUNDING:

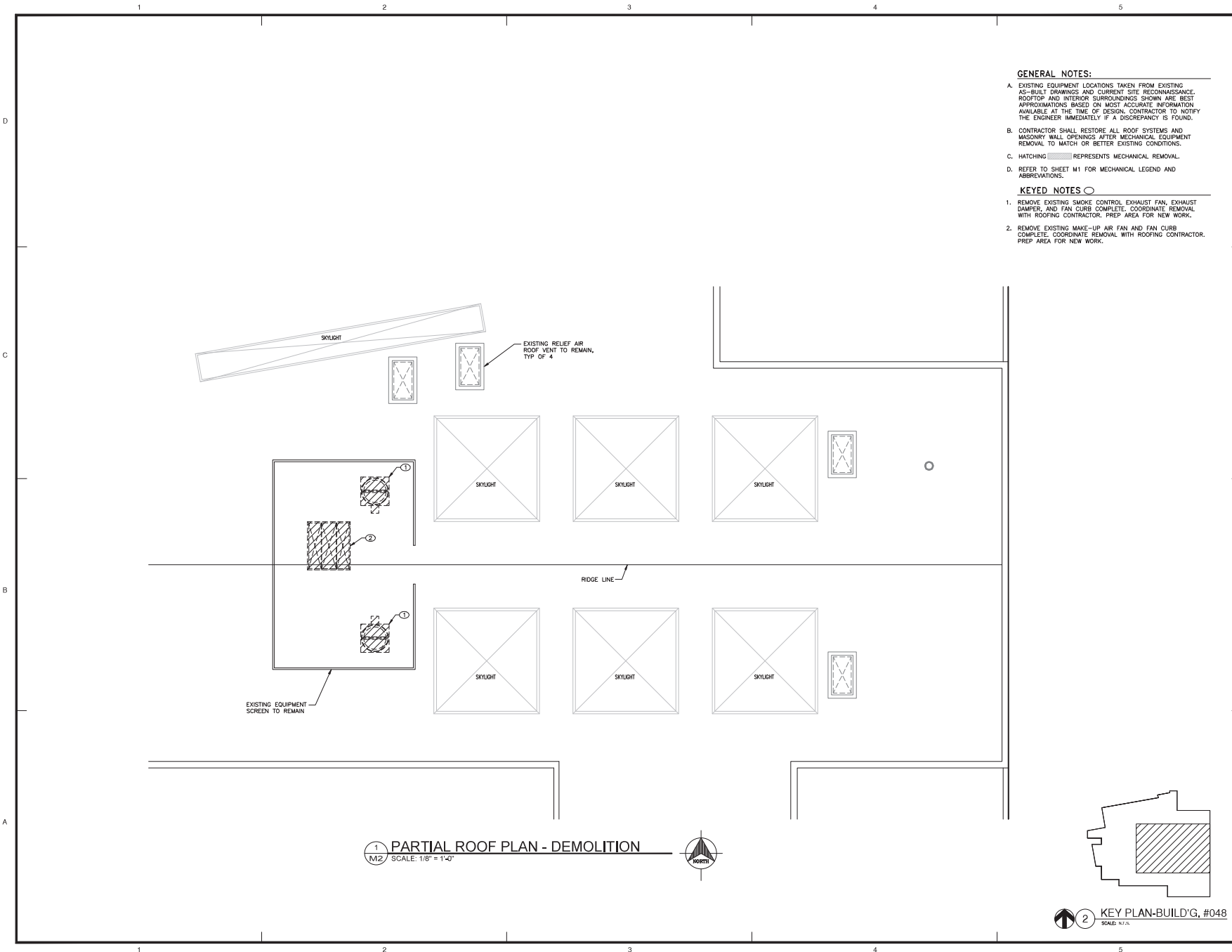
The total estimated Project Budget is \$900,000:

- \$900,000.00 is funded from FY25 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



Dane Smith Hall
(A0048)



GENERAL NOTES:

- A. EXISTING EQUIPMENT LOCATIONS TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. ROOFTOP AND INTERIOR SURROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
- B. CONTRACTOR SHALL RESTORE ALL ROOF SYSTEMS AND MASONRY WALL OPENINGS AFTER MECHANICAL EQUIPMENT REMOVAL TO MATCH OR BETTER EXISTING CONDITIONS.
- C. HATCHING REPRESENTS MECHANICAL REMOVAL.
- D. REFER TO SHEET M1 FOR MECHANICAL LEGEND AND ABBREVIATIONS.

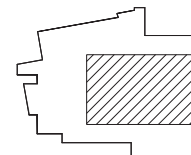
KEYED NOTES ○

- 1. REMOVE EXISTING SMOKE CONTROL EXHAUST FAN, EXHAUST DAMPER, AND FAN CURB COMPLETE. COORDINATE REMOVAL WITH ROOFING CONTRACTOR. PREP AREA FOR NEW WORK.
- 2. REMOVE EXISTING MAKE-UP AIR FAN AND FAN CURB COMPLETE. COORDINATE REMOVAL WITH ROOFING CONTRACTOR. PREP AREA FOR NEW WORK.

1 PARTIAL ROOF PLAN - DEMOLITION
M2 SCALE: 1/8" = 1'-0"



2 KEY PLAN-BUILD'G, #048
SCALE: N.E.S.



PROJECT TEAM
FM-Engineering and Energy Services
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1 University of New Mexico
Albuquerque, NM 87131-0001

SEALS

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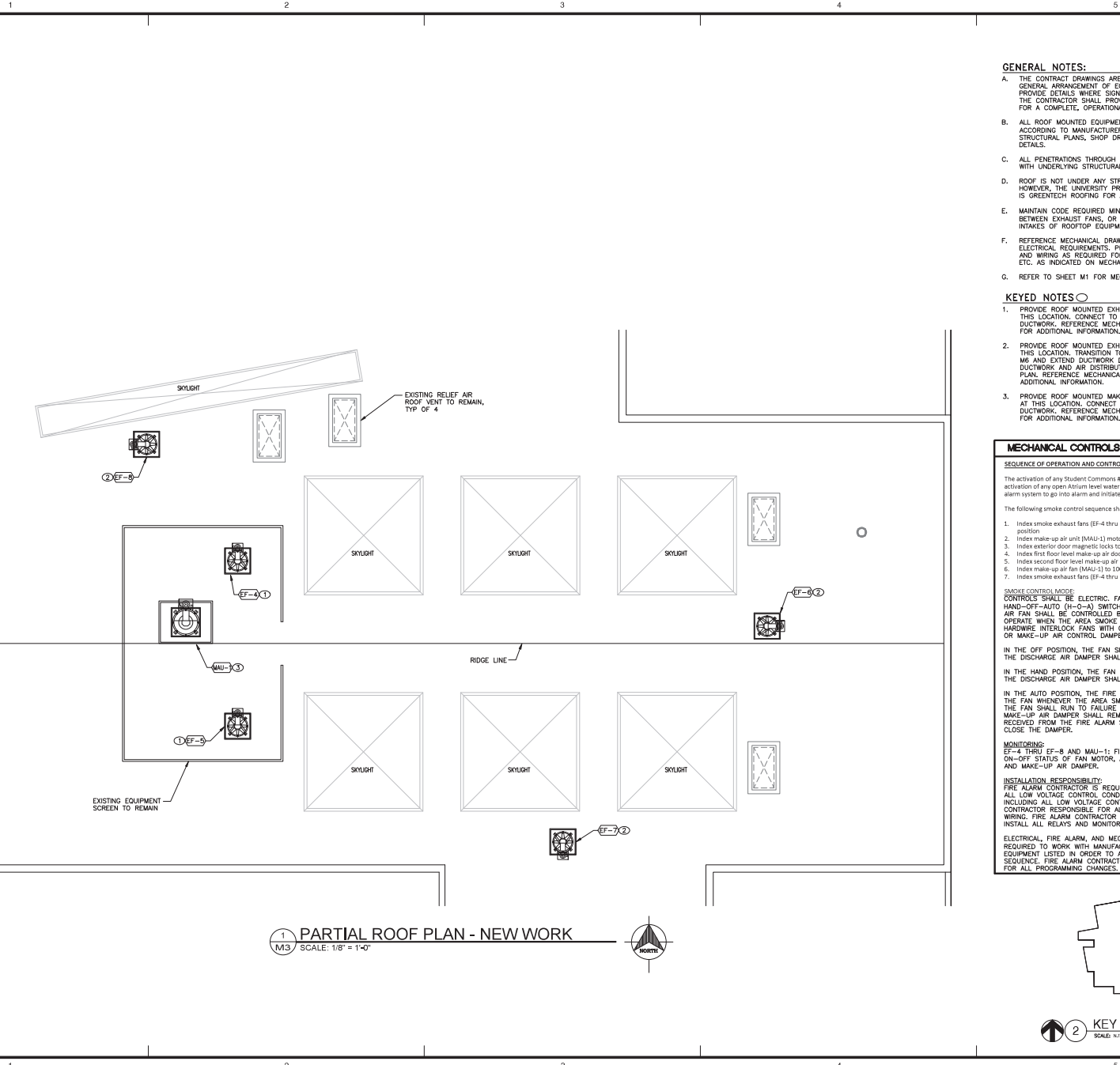
Dane Smith Hall
Building #048
601 Yale Blvd. NE
Albuquerque, NM
87131
Atrium Smoke Control
System Upgrade

MARK	DATE	DESCRIPTION
1	XXXXX	XXXXXX

DESIGNED BY: FME&ES
DRAWN BY: RG
CHECKED BY: RG
DATE: 8/16/22

PARTIAL
ROOF PLAN
DEMOLITION

M2



1 PARTIAL ROOF PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- THE CONTRACT DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT OF EQUIPMENT AND MATERIALS AND PROVIDE DETAILS WHERE SIGNIFICANT TO THE INSTALLATION. THE CONTRACTOR SHALL PROVIDE APPURTENANCES REQUIRED FOR A COMPLETE, OPERATIONAL SMOKE CONTROL SYSTEM.
 - ALL ROOF MOUNTED EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS, STRUCTURAL PLANS, SHOP DRAWINGS AND APPROPRIATE DETAILS.
 - ALL PENETRATIONS THROUGH ROOF DECK TO AVOID CONTACT WITH UNDERLYING STRUCTURAL MEMBERS.
 - ROOF IS NOT UNDER ANY STRICT WARRANTY CONDITIONS. HOWEVER, THE UNIVERSITY PREFERRED ROOFING CONTRACTOR IS GREENTECH ROOFING FOR ALL ROOF-RELATED WORK.
 - MAINTAIN CODE REQUIRED MINIMUM DISTANCE OF (10'-0") BETWEEN EXHAUST FANS, OR VTR'S AND OUTSIDE AIR INTAKES OF ROOFTOP EQUIPMENT.
 - REFERENCE MECHANICAL DRAWINGS FOR ADDITIONAL ELECTRICAL REQUIREMENTS. PROVIDE ALL CONTROL CONDUIT AND WIRING AS REQUIRED FOR INTERLOCKING FANS, MOTORS, ETC. AS INDICATED ON MECHANICAL DRAWINGS.
 - REFER TO SHEET M1 FOR MECHANICAL LEGEND.

- KEYED NOTES**
- PROVIDE ROOF MOUNTED EXHAUST FAN AND FAN CURB AT THIS LOCATION. CONNECT TO EXISTING EXHAUST AIR DUCTWORK. REFERENCE MECHANICAL EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
 - PROVIDE ROOF MOUNTED EXHAUST FAN AND FAN CURB AT THIS LOCATION. TRANSITION TO DUCT SIZE SHOWN ON SHEET M6 AND EXTEND DUCTWORK DOWN THROUGH ROOF. PROVIDE DUCTWORK AND AIR DISTRIBUTION DEVICES AS SHOWN ON PLAN. REFERENCE MECHANICAL EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
 - PROVIDE ROOF MOUNTED MAKE-UP AIR FAN AND FAN CURB AT THIS LOCATION. CONNECT TO EXISTING MAKE-UP AIR DUCTWORK. REFERENCE MECHANICAL EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.

MECHANICAL CONTROLS

SEQUENCE OF OPERATION AND CONTROL FUNCTIONS

The activation of any Student Commons #103 beam smoke detector or the activation of any open Atrium level waterflow switch shall cause the central fire alarm system to go into alarm and initiate the building's smoke control mode.

The following smoke control sequence shall occur:

- Index smoke exhaust fans (EF-4 thru EF-8) motorized dampers to an "open" position
- Index make-up air unit (MAU-1) motorized damper to an "open" position
- Index entry door magnetic locks to deenergize
- Index first floor level make-up air doors to an "open" position
- Index second floor level make-up air door to an "open" position
- Index make-up air fan (MAU-2) to 100% outside air
- Index smoke exhaust fans (EF-4 thru EF-8) to 100% exhaust air

SMOKE CONTROL MODE:
CONTROLS SHALL BE ELECTRIC. FANS SHALL HAVE HAND-OFF-AUTO (H-O-A) SWITCH. EXHAUST FANS AND MAKE-UP AIR FAN SHALL BE CONTROLLED BY THE FIRE ALARM SYSTEM TO OPERATE WHEN THE AREA SMOKE DETECTION IS ACTIVATED. HARDWARE INTERLOCK FANS WITH CORRESPONDING EXHAUST AIR OR MAKE-UP AIR CONTROL DAMPER ACTUATOR.

IN THE OFF POSITION, THE FAN SHALL BE DE-ENERGIZED AND THE DISCHARGE AIR DAMPER SHALL BE CLOSED.

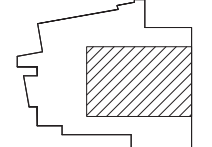
IN THE HAND POSITION, THE FAN SHALL RUN CONTINUOUSLY AND THE DISCHARGE AIR DAMPER SHALL BE OPEN.

IN THE AUTO POSITION, THE FIRE ALARM SYSTEM SHALL ENERGIZE THE FAN WHENEVER THE AREA SMOKE DETECTION IS ACTIVATED. THE FAN SHALL RUN TO FAILURE AND THE EXHAUST AIR OR MAKE-UP AIR DAMPER SHALL REMAIN OPEN UNTIL A SIGNAL IS RECEIVED FROM THE FIRE ALARM SYSTEM TO STOP THE FAN AND CLOSE THE DAMPER.

MONITORING:
EF-4 THRU EF-8 AND MAU-1: FIRE ALARM SHALL MONITOR ON-OFF STATUS OF FAN MOTOR, AND POSITION OF EXHAUST AIR AND MAKE-UP AIR DAMPER.

INSTALLATION RESPONSIBILITY:
FIRE ALARM CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ALL LOW VOLTAGE CONTROL CONDUIT AND PATHWAY ITEMS INCLUDING ALL LOW VOLTAGE CONTROL WIRING. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL LINE VOLTAGE CONDUIT AND WIRING. FIRE ALARM CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ALL RELAYS AND MONITOR MODULES.

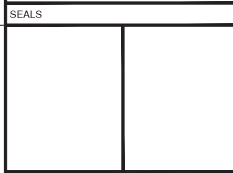
ELECTRICAL, FIRE ALARM, AND MECHANICAL CONTRACTORS ARE REQUIRED TO WORK WITH MANUFACTURER'S REPRESENTATIVE OF EQUIPMENT LISTED IN ORDER TO ACHIEVE DESIRED CONTROL SEQUENCE. FIRE ALARM CONTRACTOR SHALL BE THE RESPONSIBLE FOR ALL PROGRAMMING CHANGES.



2 KEY PLAN-BUILD'G, #048
SCALE: N.P.S.



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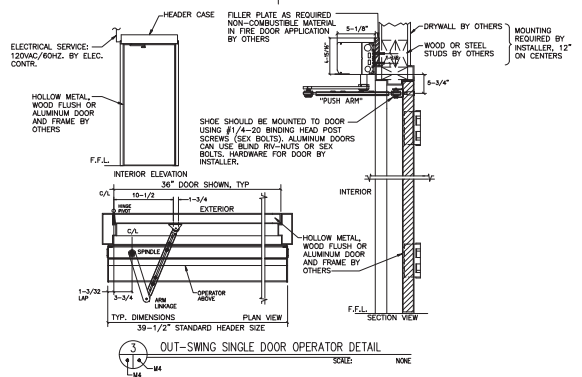


Dane Smith Hall
Building #048
601 Yale Blvd. NE
Albuquerque, NM
87131
Atrium Smoke Control
System Upgrade

MARK	DATE	DESCRIPTION
1	XXXXX	XXXXXX
DESIGNED BY:	FM-E&ES	
DRAWN BY:	RG	
CHECKED BY:	RG	
DATE:	8/16/22	

PARTIAL
ROOF PLAN
NEW WORK

M3

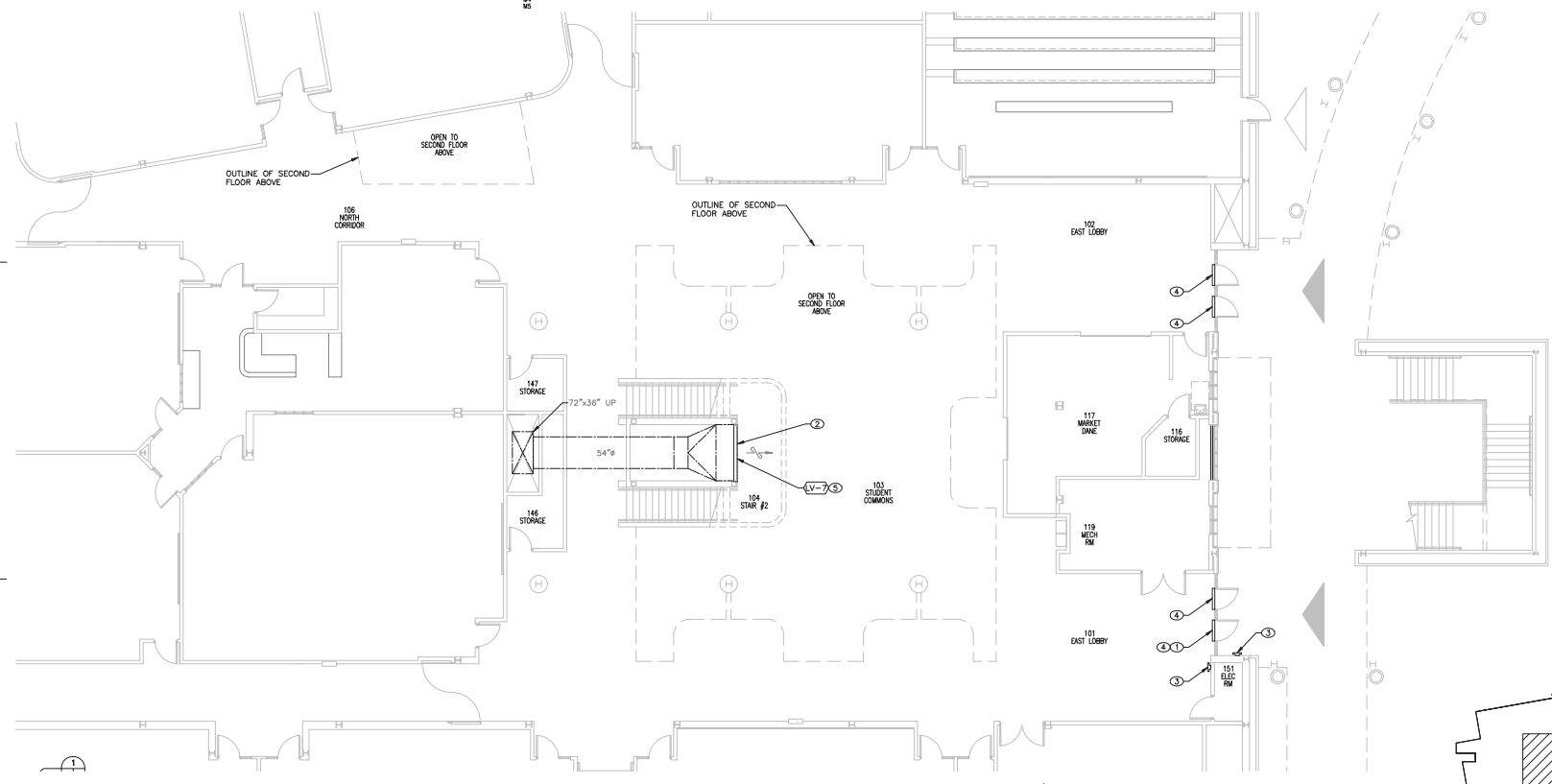


GENERAL NOTES

- A. EXISTING CONDITIONS TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. INTERIOR SURROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
- B. CONTRACTOR SHALL RESTORE ALL DOOR SYSTEMS AND SURROUNDING WALL CONDITIONS AFTER DOOR EQUIPMENT REMOVAL AND INSTALLATION TO MATCH OR BETTER EXISTING CONDITIONS.
- C. REFERENCE SHEET M1 FOR SYMBOLS AND ABBREVIATIONS.
- D. REFERENCE SPECIFICATION 087113 FOR DOOR OPERATOR BASIS OF DESIGN AND INSTALLATION REQUIREMENTS.

KEYED NOTES

- 1. REMOVE EXISTING DOOR OPERATOR COMPLETE. PREP AREA FOR NEW WORK.
- 2. REMOVE FOUR SECTIONAL SIDEWALL GRILLE COMPLETE. PREP AREA FOR NEW WORK.
- 3. EXISTING MOTION SWITCH TO REMAIN. NEW SINGLE SWING DOOR OPERATOR TO OPERATE WITH EXISTING MOTION SWITCH. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
- 4. PROVIDE NEW LOW ENERGY AUTOMATIC SWING DOOR OPERATOR FOR SINGLE SWING EXTERIOR ALUMINUM GLASS DOOR. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. COORDINATE WITH OTHER TRADES WHERE APPLICABLE. SEE DETAIL 3/M4 FOR ADDITIONAL INFORMATION.
- 5. PROVIDE WALL EXHAUST LOUVER AT THIS LOCATION. CONNECT TO EXISTING MAKE-UP AIR DUCTWORK. COORDINATE EXACT LOCATION WITH ON-SITE CONDITIONS. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFERENCE MECHANICAL EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.



1 PARTIAL FIRST FLOOR PLAN - DOOR OPERATORS
SCALE: 1/8" = 1'-0"

2 KEY PLAN-BUILD'G, #048
SCALE: N.E.



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SEALS

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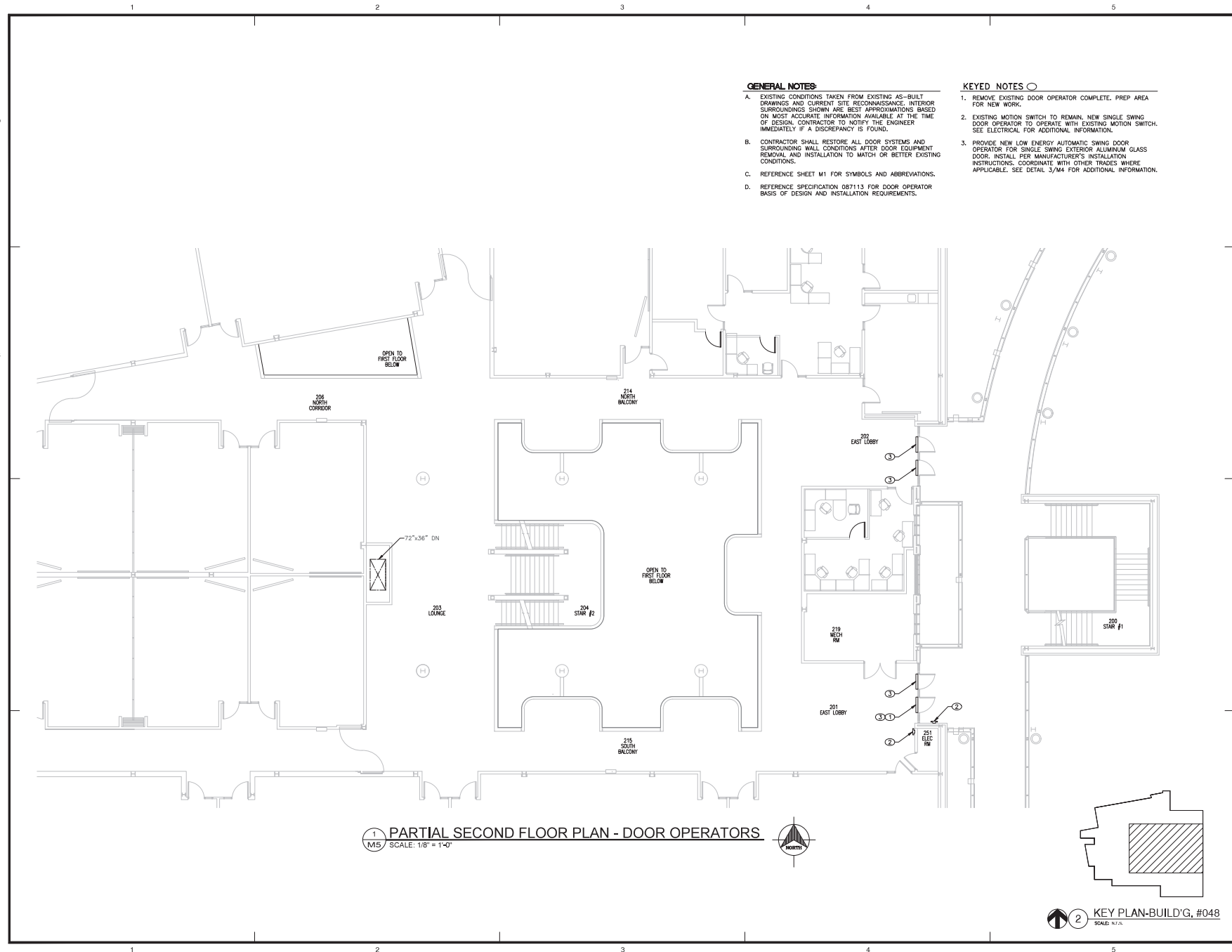
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1	XXXXX	XXXXXX

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 DRAWN BY: RG
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 DATE: 8/16/22

PARTIAL FIRST FLOOR PLAN DOOR OPERATORS

M4



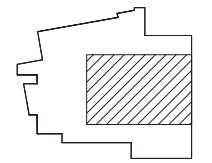
GENERAL NOTES:

- A. EXISTING CONDITIONS TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. INTERIOR SURROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
- B. CONTRACTOR SHALL RESTORE ALL DOOR SYSTEMS AND SURROUNDING WALL CONDITIONS AFTER DOOR EQUIPMENT REMOVAL AND INSTALLATION TO MATCH OR BETTER EXISTING CONDITIONS.
- C. REFERENCE SHEET M1 FOR SYMBOLS AND ABBREVIATIONS.
- D. REFERENCE SPECIFICATION 087113 FOR DOOR OPERATOR BASIS OF DESIGN AND INSTALLATION REQUIREMENTS.

KEYED NOTES ○

- 1. REMOVE EXISTING DOOR OPERATOR COMPLETE. PREP AREA FOR NEW WORK.
- 2. EXISTING MOTION SWITCH TO REMAIN. NEW SINGLE SWING DOOR OPERATOR TO OPERATE WITH EXISTING MOTION SWITCH. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
- 3. PROVIDE NEW LOW ENERGY AUTOMATIC SWING DOOR OPERATOR FOR SINGLE SWING EXTERIOR ALUMINUM GLASS DOOR. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. COORDINATE WITH OTHER TRADES WHERE APPLICABLE. SEE DETAIL 3/M4 FOR ADDITIONAL INFORMATION.

1 PARTIAL SECOND FLOOR PLAN - DOOR OPERATORS
 M5 SCALE: 1/8" = 1'-0"



2 KEY PLAN-BUILD'G, #048
 SCALE: N.E.C.



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SEALS

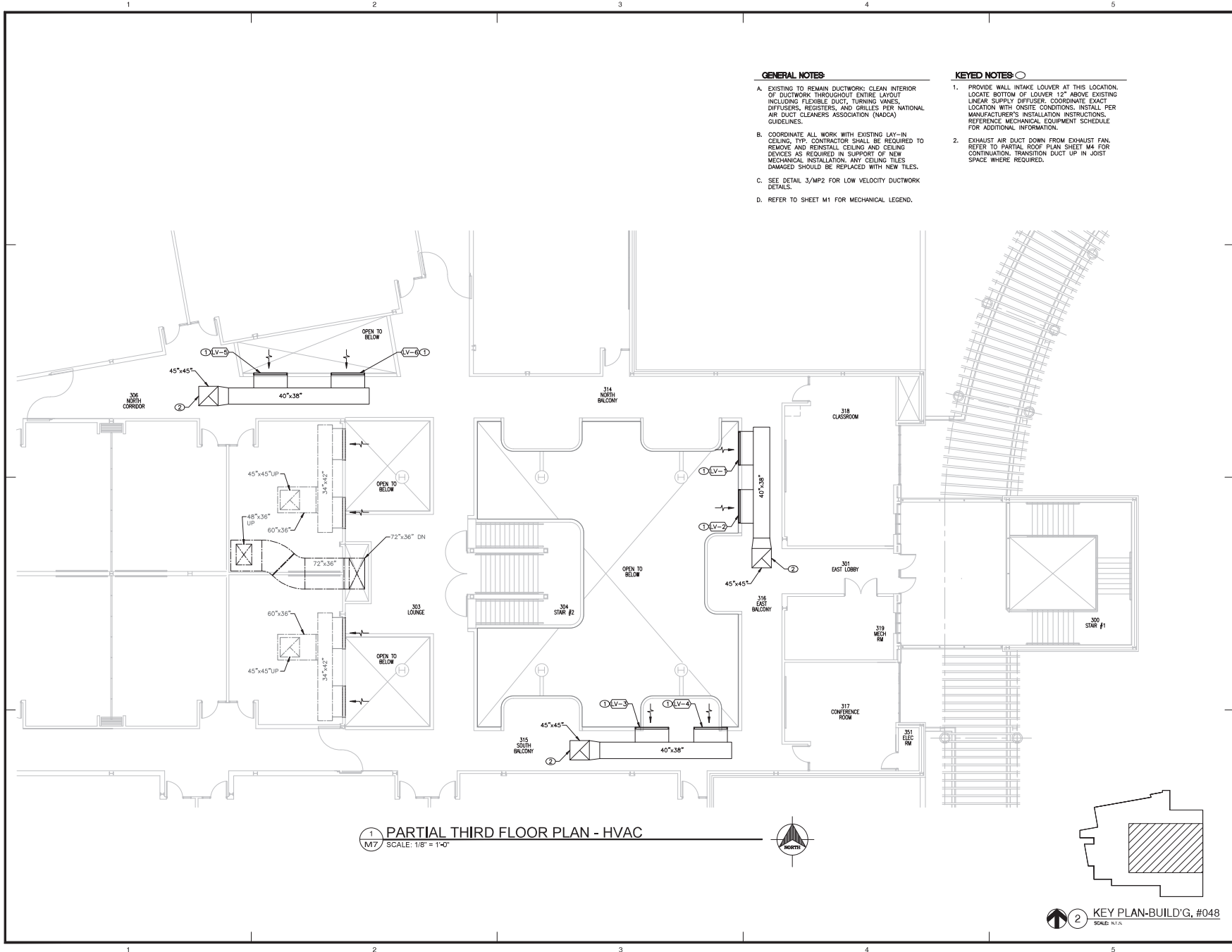
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DESIGNED BY: FM-E&ES
 DRAWN BY: RG
 CHECKED BY: RG
 DATE: 8/16/22

PARTIAL SECOND FLOOR PLAN DOOR OPERATORS

M5



- GENERAL NOTES:**
- A. EXISTING TO REMAIN DUCTWORK: CLEAN INTERIOR OF DUCTWORK THROUGHOUT ENTIRE LAYOUT INCLUDING FLEXIBLE DUCT, TURNING VANES, DIFFUSERS, REGISTERS, AND GRILLES PER NATIONAL AIR DUCT CLEANERS ASSOCIATION (NADCA) GUIDELINES.
 - B. COORDINATE ALL WORK WITH EXISTING LAY-IN CEILING. TYP. CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REINSTALL CEILING AND CEILING DEVICES AS REQUIRED IN SUPPORT OF NEW MECHANICAL INSTALLATION. ANY CEILING TILES DAMAGED SHOULD BE REPLACED WITH NEW TILES.
 - C. SEE DETAIL 3/MP2 FOR LOW VELOCITY DUCTWORK DETAILS.
 - D. REFER TO SHEET M1 FOR MECHANICAL LEGEND.

- KEYED NOTES:**
- 1. PROVIDE WALL INTAKE LOUVER AT THIS LOCATION. LOCATE BOTTOM OF LOUVER 12" ABOVE EXISTING LINEAR SUPPLY DIFFUSER. COORDINATE EXACT LOCATION WITH ONSITE CONDITIONS. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFERENCE MECHANICAL EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
 - 2. EXHAUST AIR DUCT DOWN FROM EXHAUST FAN. REFER TO PARTIAL ROOF PLAN SHEET M4 FOR CONTINUATION. TRANSITION DUCT UP IN JOIST SPACE WHERE REQUIRED.



THE UNIVERSITY OF
NEW MEXICO

PROJECT TEAM

FM-Engineering and Energy Services
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SEALS

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Building #048
601 Yale Blvd. NE
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System Upgrade

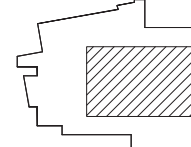
MARK	DATE	DESCRIPTION
1	XXXXX	XXXXXX

DESIGNED BY: FM-E&ES
DRAWN BY: RG
CHECKED BY: RG
DATE: 8/16/22

PARTIAL THIRD
FLOOR PLAN
HVAC

M6

1 PARTIAL THIRD FLOOR PLAN - HVAC
M7 SCALE: 1/8" = 1'-0"



2 KEY PLAN-BUILD'G, #048
SCALE: N.E.L.

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
LOGAN HALL – SANITARY PIPING REPLACEMENT – PHASE II
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Logan Hall – Sanitary Piping Replacement – Phase II, on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

Logan Hall (#A0034) is the main academic and research building for the Department of Psychology at the University of New Mexico. The approximate 55,268 GSF facility comprises research spaces, laboratories, conservation storage, seminar spaces, and numerous classroom and office spaces. The sanitary waste piping system has visible corrosion (rust, scale, and pitting) showing that the system is nearing the end of its useful life.

The project entails renovating the existing building's existing cast iron sanitary waste piping system. The intent is for a partial replacement of deteriorated sanitary waste cast iron piping throughout the building. This Phase II replacement shall remove and replace the maximum linear foot length of sanitary waste piping based on the available construction budget. The sanitary waste piping will be replaced on the remaining levels not under construction during the Phase I replacement project. The major work areas will cover the basement and second levels of the facility.

PROJECT RATIONALE:

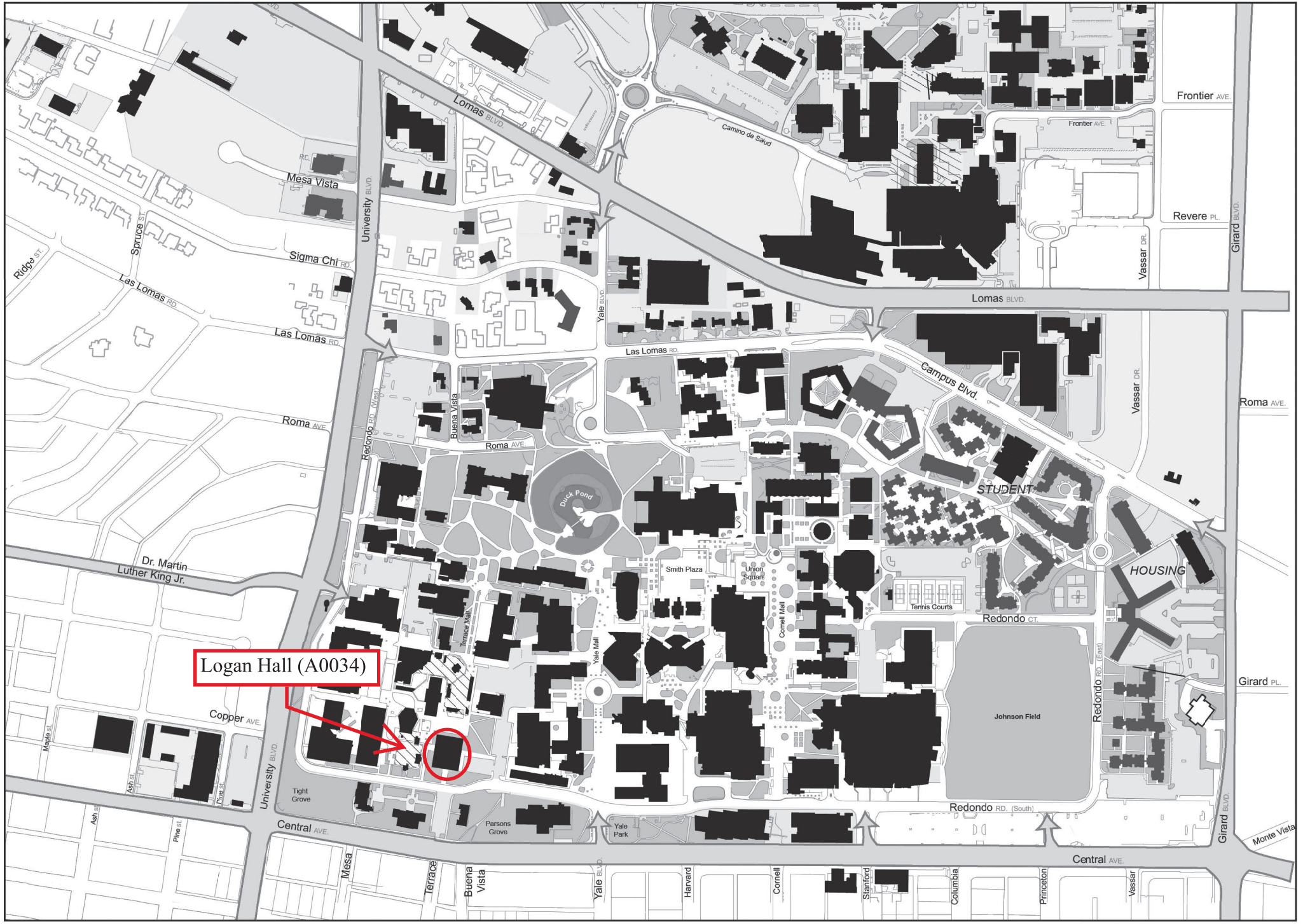
Upgrades are needed for the remaining sanitary waste systems for this 52-year-old building. The University Facilities Management team receives numerous work orders to repair leaks in Logan Hall, these leaks have posed health concerns for the occupants of the building. The sanitary system's expected life expectancy is more than 75 years. The deteriorated piping systems must be replaced to meet all applicable code and standard requirements. The facility is a hub for the UNM Department of Psychology, which serves undergraduate, graduate, and postdoctoral students as well as faculty who utilize this building for internationally recognized research programs, in such fields, as addictions and drug abuse, animal learning, mate preference and mate choice, spirituality, traumatic brain injury and many others. If this project is not approved, maintenance costs will increase, and the sanitary piping will remain outdated and non-compliant with current code requirements and University standards.

FUNDING:

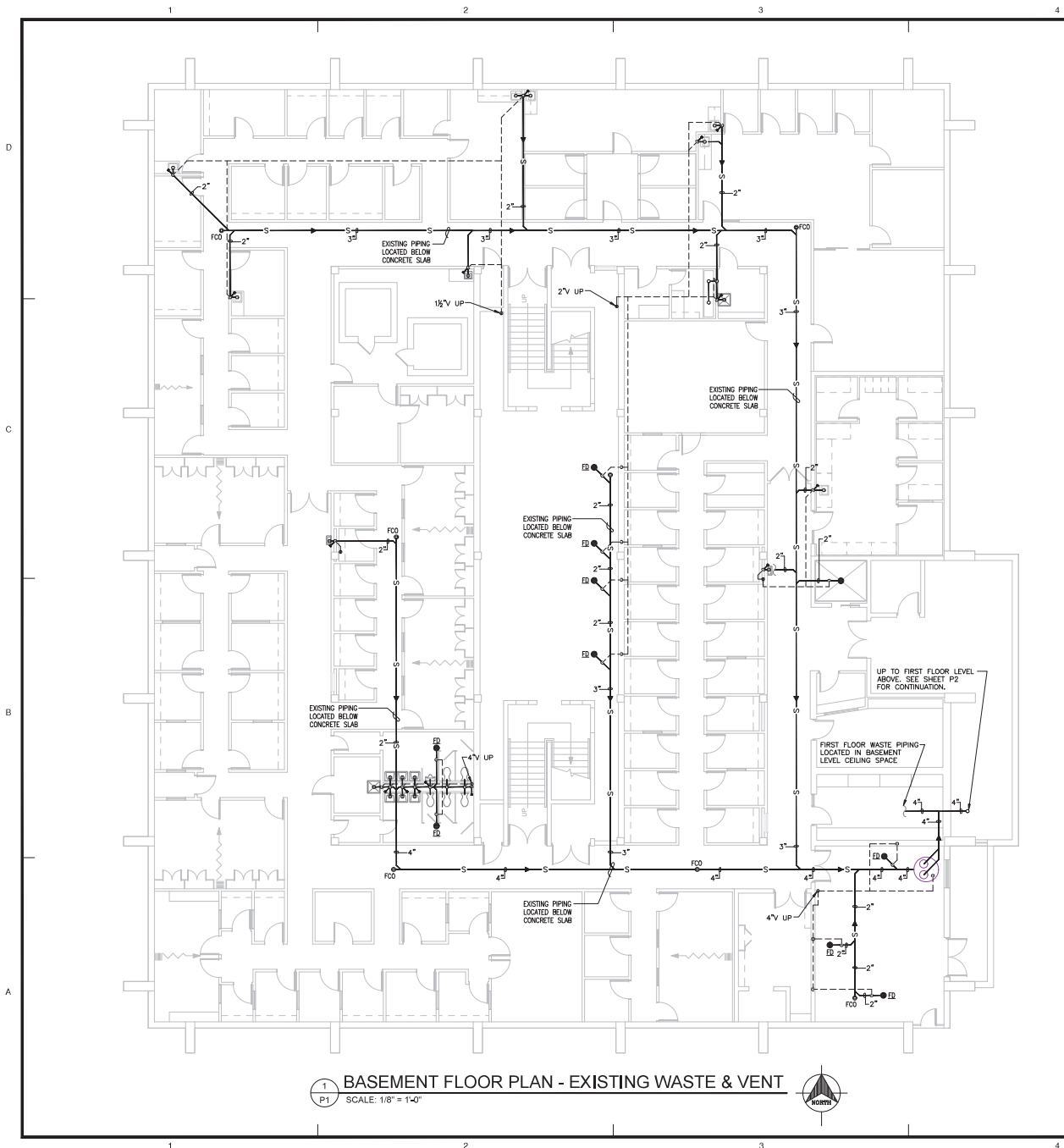
The total estimated Project Budget is \$700,000.00:

- \$700,000.00 is funded from FY25 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



Logan Hall (A0034)



1 BASEMENT FLOOR PLAN - EXISTING WASTE & VENT
 P1 SCALE: 1/8" = 1'-0"

SHEET NOTES:

- A. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:
 - 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 - 2015 NM ENERGY CONSERVATION CODE
 - 2015 NEW MEXICO PLUMBING AND MECHANICAL CODE
 - 2017 NEW MEXICO ELECTRICAL CODE
 - UNM GENERAL CONDITIONS
 - UNM DESIGN STANDARDS
 - UNM UTILITY DESIGN GUIDELINES & SPECIFICATIONS
- B. REMOVE AND REPLACE EXISTING SANITARY WASTE PIPING WITHIN THE ENTIRE BUILDING AS SHOWN FROM EXTERIOR DOUBLE CLEANOUT TO GRADE TO LAST FIXTURE AT HIGHEST FLOOR LEVEL. NEW PIPING LAYOUT SHALL BE INSTALLED PARALLEL TO THE EXISTING WASTE LINES TO MINIMIZE BUILDING DOWNTIME. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE EXISTING FLOORS, WALLS, CEILING, FIXTURES, CASEWORK, ETC. FOR COMPLETION OF REPLACEMENT PROCEDURES.
- C. THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS. NOTIFY THE UNM PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- D. PLUMBING CONTRACTOR SHALL PROVIDE WATER, WASTE, DRAIN, GAS, ETC., CONNECTIONS FOR ALL ITEMS SCHEDULED REQUIRING SAME WHETHER INDICATED ON PLAN OR NOT. ROUGH-INS SHOWN IN APPROXIMATE LOCATIONS ONLY. PROVIDE ALL NECESSARY FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES AND ACCESSORIES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- E. EXISTING UTILITIES TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. UTILITIES AND INTERIOR SUBROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
- F. COORDINATE WITH THE WORK OF OTHER TRADES, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE.
- G. COORDINATE ALL MECHANICAL WORK WITH ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO RELOCATE EXISTING CONDUIT IN SUPPORT OF NEW MECHANICAL INSTALLATION.
- H. HATCHING REPRESENTS MECHANICAL REMOVAL.
- I. PIPING SHOWN OFFSET FOR CLARITY.
- J. ALL SUSPENDED PIPING, EQUIPMENT, ETC., SHALL BE HUNG FROM STRUCTURAL BEAMS AND TOP CHORD OF ROOF JOISTS. SUPPORTS FROM ROOF DECKING ARE NOT PERMITTED.
- K. DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. REMOVE MEANS TO FURNISH AND INSTALL COMPLETE AND READY FOR INTENDED USE.

PLUMBING LEGEND

ABBREVIATIONS		GENERAL SYMBOLS	
AD	ACCESS DOOR		DIRECTION OF PIPE PITCH (DOWN)
ADA	AMERICANS WITH DISABILITIES ACT		DIRECTION OF FLOW
AFF	ABOVE FINISHED FLOOR		REDUCER OR INCREASER
CO	CLEANOUT		ECCENTRIC REDUCER
COTG	CLEANOUT TO GRADE		TOP CONNECTION, 45° OR 90°
DA, #	DIAMETER		BOTTOM CONNECTION, 45° OR 90°
DWV	DRAINAGE, WASTE & VENT		SIDE CONNECTION
FCO	FLOOR CLEANOUT		CAPPED OUTLET
FD	FLOOR DRAIN		ELBOW TURNED DOWN IN PIPE
FT	FOOT OR FEET		ELBOW TURNED UP IN PIPE
GA	GAUGE		VALVE IN DROP
GPH	GALLON PER HOUR		PRESSURE REGULATOR AND VALVE IN DROP
GPM	GALLON PER MINUTE		UNION
LS	POUNDS		ORIFICE UNION
MAX	MAXIMUM		CAP OR PLUG
MFG	MANUFACTURER		CONTINUATION
MIN	MINIMUM		POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK
NC	NORMALLY CLOSED		LIMIT OF DEMOLITION
NO	NORMALLY OPEN OR NUMBER		KEYED NOTE
NPS	NOMINAL PIPE SIZE		MECHANICAL EQUIPMENT SYMBOL
NPT	NATIONAL PIPE THREAD		
PH, #	PHASE (ELECTRICAL)		
PSG	POUNDS PER SQUARE INCH GAUGE		
PRV	PRESSURE REDUCING VALVE		
PVC	POLYVINYL CHLORIDE		
RPM	REVOLUTIONS PER MINUTE		
SF	SQUARE FOOT		
TYP	TYPICAL		
UL	UNDERWRITER'S LABORATORIES		
V	VOLTS OR VENT		
VTR	VENT THRU ROOF		
WCO	WALL CLEANOUT		
WSFU	WATER SUPPLY FIXTURE UNIT		
W/	WITH		



PROJECT TEAM
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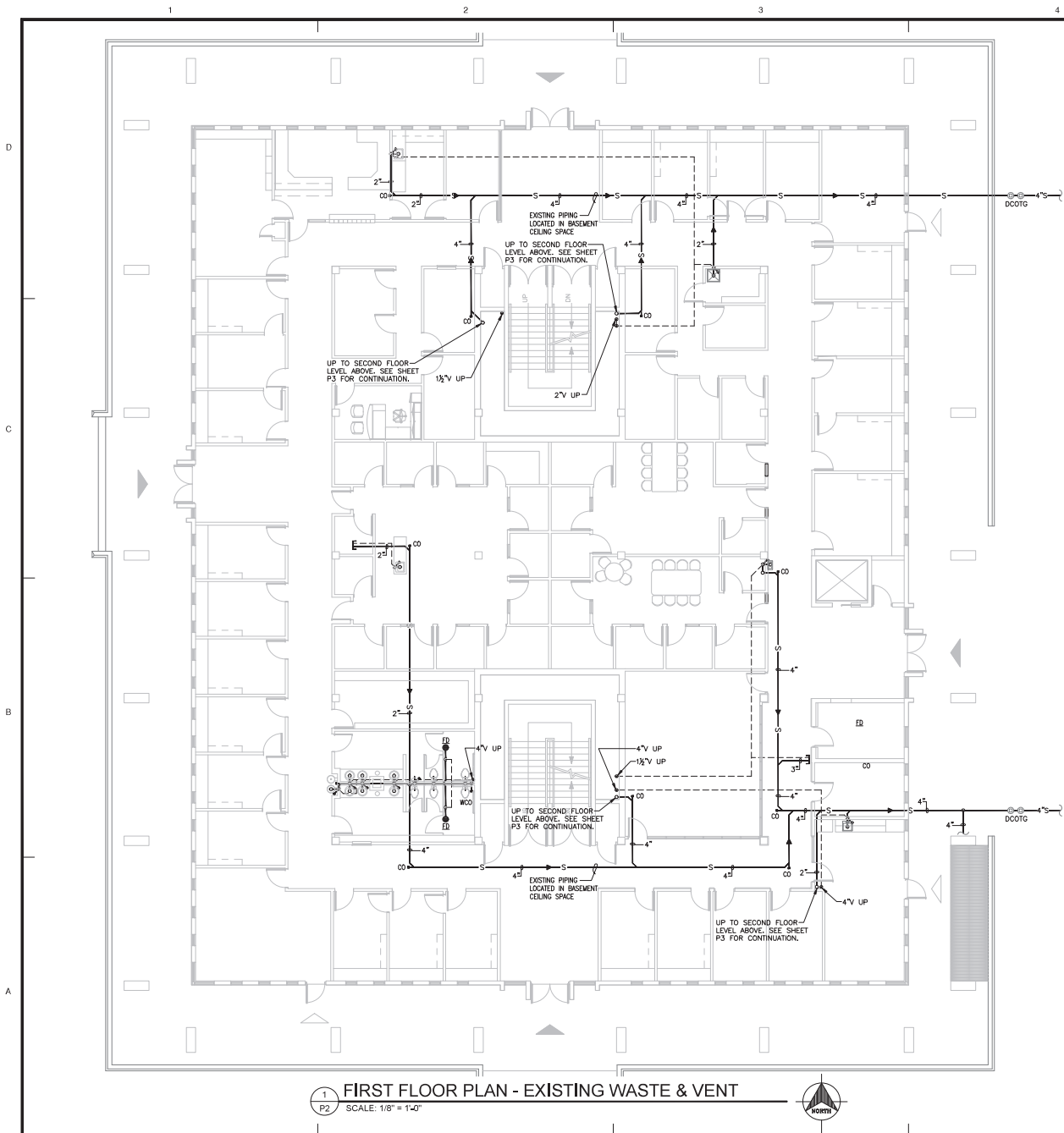
SEALS

SANITARY WASTE PIPING REPLACEMENT AT LOGAN HALL
 Building #034
 2001 Redondo Dr.
 South NE
 Albuquerque, NM
 87131

MARK	DATE	DESCRIPTION
X	XXXXXX	XXXXXX

DESIGNED BY: FM-EAES
 DRAWN BY: RG
 CHECKED BY: RG

DATE: 03/20/21
BASEMENT FLOOR PLAN EXISTING WASTE & VENT PIPING



FIRST FLOOR PLAN - EXISTING WASTE & VENT
 SCALE: 1/8" = 1'-0"

- SHEET NOTES:**
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:
 - 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 - 2015 NM ENERGY CONSERVATION CODE
 - 2015 NEW MEXICO PLUMBING AND MECHANICAL CODE
 - 2017 NEW MEXICO ELECTRICAL CODE
 - UNM GENERAL CONDITIONS
 - UNM DESIGN STANDARDS
 - UNM UTILITY DESIGN GUIDELINES & SPECIFICATIONS
 - REMOVE AND REPLACE EXISTING SANITARY WASTE PIPING WITHIN THE ENTIRE BUILDING AS SHOWN FROM EXTERIOR DOUBLE CLEANOUT TO GRADE TO LAST FIXTURE AT HIGHEST FLOOR LEVEL. NEW PIPING LAYOUT SHALL BE INSTALLED PARALLEL TO THE EXISTING WASTE LINES TO MINIMIZE BUILDING DOWNTIME. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE EXISTING FLOORS, WALLS, CEILING, FIXTURES, CASEWORK, ETC. FOR COMPLETION OF REPLACEMENT PROCEDURES.
 - THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS. NOTIFY THE UNM PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING WORK.
 - PLUMBING CONTRACTOR SHALL PROVIDE WATER, WASTE, DRAIN, GAS, ETC., CONNECTIONS FOR ALL ITEMS SCHEDULED REQUIRING SAME WHETHER INDICATED ON PLAN OR NOT. ROUGH-INS SHOWN IN APPROXIMATE LOCATIONS ONLY. PROVIDE ALL NECESSARY FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES AND ACCESSORIES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
 - EXISTING UTILITIES TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. UTILITIES AND INTERIOR SURROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
 - COORDINATE WITH THE WORK OF OTHER TRADES, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE.
 - COORDINATE ALL MECHANICAL WORK WITH ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO RELOCATE EXISTING CONDUIT IN SUPPORT OF NEW MECHANICAL INSTALLATION.
 - HATCHING REPRESENTS MECHANICAL REMOVAL.
 - PIPING SHOWN OFFSET FOR CLARITY.
 - ALL SUSPENDED PIPING, EQUIPMENT, ETC., SHALL BE HUNG FROM STRUCTURAL BEAMS AND TOP CHORD OF ROOF JOISTS. SUPPORTS FROM ROOF DECKING ARE NOT PERMITTED.
 - DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. REMOVE MEANS TO FURNISH AND INSTALL COMPLETE AND READY FOR INTENDED USE.

ABBREVIATIONS		GENERAL SYMBOLS	
AD	ACCESS DOOR		DIRECTION OF PIPE PITCH (DOWN)
ADA	AMERICANS WITH DISABILITIES ACT		DIRECTION OF FLOW
AFF	ABOVE FINISHED FLOOR		REDUCER OR INCREASER
CO	CLEANOUT		ECCENTRIC REDUCER
CO/G	CLEANOUT TO GRADE		TOP CONNECTION, 45° OR 90°
DA, #	DIAMETER		BOTTOM CONNECTION, 45° OR 90°
DW	DRAINAGE, WASTE & VENT		SIDE CONNECTION
FCO	FLOOR CLEANOUT		CAPPED OUTLET
FD	FLOOR DRAIN		ELBOW TURNED DOWN IN PIPE
FT	FOOT OR FEET		ELBOW TURNED UP IN PIPE
GA	GAUGE		VALVE IN DROP
GPH	GALLON PER HOUR		PRESSURE REGULATOR AND VALVE IN DROP
GPM	GALLON PER MINUTE		UNION
LS	POUNDS		ORIFICE UNION
MAX	MAXIMUM		CAP OR PLUG
MFG	MANUFACTURER		CONTINUATION
MIN	MINIMUM		POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK
NC	NORMALLY CLOSED		LIMIT OF DEMOLITION
NO	NORMALLY OPEN OR NUMBER		KEYED NOTE
NPS	NOMINAL PIPE SIZE		MECHANICAL EQUIPMENT SYMBOL
NPT	NATIONAL PIPE THREAD		
PH, #	PHASE (ELECTRICAL)		
PSIG	POUNDS PER SQUARE INCH GAUGE		
PRV	PRESSURE REDUCING VALVE		
PVC	POLYVINYL CHLORIDE		
RPM	REVOLUTIONS PER MINUTE		
SF	SQUARE FOOT		
TYP	TYPICAL		
UL	UNDERWRITER'S LABORATORIES		
V	VOLTS OR VENT		
VTR	VENT THRU ROOF		
WCO	WALL CLEANOUT		
WSFU	WATER SUPPLY FIXTURE UNIT		
W/	WITH		



PROJECT TEAM
FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

SANITARY WASTE PIPING REPLACEMENT AT LOGAN HALL
 Building #034
 2001 Redondo Dr.
 South NE
 Albuquerque, NM
 87131

MARK	DATE	DESCRIPTION
X	XXXXXX	XXXXXX

DESIGNED BY: FM-EAES
 DRAWN BY: RG
 CHECKED BY: RG

DATE: 03/20/21
FIRST FLOOR PLAN EXISTING WASTE & VENT PIPING

1

2

3

4

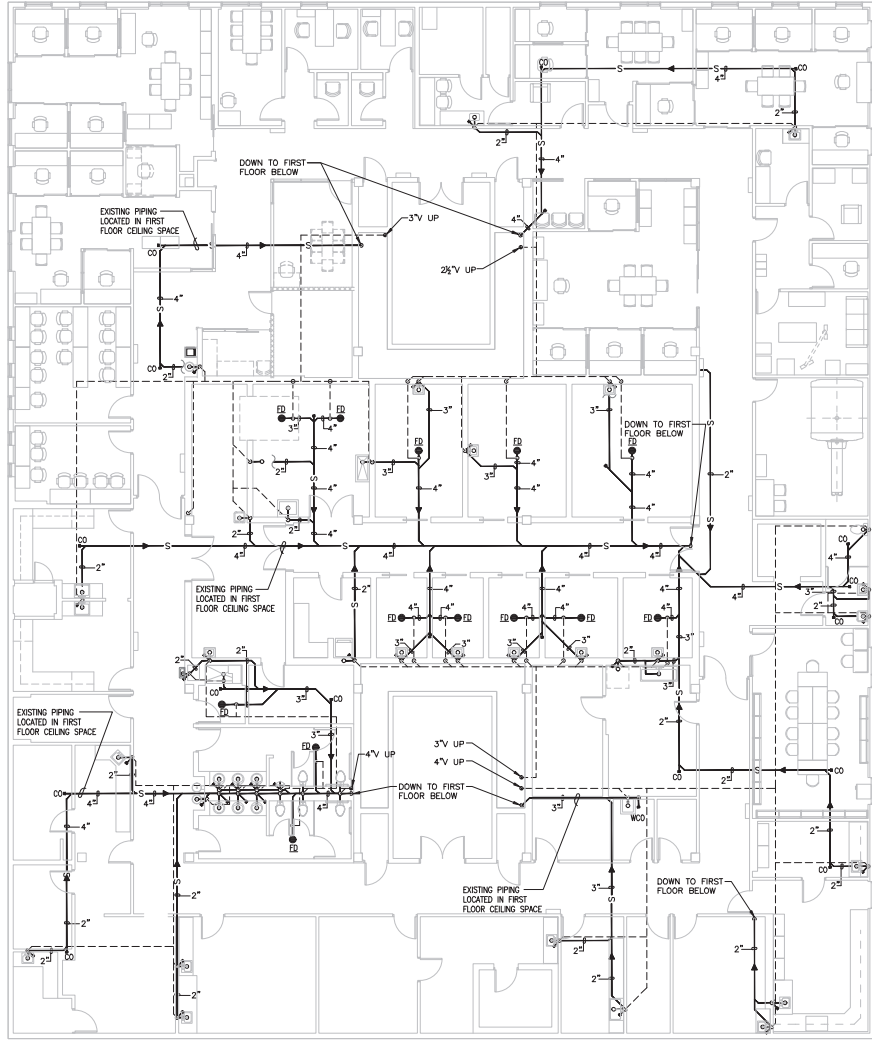
5

D

C

B

A



1 SECOND FLOOR PLAN - EXISTING WASTE & VENT
 P3 SCALE: 1/8" = 1'-0"



- SHEET NOTES:**
- A. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:
 - 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 - 2015 NM ENERGY CONSERVATION CODE
 - 2015 NEW MEXICO PLUMBING AND MECHANICAL CODE
 - 2017 NEW MEXICO ELECTRICAL CODE
 - UNM GENERAL CONDITIONS
 - UNM DESIGN STANDARDS
 - UNM UTILITY DESIGN GUIDELINES & SPECIFICATIONS
 - B. REMOVE AND REPLACE EXISTING SANITARY WASTE PIPING WITHIN THE ENTIRE BUILDING AS SHOWN FROM EXTERIOR DOUBLE CLEANOUT TO GRADE TO LAST FIXTURE AT HIGHEST FLOOR LEVEL. NEW PIPING LAYOUT SHALL BE INSTALLED PARALLEL TO THE EXISTING WASTE LINES TO MINIMIZE BUILDING DOWNTIME. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE EXISTING FLOORS, WALLS, CEILING, FIXTURES, CASEWORK, ETC. FOR COMPLETION OF REPLACEMENT PROCEDURES.
 - C. THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS. NOTIFY THE UNM PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING WORK.
 - D. PLUMBING CONTRACTOR SHALL PROVIDE WATER, WASTE, DRAIN, GAS, ETC., CONNECTIONS FOR ALL ITEMS SCHEDULED REQUIRING SAME WHETHER INDICATED ON PLAN OR NOT. ROUGH-INS SHOWN IN APPROXIMATE LOCATIONS ONLY. PROVIDE ALL NECESSARY FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES AND ACCESSORIES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
 - E. EXISTING UTILITIES TAKEN FROM EXISTING AS-BUILT DRAWINGS AND CURRENT SITE RECONNAISSANCE. UTILITIES AND INTERIOR SUBROUNDINGS SHOWN ARE BEST APPROXIMATIONS BASED ON MOST ACCURATE INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY IS FOUND.
 - F. COORDINATE WITH THE WORK OF OTHER TRADES, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE.
 - G. COORDINATE ALL MECHANICAL WORK WITH ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO RELOCATE EXISTING CONDUIT IN SUPPORT OF NEW MECHANICAL INSTALLATION.
 - H. HATCHING REPRESENTS MECHANICAL REMOVAL.
 - I. PIPING SHOWN OFFSET FOR CLARITY.
 - J. ALL SUSPENDED PIPING, EQUIPMENT, ETC., SHALL BE HUNG FROM STRUCTURAL BEAMS AND TOP CHORD OF ROOF JOISTS. SUPPORTS FROM ROOF DECKING ARE NOT PERMITTED.
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ABBREVIATIONS		GENERAL SYMBOLS	
AD	ACCESS DOOR		DIRECTION OF PIPE PITCH (DOWN)
ADA	AMERICANS WITH DISABILITIES ACT		DIRECTION OF FLOW
AFF	ABOVE FINISHED FLOOR		REDUCER OR INCREASER
CO	CLEANOUT		ECCENTRIC REDUCER
COTG	CLEANOUT TO GRADE		TOP CONNECTION, 45° OR 90°
DW	DRAINAGE, WASTE & VENT		BOTTOM CONNECTION, 45° OR 90°
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GPM	GALLON PER MINUTE		VALVE IN DROP
LBS	POUNDS		PRESSURE REGULATOR AND VALVE IN DROP
MAX	MAXIMUM		UNION
MFG	MANUFACTURER		ORIFICE UNION
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NC	NORMALLY CLOSED		CONTINUATION
NO	NORMALLY OPEN OR NUMBER		POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK
NPS	NOMINAL PIPE SIZE		LIMIT OF DEMOLITION
NPT	NATIONAL PIPE THREAD		KEYED NOTE
PH, #	PHASE (ELECTRICAL)		MECHANICAL EQUIPMENT SYMBOL
PSG	POUNDS PER SQUARE INCH GAUGE		
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W	WALL CLEANOUT		
WSFU	WATER SUPPLY FIXTURE UNIT		
W/	WITH		



PROJECT TEAM
FM-Engineering and Energy Services
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 MSC07 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

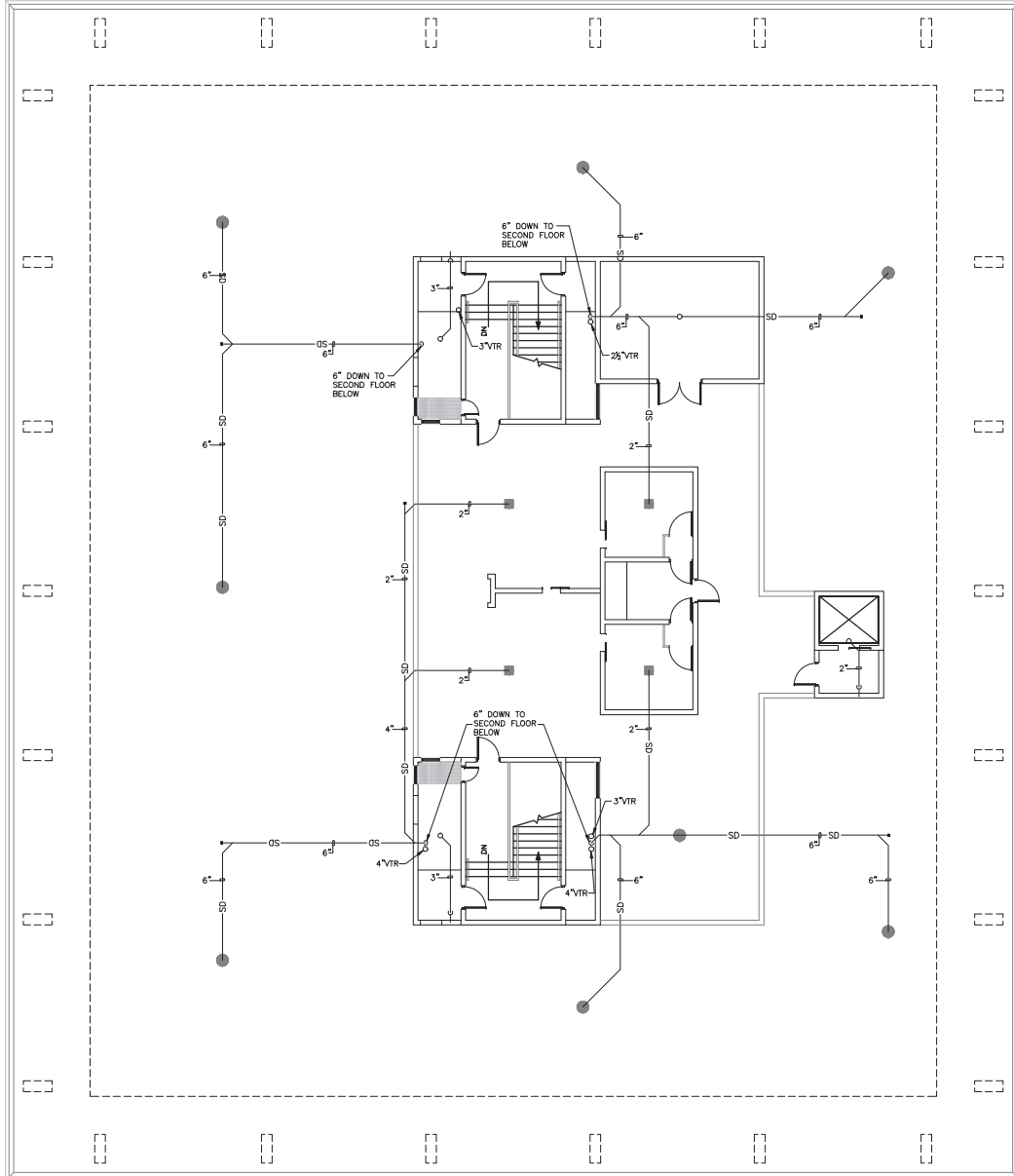
SANITARY WASTE PIPING REPLACEMENT AT LOGAN HALL Building #034
 2001 Redondo Dr. South NE
 Albuquerque, NM 87131

MARK	DATE	DESCRIPTION
X	XXXXXX	XXXXXX

DESIGNED BY: FM-EAES
 DRAWN BY: RG
 CHECKED BY: RG
 DATE: 03/20/21

SECOND FLOOR PLAN EXISTING WASTE & VENT PIPING

P3



1 THIRD FLOOR PLAN - EXISTING ROOF DRAINS
 P4 SCALE: 1/8" = 1'-0"



SHEET NOTES:

- A. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING:
 - 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 - 2015 NM ENERGY CONSERVATION CODE
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PLUMBING LEGEND

ABBREVIATIONS		GENERAL SYMBOLS	
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PSIG	POUNDS PER SQUARE INCH GAUGE		
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TYP	TYPICAL		
UL	UNDERWRITER'S LABORATORIES		
V	VOLTS OR VENT		
VTR	VENT THRU ROOF		
WCO	WALL CLEANOUT		
WSFU	WATER SUPPLY FIXTURE UNIT		
W/	WITH		



PROJECT TEAM
FM-Engineering and Energy Services
 Service Building #204, Room 121
 MSCOT 4200
 1 University of New Mexico
 Albuquerque, NM 87131-0001

SEALS

SANITARY WASTE PIPING REPLACEMENT AT LOGAN HALL
 Building #034
 2001 Redondo Dr.
 South NE
 Albuquerque, NM
 87131

MARK	DATE	DESCRIPTION
X	XXXXXX	XXXXXX
DESIGNED BY:	FM-EAES	
DRAWN BY:	RG	
CHECKED BY:	RG	
DATE:	03/20/21	

THIRD FLOOR PLAN EXISTING STORM DRAIN PIPING

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
BANDELIER HALL EAST INTERIOR RENOVATIONS
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Interior Renovations at Bandelier Hall East on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The project involves design and construction services for interior renovations to Bandelier Hall East restrooms, lobby, hallway, and offices 126, 128, and 130 totaling 1,927 square feet for the Department of Geography and Environmental Studies.

The renovation will include asbestos abatement, replacement of floor and ceiling, removal of partition walls, patching and painting interior walls, and installation of ADA-compliant door hardware in the Lobby, Hallway, and Offices 126, 128, and 130.

Included is renovation to the restroom with asbestos abatement, replacement of all existing interior finishes (floor, wall, and ceiling tiles), removal of non-load-bearing partition walls, patching and painting interior walls, floor slab removal/trenching, all new plumbing/ventilation, and installation of new ADA code-compliant and accessible fixtures including lavatories, sinks, hand dryers, waste receptacles, mirrors, and all associated accessories.

PROJECT RATIONALE:

The project will create accessible, code-compliant, and functional spaces, which will satisfy student and faculty space needs for the Department of Geography and Environmental Studies. The Department provides innovative teaching, research, and leadership in the areas of spatial thinking, environmental understanding, and geographic information systems. Bandelier Hall East is a tier 2 historical property and requires significant building updates to support the academic mission.

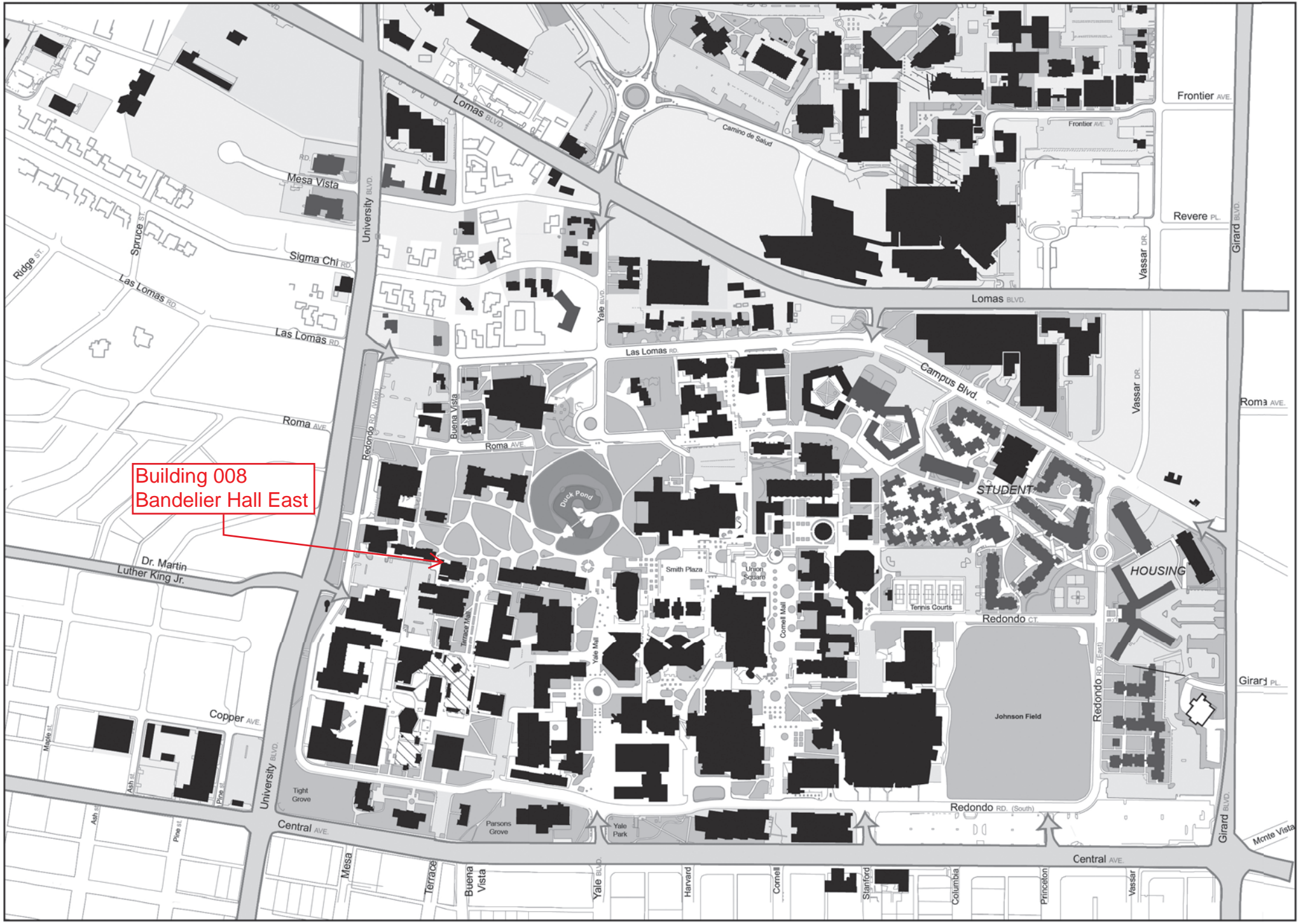
If this project is not approved, the consequences are that the existing hazardous materials will remain in the spaces and may eventually pose an environmental risk to the occupants and that the offices will continue to be unusable for department faculty needs based on their condition and the presence of hazardous materials.

FUNDING:

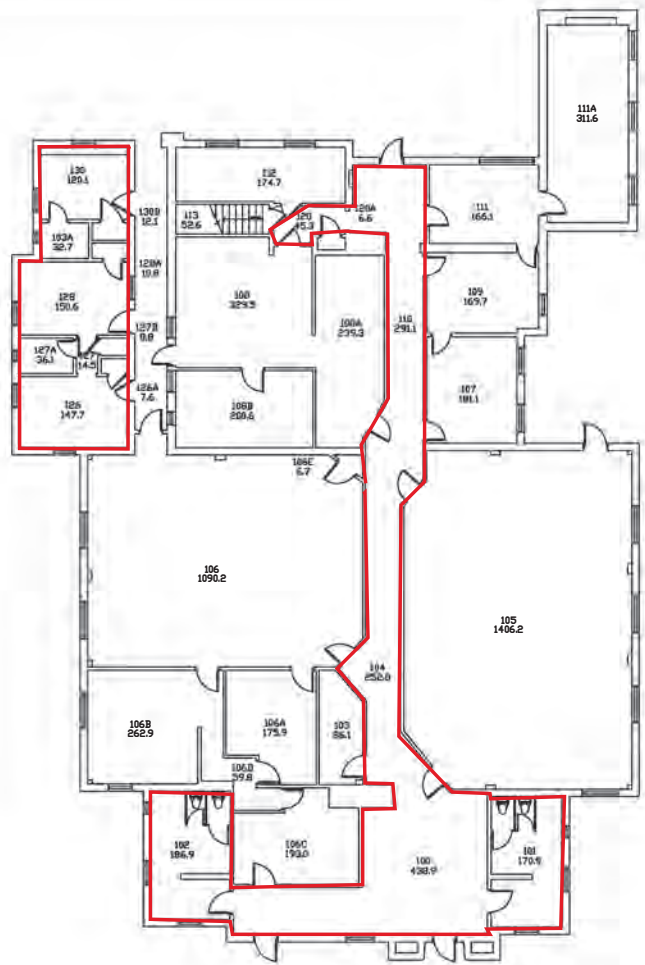
The total estimated Project Budget is \$679,000:

- \$679,000 is funded from FY25 Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



Building 008
Bandelier Hall East



FIRST FLOOR
SCALE: NOT TO SCALE



PLANNING & CAMPUS DEVELOPMENT
OFFICE OF SPACE MANAGEMENT

TOTAL FLOORS:	2	FLOOR:	FIRST
TOTAL GROSS SQUARE FEET:	1032	GROSS SQUARE FEET:	8,007
MAIN ENTRANCE		SECONDARY ENTRANCE	

BANDELIER HALL - EAST
FIRST FLOOR
401 TERRACE ST NE

#008
2 OF 2
008-00-01

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
PETE AND NANCY DOMENICI HALL – FIRE ALARM UPGRADE
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Pete and Nancy Domenici Hall – Fire Alarm Upgrade, on the Albuquerque North Campus.**

PROJECT DESCRIPTION:

The Pete and Nancy Domenici Hall (#A0260) building is utilized by the University of New Mexico School of Medicine which provides cutting-edge tools and an array of services dedicated to furthering brain research. The approximate 92,902 GSF facility comprises research spaces, laboratories, imagining and seminar spaces, as well as numerous classrooms, offices, and storage spaces. The facility currently lacks sufficient fire and life safety systems.

The project will renovate the existing building's fire alarm system. The entire fire alarm system will be replaced with a new addressable fire voice evacuation emergency communication system that will integrate all portions of the facility. The existing building fire alarm system will remain operational while the new fire alarm system is installed and tested. The existing mechanical HVAC systems will have new electrical power circuits to comply with current codes. Existing specialized fire suppression equipment will be incorporated into the new fire alarm components and functions to meet the requirements for fire and life safety systems.

PROJECT RATIONALE:

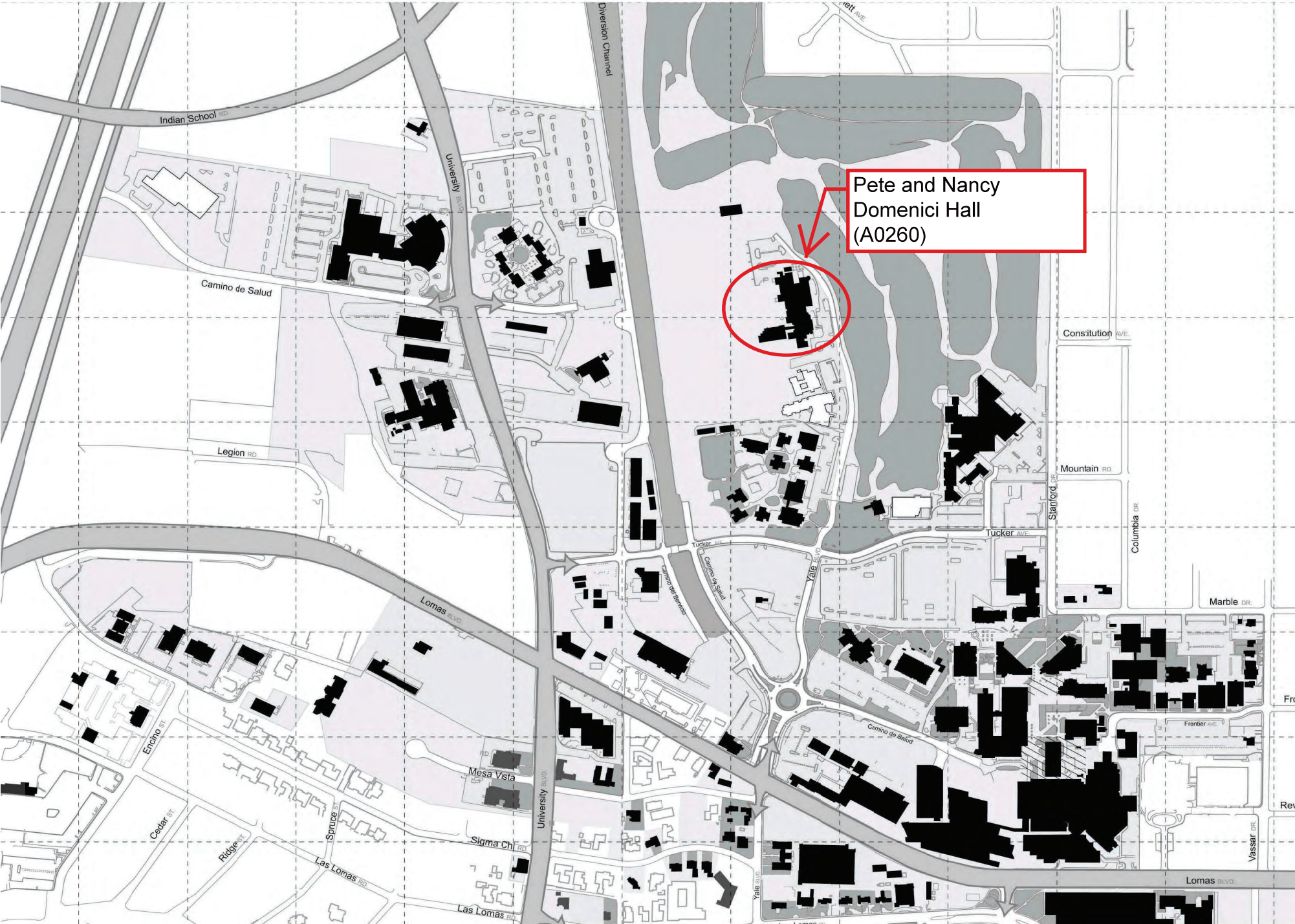
Upgrades are needed for the entire fire alarm system to comply with current codes and University design standards. Without this project, the University is inheriting an extreme risk during an emergency fire scenario. Many spaces lack proper occupant notification and HVAC shutdown sequences. These systems must be updated to meet all applicable code and standard requirements since the facility is a hub for the UNM School of Medicine which predominately caters to graduate and undergraduate students, faculty, and the general public who utilize this innovative building on an almost continuous basis.

FUNDING:

The total estimated Project Budget is \$500,000.00:

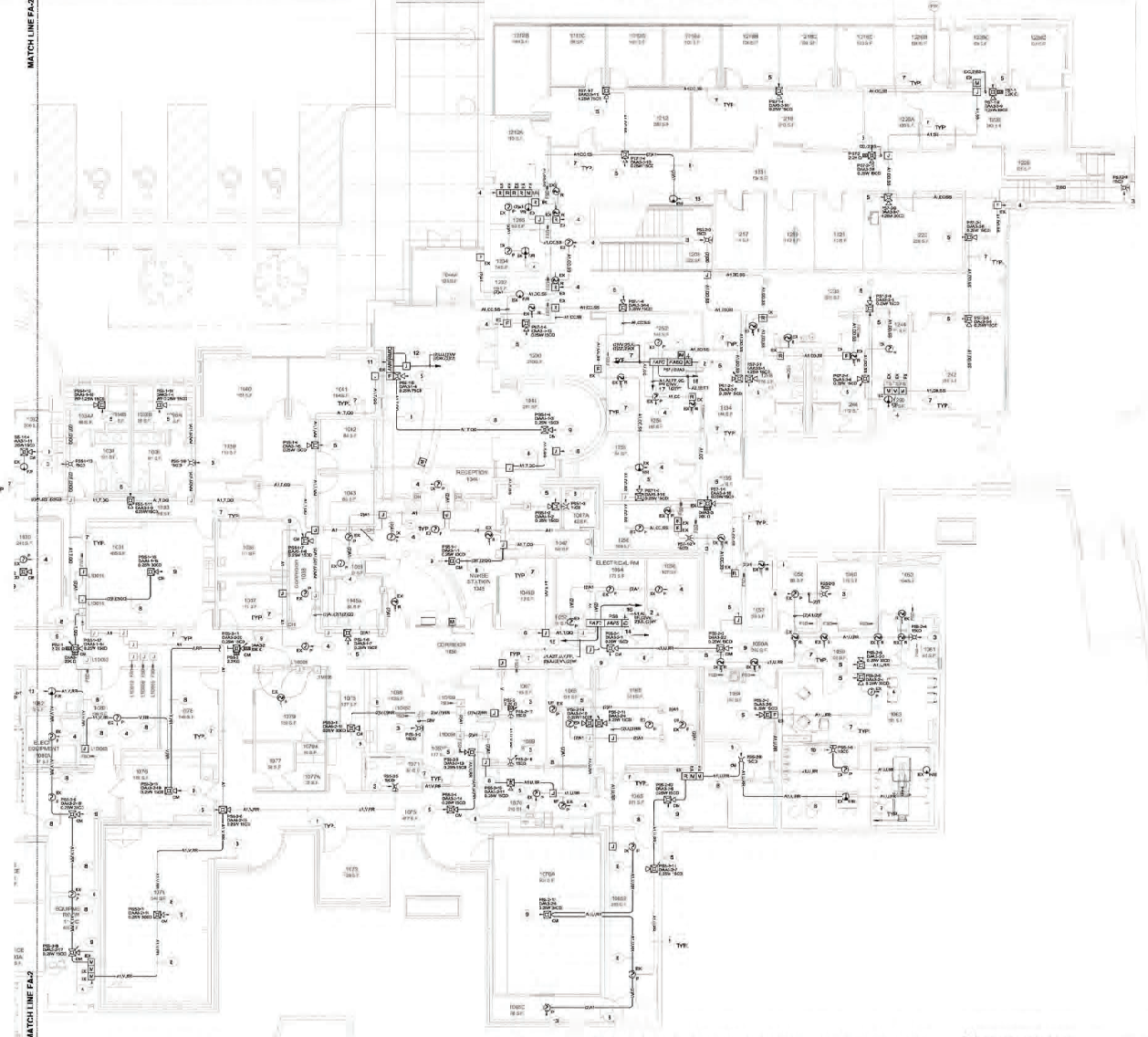
- \$500,000.00 is funded from FY25 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Albuquerque: North Campus



MATCH LINE FA-2

MATCH LINE FA-2



1ST FLOOR FIRE ALARM PLAN AREA-C

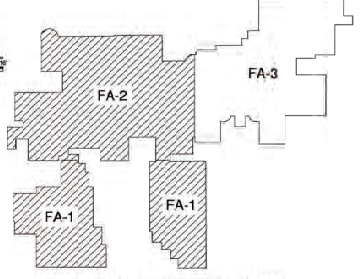
CABLE LEGEND table with columns for symbol and description.

CABLE LEGEND (CONTINUED) table with columns for symbol and description.

CABLE LEGEND (CONTINUED) table with columns for symbol and description.

GENERAL NOTES

- 1. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF NFPA 72...
2. DETECTOR TYPES SHALL BE AS NOTED ON THE PLAN...
3. ALL DETECTOR TYPES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF NFPA 72...
4. EXISTING WALL MOUNT STROBE ONLY AND EXISTING WALL MOUNT STROBE ONLY SHALL BE REPLACED WITH NEW WALL MOUNT STROBE ONLY TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR...
5. EXISTING WALL MOUNT STROBE ONLY SHALL BE REPLACED WITH NEW WALL MOUNT STROBE ONLY TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR...
6. EXISTING WALL MOUNT STROBE ONLY SHALL BE REPLACED WITH NEW WALL MOUNT STROBE ONLY TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR...



1ST FLOOR KEY PLAN

KEY NOTES

- 1. ELECTRICAL CONTRACTOR TO INSTALL NEW FIRE ALARM EQUIPMENT...
2. EXISTING WALL MOUNT STROBE ONLY AND EXISTING WALL MOUNT STROBE ONLY SHALL BE REPLACED WITH NEW WALL MOUNT STROBE ONLY TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR...
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10. EXISTING WALL MOUNT STROBE ONLY AND EXISTING WALL MOUNT STROBE ONLY SHALL BE REPLACED WITH NEW WALL MOUNT STROBE ONLY TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR...

FIRE ALARM LEGEND

Table with columns for symbol and description for fire alarm components like detectors, strobes, and speakers.



PREPARED BY: J. SCHWARTZ

DESIGNED BY: J. SCHWARTZ

DATE: 3/21/24

DATE: 3/21/24

UNM PETE & NANCY DOMENICI HALL BUILDING FIRE ALARM UPGRADE

1101 YALE BLVD NE, ALBUQUERQUE, NM 87106

CHECKED BY: V.F.

DATE: 02/15/24

FILE NAME: 00531 Pete & Nancy Domenici

SHEET TITLE: 1ST FLOOR FIRE ALARM PLAN AREA-C

FA-3

PAGE: 4 OF 10

UNM Logo

REGISTERED STAMP LOCATION

REGISTERED STAMP LOCATION

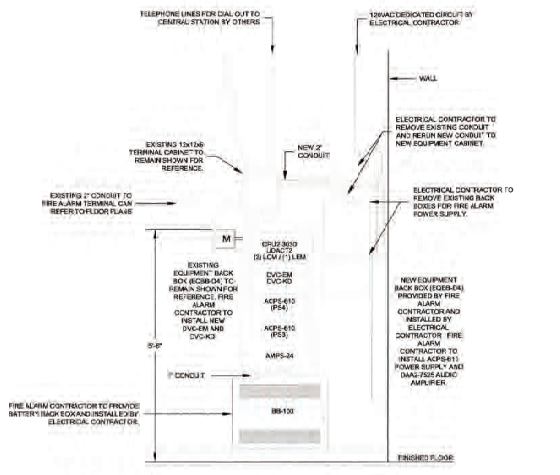
DESIGNER:	2ND PROJECT
NICET SUB FIELD:	FIRE ALARM SYSTEMS
NICET LEVEL:	III
CERTIFICATION NUMBER:	50608
CERTIFICATION DATE:	JULY 2008

Handwritten Signature
SIGNATURE DATE

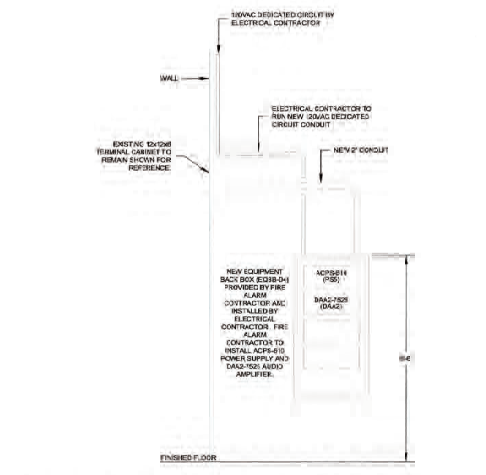
NICET STAMP LOCATION

UNM
PETE & NANCY
DOMENICI HALL
BUILDING
FIRE ALARM
UPGRADE

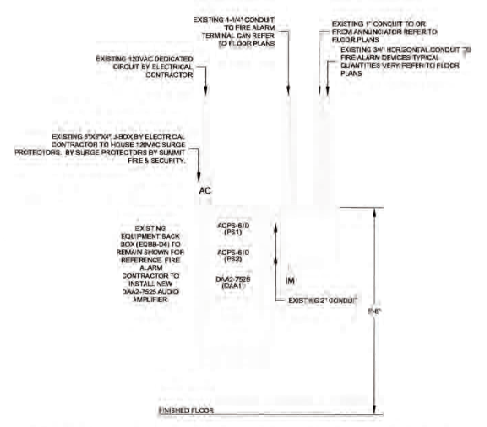
1101 YALE BLVD NE,
ALBUQUERQUE, NM 87106



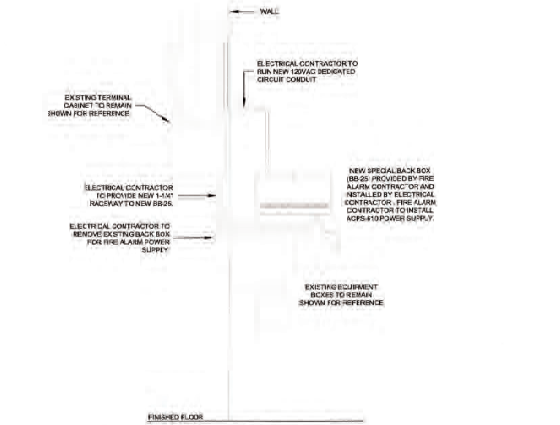
1 FIRE ALARM EQUIPMENT ELEVATION DETAIL
3/4" = 1'-0"



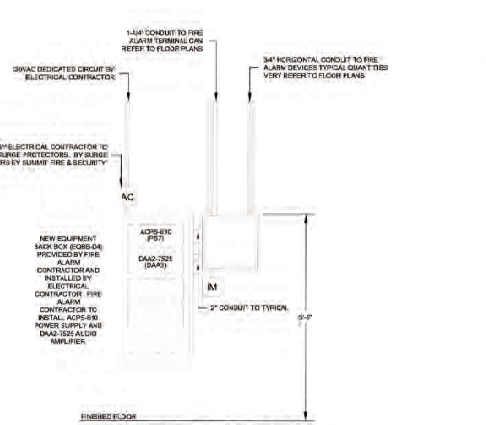
2 FIRE ALARM EQUIPMENT ELEVATION DETAIL
3/4" = 1'-0"



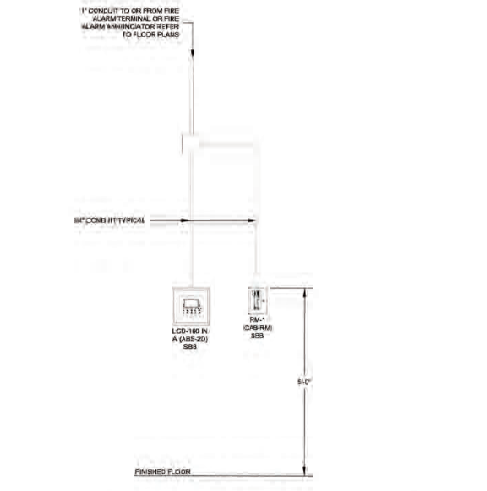
3 FIRE ALARM EQUIPMENT ELEVATION DETAIL
3/4" = 1'-0"



4 FIRE ALARM EQUIPMENT ELEVATION DETAIL
3/4" = 1'-0"



5 FIRE ALARM EQUIPMENT ELEVATION DETAIL
3/4" = 1'-0"



6 FIRE ALARM ANNUNCIATOR ELEVATION DETAIL
3/4" = 1'-0"

0 02/13/24 SHOP DRAWING SUBMITTAL
DATE: DESCRIPTION

CHECKED BY: W.F.
DRAWN BY: A.A.
FILE NAME: 00531 Pete & Nancy Domenici
SCALE: 1/8" = 1'-0"

SHEET TITLE:
FIRE ALARM EQUIPMENT ELEVATION / DETAIL

FA-7
PAGE: 8 OF 10

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
FAMILY PRACTICE CENTER – FIRE PROTECTION UPGRADE PROJECT (3RD &
4TH FLOORS) – PHASE II
UNIVERSITY OF NEW MEXICO
May 2, 2024**

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Family Practice Center – Fire Protection Upgrade Project (3rd & 4th Floors) – Phase II, on the Albuquerque North campus.**

PROJECT DESCRIPTION:

The Family Practice Center (#A0248) is a health clinic destination for all of New Mexico as well as a health research facility for The University of New Mexico. The approximately 57,186 gross square feet facility houses numerous educational and clinical rooms, research labs, and health centers, as well as faculty and staff office spaces.

The project will renovate the existing water-based fire protection systems. The fire protection systems serving the four-story building have been redesigned and reconfigured to extend fire protection services to the third and fourth floors, which currently lack any automatic fire sprinkler coverage. This project will extend the systems based on a 2009 University construction project. The new system design will be reviewed and accepted by the NM State Fire Marshal.

PROJECT RATIONALE:

The School of Medicine's Department of Family and Community Medicine primarily utilizes this building. The department provides residency and physician assistant programs, research programs, clinical practice needs, and space for administration work.

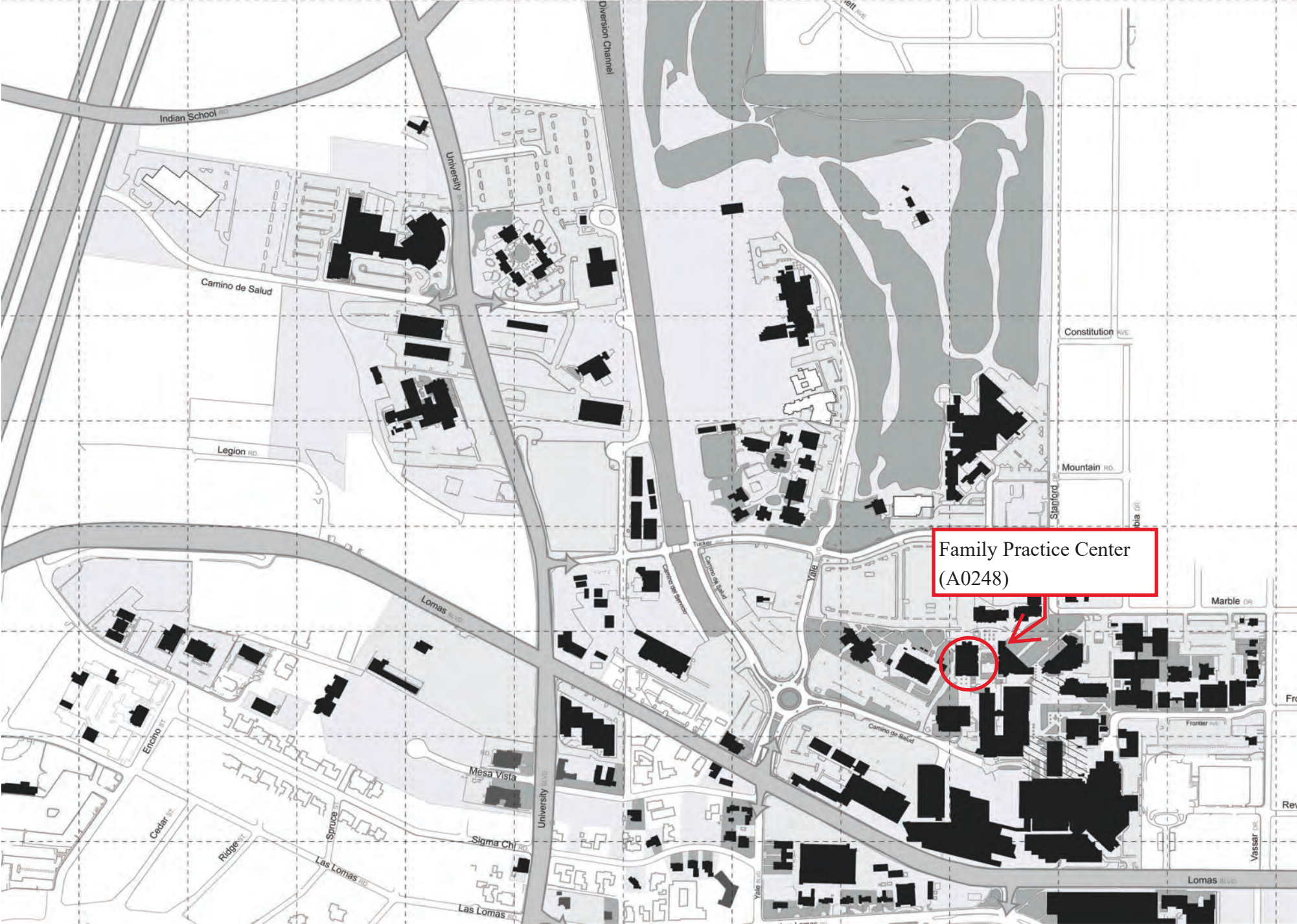
Upgrades are needed for the building fire protection systems to comply with current safety codes and University standards. Without this project, the University is inheriting an extreme risk during an emergency fire scenario. The basement, first, and second floors currently contain automatic fire sprinkler coverage. The fire protection systems must be updated to meet all applicable codes and standard requirements.

FUNDING:

The total estimated Project Budget is \$500,000.00:

- \$500,000.00 is funded from FY25 One-Time Building Renewal & Replacement (BR&R)

The University of New Mexico - Albuquerque: North Campus

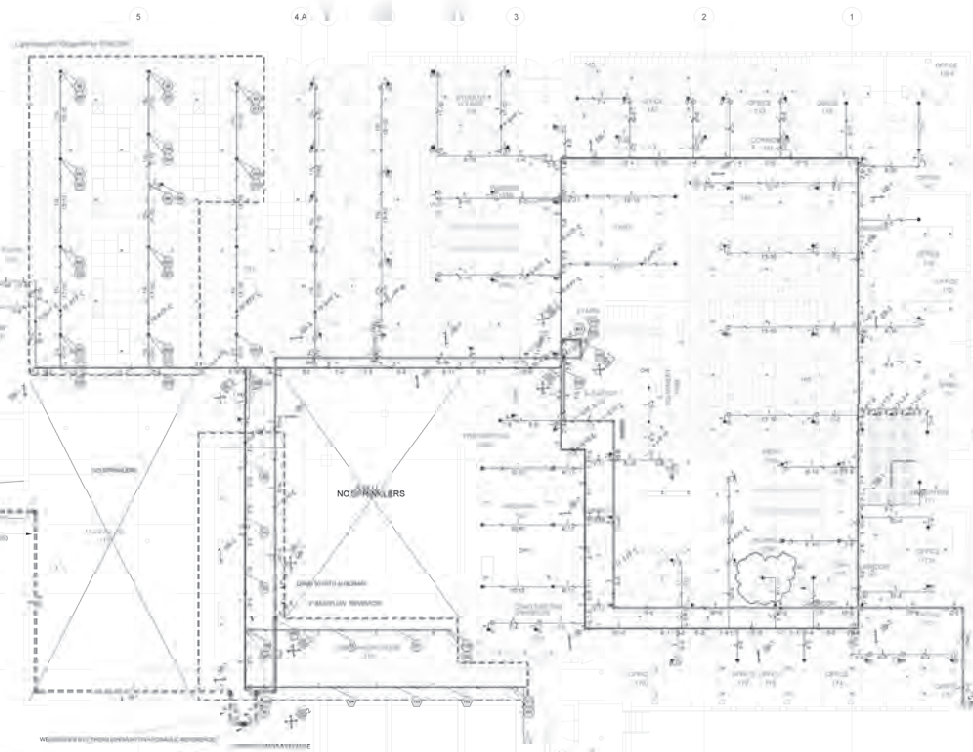


UNM Family Practice
 1st Floor - Sheet 01

PROJECT NO.	1000-01001
DATE	11/15/2011
DESIGNER	WESTERN STATES FIRE PROTECTION COMPANY
CHECKER	WESTERN STATES FIRE PROTECTION COMPANY
SCALE	AS SHOWN

GENERAL NOTES

1. All equipment shall be installed in accordance with the manufacturer's instructions.
2. All piping shall be installed in accordance with the manufacturer's instructions.
3. All piping shall be installed in accordance with the manufacturer's instructions.
4. All piping shall be installed in accordance with the manufacturer's instructions.
5. All piping shall be installed in accordance with the manufacturer's instructions.
6. All piping shall be installed in accordance with the manufacturer's instructions.
7. All piping shall be installed in accordance with the manufacturer's instructions.
8. All piping shall be installed in accordance with the manufacturer's instructions.
9. All piping shall be installed in accordance with the manufacturer's instructions.
10. All piping shall be installed in accordance with the manufacturer's instructions.



UNM Family Practice
 1st Floor - Sheet 02

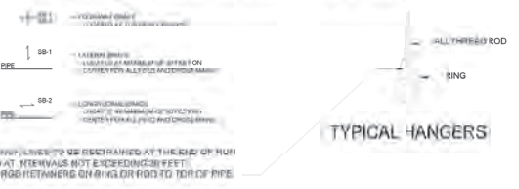
PROJECT NO.	1000-01001
DATE	11/15/2011
DESIGNER	WESTERN STATES FIRE PROTECTION COMPANY
CHECKER	WESTERN STATES FIRE PROTECTION COMPANY
SCALE	AS SHOWN



UNM FAMILY PRACTICE
 FIRST FLOOR



EARTHQUAKE BRACE LEGEND (SEE SHEET FP-1 FOR DETAILS)



Date:	11/23/2011	Approval:	UNM STATE FIRE DEPT	Drawn By:	JCS
Sheet Name:	UNM FAMILY PRACTICE UNM CAMPUS ALBUQUERQUE, NM				
Drawing Name:	FIRE SPRINKLER PLAN				
Scale:	As Shown	Contract No.:	100001	Sheet No.:	012 of 2



Western States Fire Protection Company
 1015 E 12th Street, Suite 100, Albuquerque, New Mexico 87106
 Phone: 505-884-1844 Fax: 505-884-1843
 "Division for the Protection of Lives & Property"
 OFFICE 33 THURSDAY NORTH AVENUE

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. IT IS THE POLICY OF WESTERN STATES FIRE PROTECTION COMPANY TO MAKE ALL INFORMATION CONTAINED HEREIN AVAILABLE TO THE PUBLIC. IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, PLEASE CONTACT WESTERN STATES FIRE PROTECTION COMPANY AT 505-884-1844.

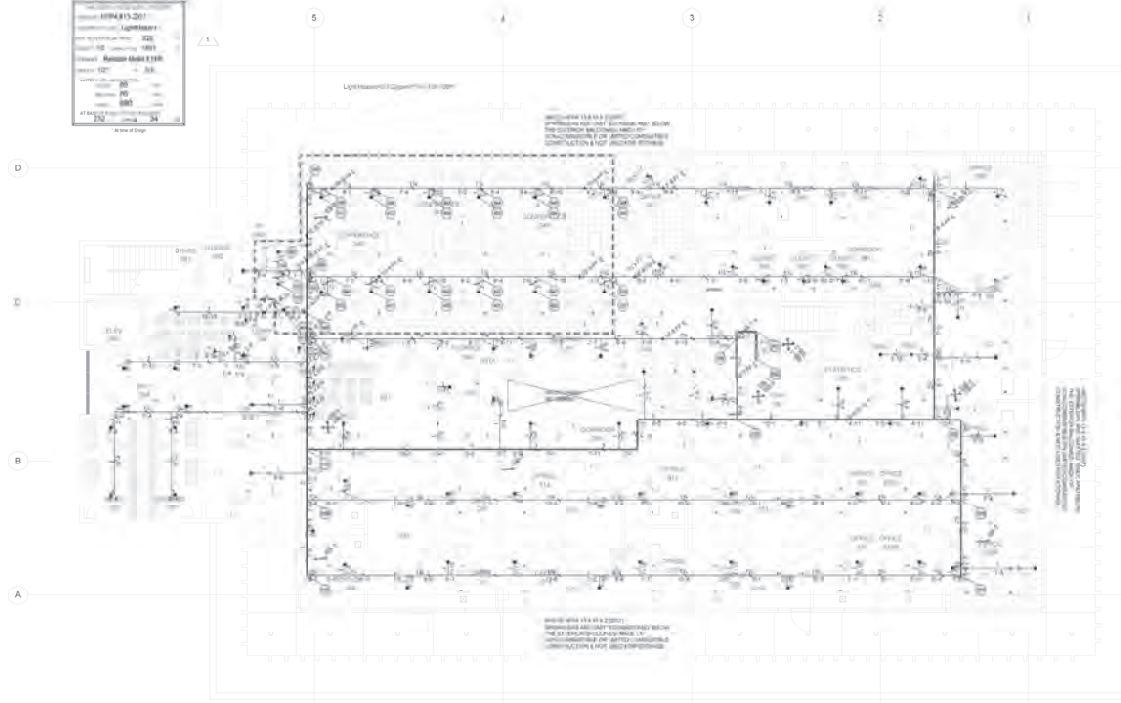


SPRINKLER LEGEND										REVISIONS									
SYMBOL	DESCRIPTION	SIZE	TYPE	LOCATION	DATE	BY	CHKD	APP'D	REVISION	SYMBOL	DESCRIPTION	DATE	BY	CHKD	APP'D	REVISION			
○	1/2" BRASS	5.89	R3002	RELIABLE PIPE OR UPRIGHT	N/A	N/A	11	1	5-11-2011	REVISED UNDERGROUND AND HYDRAULIC CALCULATIONS									
●	1/2" CHROME	5.89	R3010	RELIABLE PIPE OR PENDENT	REC	CH	10E												
○	3/4" BRASS	5.89	R3002	RELIABLE PIPE OR UPRIGHT	N/A	N/A	12												
○	1/2" BRASS	5.89	R3005	RELIABLE PIPE OR SIDEWALL	N/A	N/A	11												
○	1/2" CHROME	5.89	R3005	RELIABLE PIPE OR SIDEWALL	REC	CH	11												
TOTAL SPRINKLER FOR THIS SHEET													10E						

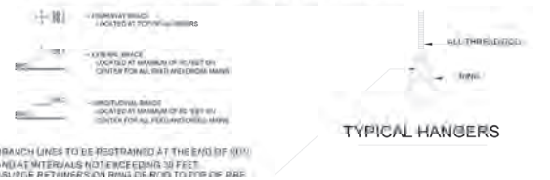
UNM Family Practice

Project No.	100443-201
Contract No.	100443-201
Sheet No.	100443-201
Scale	AS SHOWN
Date	02/20/2018
Author	W.S.F. (100443-201)
Checker	W.S.F. (100443-201)
Appr.	W.S.F. (100443-201)

- GENERAL NOTES:**
- 1- All work to conform to the provisions of the Uniform Code of Building Officials (UCBO) 1997 Edition.
 - 2- Underpinning shall be in accordance with the provisions of the UCBO.
 - 3- Earthquake bracing shall be in accordance with the provisions of the UCBO.
 - 4- Plans shall be prepared with a minimum of 1/8" scale.
 - 5- All work to be properly protected against fire.
 - 6- All work to be properly protected against fire.
 - 7- All work to be properly protected against fire.
 - 8- All work to be properly protected against fire.
 - 9- All work to be properly protected against fire.
 - 10- All work to be properly protected against fire.
 - 11- All work to be properly protected against fire.
 - 12- All work to be properly protected against fire.
 - 13- All work to be properly protected against fire.
 - 14- All work to be properly protected against fire.
 - 15- All work to be properly protected against fire.
 - 16- All work to be properly protected against fire.
 - 17- All work to be properly protected against fire.
 - 18- All work to be properly protected against fire.
 - 19- All work to be properly protected against fire.
 - 20- All work to be properly protected against fire.



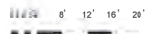
EARTHQUAKE BRACE LEGEND (SEE SHEET FE-1 FOR DETAILS)



TYPICAL HANGERS

- BRANCH LINES TO BE RESTRAINED AT THE END BY (RIP)
- AND AT INTERVALS NOT EXCEEDING 30 FEET
- UNLESS OTHERWISE SHOWN BY THIS PLAN

UNM FAMILY PRACTICE
THIRD FLOOR



ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE UNIFORM CODE OF BUILDING OFFICIALS (UCBO) 1997 EDITION. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE UNIFORM CODE OF BUILDING OFFICIALS (UCBO) 1997 EDITION. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE UNIFORM CODE OF BUILDING OFFICIALS (UCBO) 1997 EDITION.



SPRINKLER LEGEND				REVISIONS			
SYMBOL	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
○	1/2" 2009F BRASS	5.8"	R3002	RELIABLE F TYP OR UPRIGHT	N/A	N/A	1
●	1/2" 2009F CHROME	5.8"	R3015	RELIABLE F TYP OR UPRIGHT	REC	CH	2
○	3/4" 2009F BRASS	5.8"	R3002	RELIABLE F TYP OR UPRIGHT	N/A	N/A	1
○	1/2" 2009F BRASS	5.8"	R3005	RELIABLE F TYP OR SIDEWALL	N/A	N/A	1
○	1/2" 1709F CHROME	5.8"	R3005	RELIABLE F TYP OR SIDEWALL	REC	CH	1
TOTAL SPRINKLER FOR THIS SHEET							104



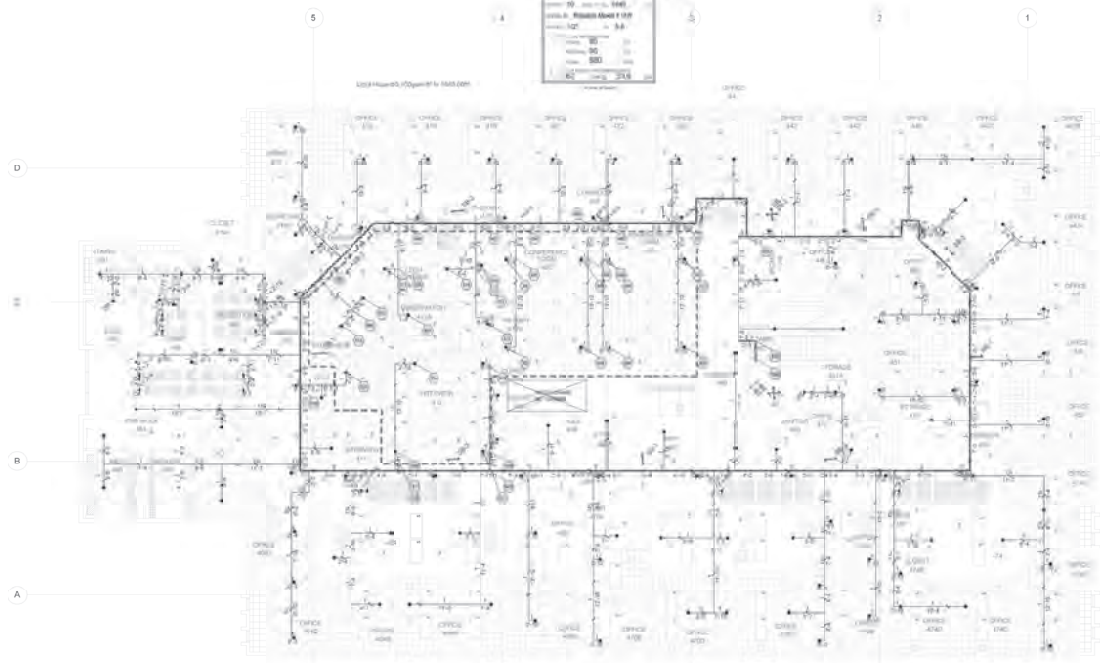
Western States Fire Protection Company
 3013 E 12th Street, Suite 100, Albuquerque, New Mexico 87106
 Phone: 505-884-1844 Fax: 505-884-1843
 "Insurers for the Protection of Life & Property"
 OFFICE THRU COURTESY NORTH AMERICA

Date:	1-23-2018	Approval:	UNM STATE FIRE DEPT	Drawn By:	W.S.F.
Job Name:	UNM FAMILY PRACTICE				
	UNM CAMPUS				
	ALBUQUERQUE, NM				
Drawing Name:	FIRE SPRINKLER PLAN				
Scale:	As Shown	Contract No.:	100443	Sheet No.:	100443-201

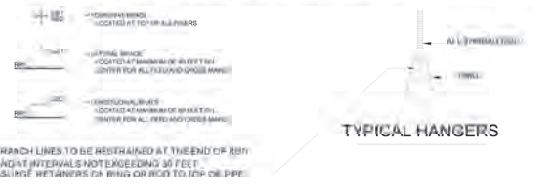
**UNM Family Practice
Fourth Floor - Commercial**

Project: 2014-0001
 Date: 08/13/2014
 Scale: 1/8" = 1'-0"
 Drawing No.: 2014-0001-01
 Revision: 01

- REVISIONS**
1. Add section 4, paragraph 4 of the permit conditions to the general conditions.
 2. Update the permit to be consistent with the permit.
 3. Update the permit to be consistent with the permit.
 4. Update the permit to be consistent with the permit.
 5. Update the permit to be consistent with the permit.
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 9. Update the permit to be consistent with the permit.
 10. Update the permit to be consistent with the permit.
 11. Update the permit to be consistent with the permit.
 12. Update the permit to be consistent with the permit.



EARTHQUAKE BRACE LEGEND (SEE SHEET FF-1 FOR DETAILS)



**UNM FAMILY PRACTICE
FOURTH FLOOR**

Scale: 1/8" = 1'-0"

GRAPHIC SCALE: 0' 12' 16' 20'

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.



SPRINKLER LEGEND				REVISIONS			
SYMBOL	DESCRIPTION	QUANTITY	REMARKS	NO.	DATE	BY	DESCRIPTION
○	1/2" BRASS	1	RELIABLE TYPE OF UPRIGHT				
●	1/2" CHROME	1	RELIABLE TYPE OF PENDENT				
◐	3/4" BRASS	1	RELIABLE TYPE OF UPRIGHT				
◑	1/2" BRASS	1	RELIABLE TYPE OF SIDEWALL				
◒	1/2" CHROME	1	RELIABLE TYPE OF SIDEWALL				
TOTAL SPRINKLER FOR THIS SHEET							



**Western States Fire
Protection Company**

3015 E. 12th Street, Suite 100, Albuquerque, New Mexico 87106
 Phone: 505-884-1844 Fax: 505-884-1843

"Division for the Protection of Life & Property"

OFFICE: 3100 CANYON NORTH AVENUE, J

Date: 1-23-2014	Approval: [Signature]	UNM STATE FIRE DEPT	Drawn By: JCS
JOB NAME: UNM FAMILY PRACTICE			
UNM CAMPUS			
ALBUQUERQUE, NM			
Drawing Name: FIRE SPRINKLER PLAN			
Scale: As Shown	Contract No: 00001	Sheet No: 001	Page 2 of 2

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
BIOMEDICAL RESEARCH FACILITY LABS 131-140 AIRFLOW SAFETY
MODIFICATIONS**

UNIVERSITY OF NEW MEXICO

May 02, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested **for Biomedical Research Facility Labs 131-140 Airflow Safety Modifications on the Albuquerque North Campus.**

PROJECT DESCRIPTION:

The Biomedical Research Facility (Building # 253) is 108,887 gross square feet and is composed primarily of research laboratories and administrative office spaces. Labs 131-140 (with anterooms) represent approximately 1/6 of the laboratories on the three upper floors of the BRF. Sealing BSL-2 laboratories 131-140 and installing laboratory airflow controls will provide a safe Indoor Air Quality (IAQ) environment for lab researchers.

PROJECT RATIONALE:

The Biomedical Research Facility was constructed in 1982 and comprises five levels: a basement, a ground level, and three upper floors containing primarily Bio-Safety Level 2 (BSL-2) laboratories for biomedical research. It was recently discovered that the laboratory levels have an open airflow path between the laboratories and other spaces on the same floor level (laboratories, corridors, offices, etc.). To isolate the laboratory processes and provide secondary containment, the perimeter walls of each lab must be continued above the ceiling up to the floor or roof above, and all penetrations through the walls must be sealed.

Once each laboratory has been properly sealed, standard laboratory airflow controls can be installed, including airflow valves and controls for primary containments (fume hoods, biosafety cabinets, etc.), room supply air, and room general exhaust. The combination of sealing each lab and installing airflow controls will provide a safe indoor air quality environment for the research performed in those labs. Additionally, isolating the laboratories will allow the building makeup air and exhaust systems to operate at a lower energy level, without struggling to maintain differential pressures between unsealed spaces.

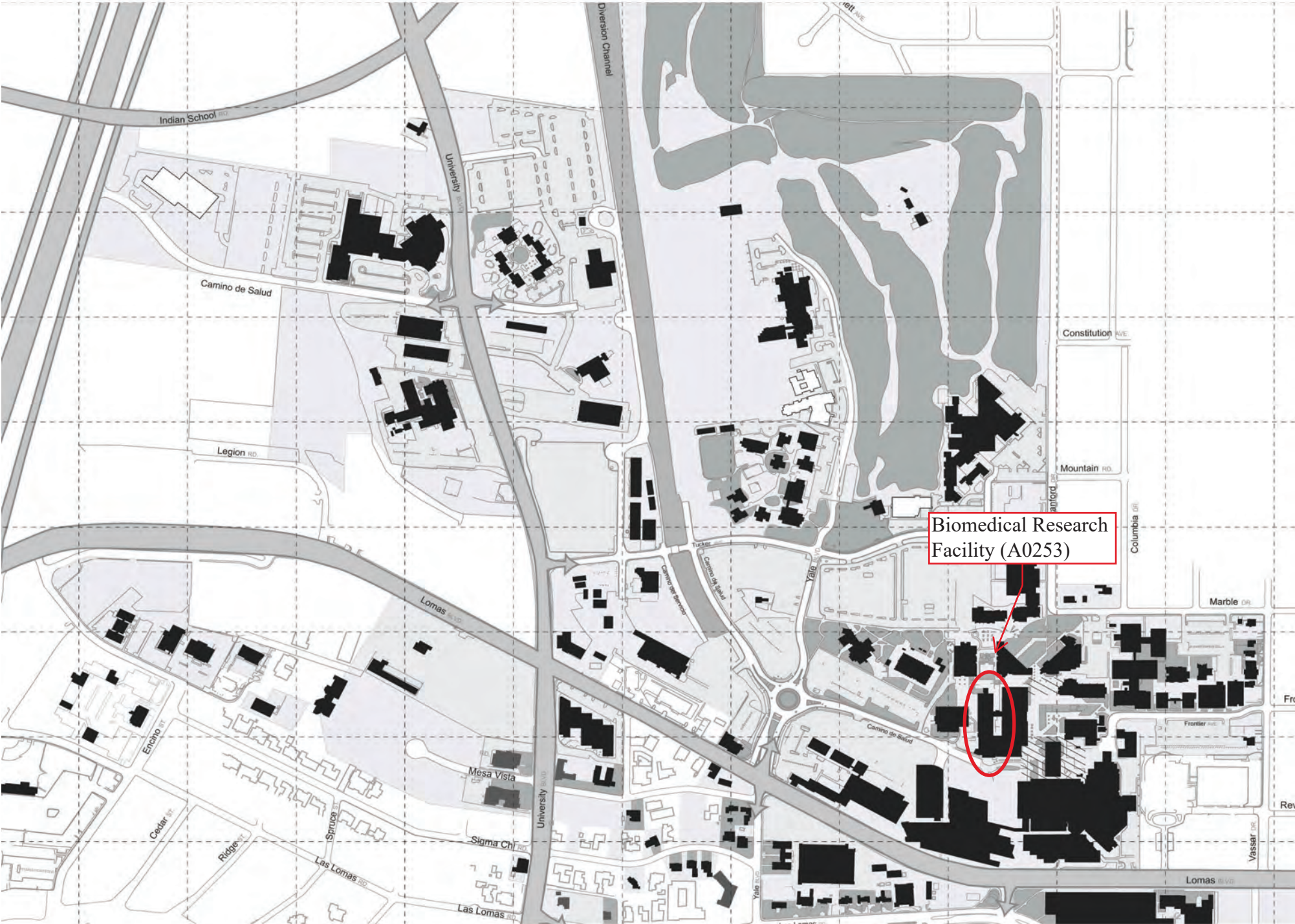
If this project is not approved, the 131-140 laboratories will remain in their present state with the potential of exposure building occupants to biological materials that would otherwise be contained within the laboratory and exhausted from the building

FUNDING:

The total estimated Project Budget is \$500,000:

\$500,000 is funded from FY25 One-Time Building Renewal & Replacement

The University of New Mexico - Albuquerque: North Campus



Biomedical Research Facility (A0253)



BIOMEDICAL RESEARCH FACILITY

UNIVERSITY OF NEW MEXICO SCHOOL OF MEDICINE
 915 Camino De Salud NE | Building 253 - #A0253 | Albuquerque, NM 87131-3500

FIRST FLOOR - BSL-2 LAB & INTERLAB HVAC EXHAUST & SUPPLY AIR SYSTEMS LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140



FACILITIES MANAGEMENT ENGINEERING & ENERGY SERVICES
 Albuquerque, NM 87131-3500 | Phone: (505) 277-1126 Fax: (505) 277-3561

PROJECT SITE
 LOCATION
 BUILDING 253



BSL-2 LAB AND INTERLAB 131, 132, 136, 138 & 140

SCALE: 1/8" = 1'-0"



100% ISSUE FOR CONSTRUCTION | MARCH 5, 2024 INDEX OF DRAWINGS

LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

GENERAL

SEQUENCE	SHEET NUMBER	LEVEL	SHEET TITLE
01	G-001		COVER SHEET

ARCHITECTURAL

SEQUENCE	SHEET NUMBER	LEVEL	SHEET TITLE
02	A-101	1ST FLOOR	1ST FLOOR PARTIAL ARCHITECTURAL PLAN
03	A-201	1ST FLOOR	CEILING PLENUM - WALL PENETRATION PLAN
04	A-301	1ST FLOOR	INTERIOR PARTITION TYPE, FINISH SCHEDULE AND MISCELLANEOUS PHOTOS

MECHANICAL

SEQUENCE	SHEET NUMBER	LEVEL	SHEET TITLE
05	MD-101	1ST FLOOR	MECHANICAL DEMOLITION PLAN
06	M-101	1ST FLOOR	MECHANICAL NEW WORK PLAN LAB AIR FLOW - VALVE SCHEDULE
07	M-102	1ST FLOOR	MECHANICAL DELTA 'P'
08	M-501	-	TYPICAL PENETRATION DETAILS
09	MI-601	-	B.A.S. BASED LABORATORY AIRFLOW SAFETY STANDARD CONTROLS DIAGRAM, LABORATORY HOOD EXHAUST - LAB ROOMS 121 AND 125
10	MI-602	-	SEQUENCE OF OPERATION AND CONTROLS EQUIPMENT SCHEDULE

B.A.S.-BASED LAB RECIRCULATION
HOOD AIRFLOW CONTROLS DIAGRAM





O/E ENGINEERING | 1409 ORTIZ DRIVE SE | ALBUQUERQUE, NM 87108 | (505) 338-7092



G-001

Symbol Legend

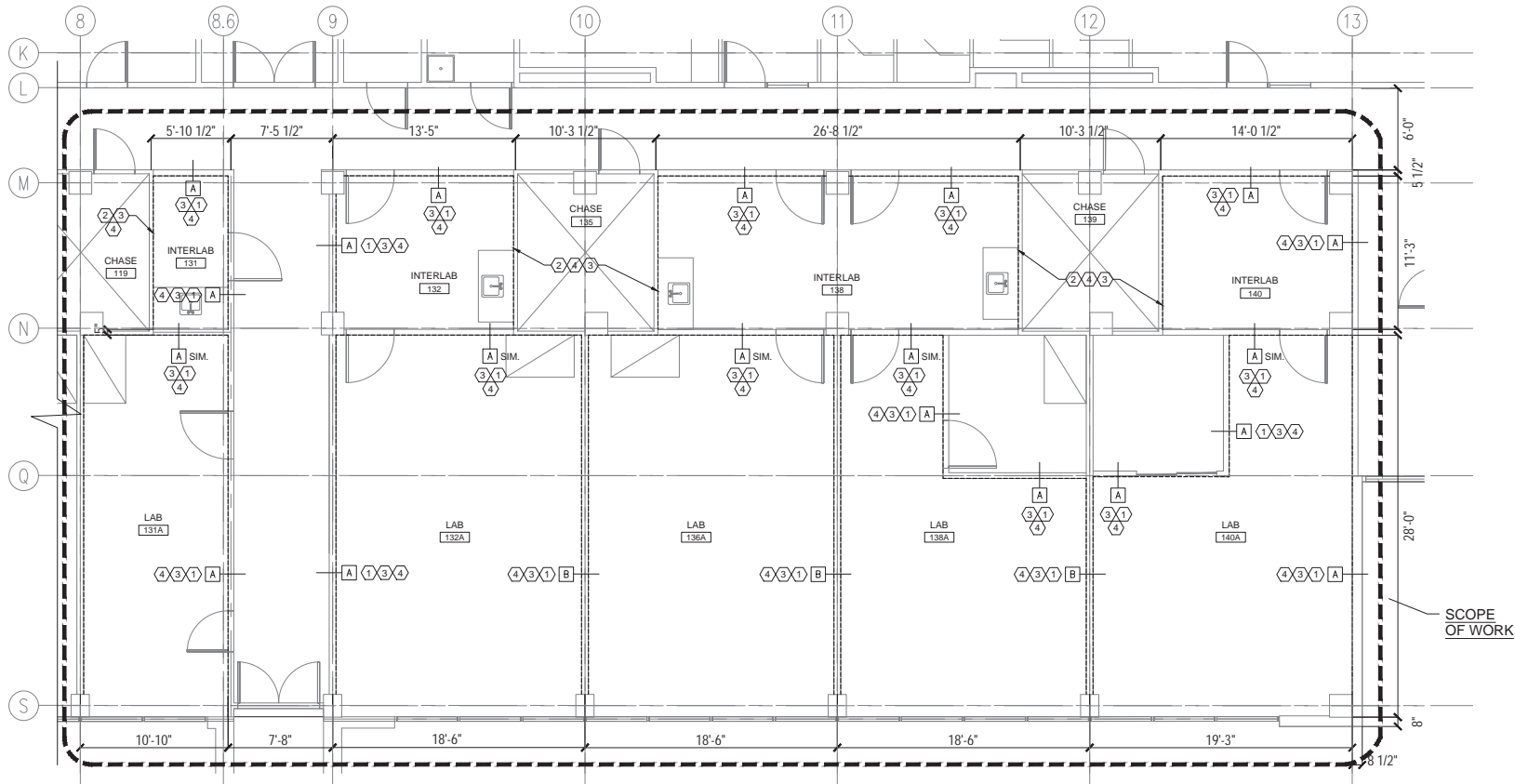
-  WALL TYPE
-  POINT OF CONNECTION

Keyed Notes

1. EXTEND INTERIOR PARTITION WALL TO BOTTOM OF STRUCTURAL DECK.
2. FIELD VERIFY MECHANICAL CHASE WALL EXTENDS TO BOTTOM OF STRUCTURAL DECK ALL AROUND. REFER TO INTERIOR PARTITION ASSEMBLY, TYPE B.
3. COORDINATE AND REFER TO SHEET A-201, CEILING PLENUM AND PENETRATION PLAN FOR ADDITIONAL INFORMATION. SEE SHEET A-301 INTERIOR PARTITION ASSEMBLY, TYPE A & B FOR NEW WALL EXTENSION DETAIL.
4. SEAL BOTH SIDES OF ALL WALL PENETRATIONS WITH FIRE CAULK , TYPICAL. (SHEET ROCK SHALL BE CONTINUOUS AROUND EACH SPACE).

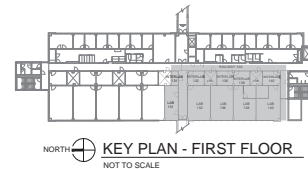
General Notes

- A. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER OF RECORD SHALL BE NOTIFIED.
- B. PROTECT FROM DAMAGING EXISTING ELECTRICAL, MECHANICAL EQUIPMENT, ETC., WHICH WILL REMAIN AS PART OF THE FINAL SYSTEMS. IF DAMAGED, THE CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS TO PRE-CONSTRUCTION CONDITIONS.
- C. THE CONTRACTOR SHALL PATCH ALL WALLS IN AREAS WHERE MISCELLANEOUS FIXTURES, CONDUIT, AND DEVICES HAVE BEEN REMOVED.
- D. PATCH/REPAIR/TEXTURE ALL WALLS FOR CONSISTENT FINISH FREE OF DEFECTS & UNEVEN SURFACES.
- E. CONTRACTOR SHALL CONFIRM ADEQUATE BLOCKING SUPPORT FOR ALL WALL-HUNG ITEMS. FOR WALL-HUNG ITEMS IN CONCRETE WALLS, CONTRACTOR SHALL CONFIRM REQUIRED ANCHORING WITH EQUIPMENT MANUFACTURER.
- F. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 EDITION OF THE IBC, INTERNATIONAL BUILDING CODE AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- G. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED BY LOCAL AUTHORITIES.
- H. ALL TESTING AND INSPECTIONS SHALL BE COORDINATED AND SCHEDULED BY THE CONTRACTOR TO FIT WITHIN THE WORKFLOW OF THE PROJECT.
- I. CONTRACTOR SHALL COORDINATE SCHEDULE DATE, SITE ACCESS WITH THE USER PRIOR TO COMMENCING WORK.
- J. ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN ON THE DEMOLITION DRAWINGS. THERE MAY BE SPECIFIC AND SMALL ITEMS OF DEMOLITION AND REPAIR THAT WILL BE NECESSARY THROUGHOUT THE COURSE OF THE WORK WHICH IS APPARENT BY A COMPLETE AND THOROUGH REVIEW OF EXISTING CONDITIONS AND ALL OF THE CONSTRUCTION DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION OPERATIONS REQUIRED FOR THE PROJECT.
- K. EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE NEW DEVICES AND CONDUIT ROUTES, SUCH MODIFICATIONS WILL BE REPAIRED AND FINISHED TO MATCH ADJACENT.
- L. ALL SYMBOLS AND ABBREVIATIONS USED ON DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ENGINEER OF RECORD SHALL BE NOTIFIED FOR CLARIFICATION.
- M. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CEILING SPACES IN THE PROJECT AREA TO REMOVE ALL DUST DEPOSITS AND DEBRIS.



1ST FLOOR PARTIAL ARCHITECTURAL PLAN - BSL-2 LAB AND INTERLAB 131, 132, 136, 138 & 140

SCALE: 1/4" = 1'-0"



KEY PLAN - FIRST FLOOR
NOT TO SCALE

BIOMEDICAL RESEARCH FACILITY

UNIVERSITY OF NEW MEXICO, SCHOOL OF ARCHITECTURE
915 Camino De Salud NE | Building 253 - #A0253 | Albuquerque, NM 87131-3500



FACILITIES MANAGEMENT ENGINEERING & ENERGY SERVICES

FIRST FLOOR - BSL-2 LAB & INTERLAB
1ST FLOOR PARTIAL - ARCHITECTURAL PLAN

HVAC EXHAUST & SUPPLY AIR SYSTEMS
LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

DESIGNED	RAQ
DRAWN	NM
REVISED	03-06-2024
REVISION #	-
DATE	12-07-2023



FILE: B #253_21-035

A-101

2 of 10 SHEETS

Symbol Legend

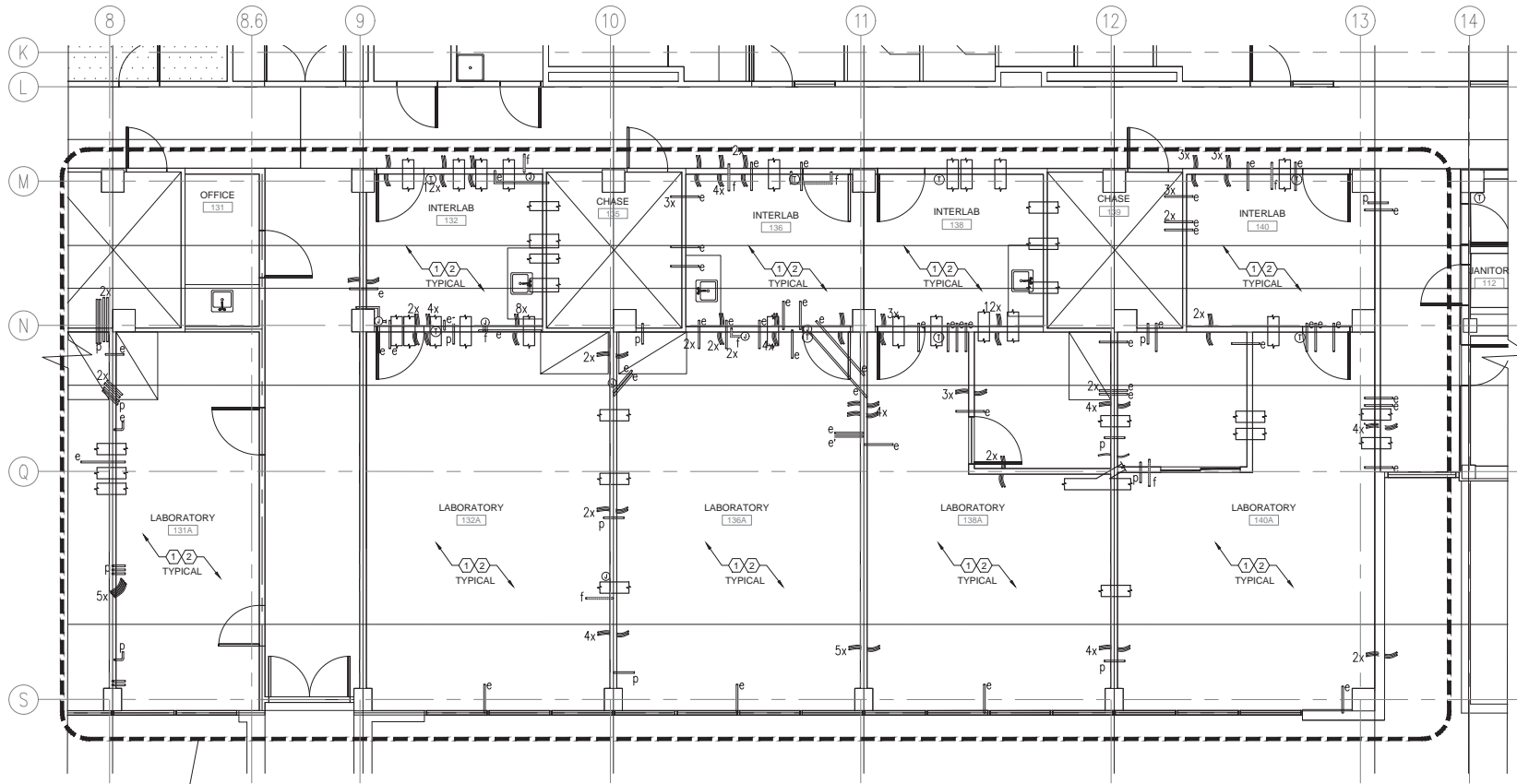
	CONDUIT
	LOOSE WIRE(S)
	DUCT
	CAST IRON / PIPE
	FLEX CONDUIT
	JUNCTION BOX

General Notes

- PLANS ARE GRAPHIC REPRESENTATIONS. CONTACT BUILDING MANAGEMENT WITH ANY QUESTIONS REGARDING INTENT. ALL AREAS TO BE REMODELED REQUIRE FIELD VERIFICATION PRIOR TO PROJECT START.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS AND TIE-INS WITH THE OWNER.
- LABORATORY SHALL BE ADEQUATELY SEALED TO MAINTAIN DIFFERENTIAL PRESSURE BETWEEN LABORATORY AND SURROUNDING SPACES.

Keyed Notes

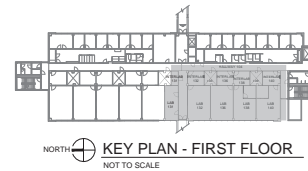
- REFER TO SYMBOL LEGEND FOR GENERAL DESCRIPTION OF PENETRATION TYPE. DUCT SIZES ARE NOT SHOWN ON PLAN. REFER TO SHEET A-301 WHERE MISCELLANEOUS PHOTOS ARE PROVIDED.
- WALL PENETRATIONS SHOWN ON PLAN ARE CLOSE REPRESENTATION OF TYPE AND NUMBER OF DUCTS, CONDUITS, WIRES AND LOOSE COMM LINES THAT ROUTE BETWEEN ANTE-ROOM / INTERLAB, LABORATORY AND HALLWAY 104.



SCOPE OF WORK

CEILING PLENUM - WALL PENETRATION PLAN - BSL-2 LABS AND INTERLABS 132 THRU 140

SCALE: 1/4" = 1'-0"



KEY PLAN - FIRST FLOOR
NOT TO SCALE

BIOMEDICAL RESEARCH FACILITY

UNIVERSITY OF NEW MEXICO, SCHOOL OF ARCHITECTURE & PLANNING
915 Camino De Salud NE | Building 253 - RA0253 | Albuquerque, NM 87131-3500



FACILITIES MANAGEMENT ENGINEERING & ENERGY SERVICES

FIRST FLOOR - BSL-2 LAB & INTERLAB
CEILING PLENUM - WALL PENETRATION PLAN

HVAC EXHAUST & SUPPLY AIR SYSTEMS
LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

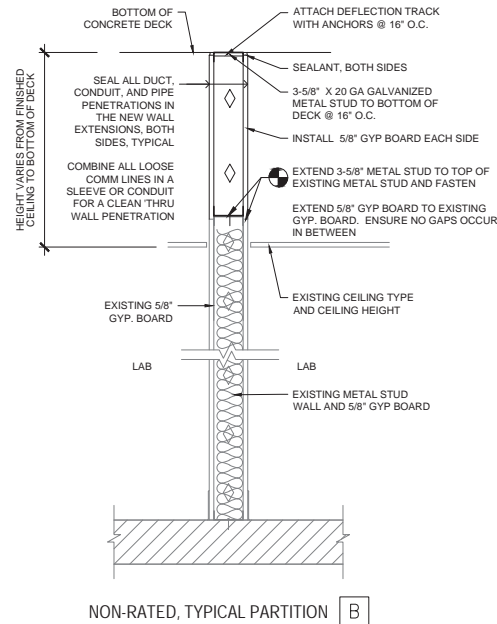
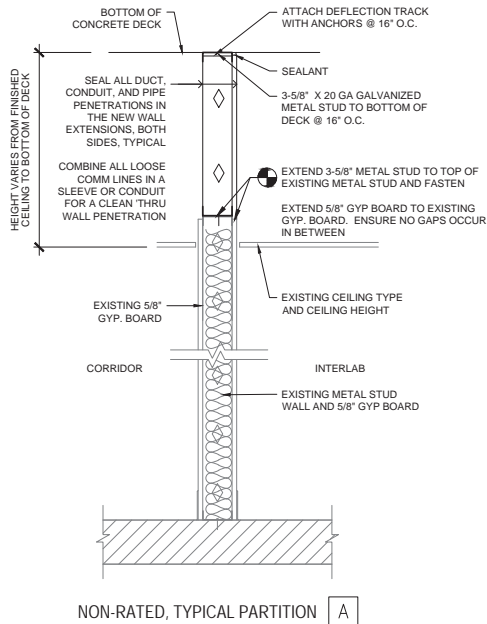
DESIGNED	RAQ
DRAWN	NM
REVISED	03-06-2024
REVISION #	-
DATE	12-07-2023



FILE: B #253_21-035

A-201

3 of 10 SHEETS



MATERIAL & FINISH SCHEDULE			
ROOM	WALL TYPE	CEILING	REMARK
INTERLAB 131	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
LAB 131	B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
INTERLAB 132	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
LAB 132	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
INTERLAB 136	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
LAB 136	B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
INTERLAB 138	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
LAB 138	B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
INTERLAB 140	A, B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS
LAB 140	B	MATCH EXISTING	GENERAL WALL PAINT; SEMI-GLOSS

- A = NON-RATED WALL B = NON-RATED WALL
- PAINT MANUFACTURER: DUNN EDWARDS
- PAINT COLOR TO MATCH EXISTING
- BLEND AND MATCH EXISTING WALL / TEXTURE FINISH



1 WALL BETWEEN INTERLAB 132 AND HALLWAY 109
NOT TO SCALE



2 WALL BETWEEN INTERLAB 136 AND LAB 136
NOT TO SCALE



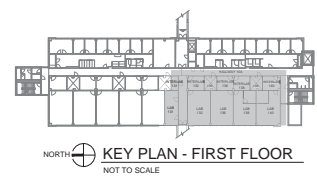
3 WALL BETWEEN LAB 140 AND INTERLAB 140
NOT TO SCALE



4 WALL BETWEEN LAB 132 AND LAB 136
NOT TO SCALE



5 WALL BETWEEN LAB 120 AND LAB 130
NOT TO SCALE



DESIGNED	RAQ
DRAWN	NM
REVISED	03-06-2024
REVISION #	-
DATE	12-07-2023

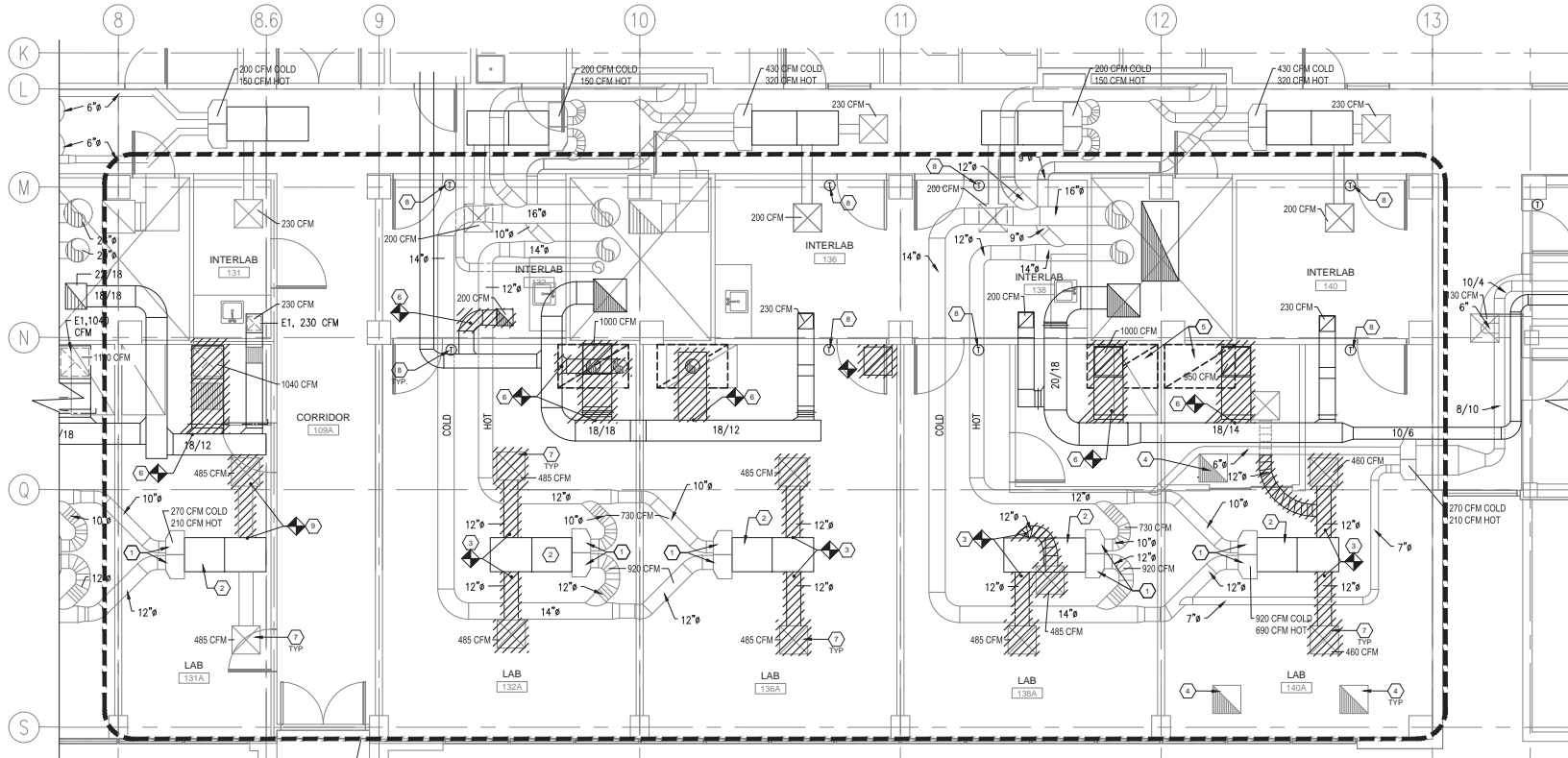


Keyed Notes

- EXISTING CONSTANT VOLUME, DOUBLE DUCT TERMINAL UNIT TO REMAIN.
- VERIFY EXISTING MIXING BOX CONDITION DURING DEMOLITION. MAINTAIN FOR REUSE WITH NEW SYSTEM IF CONDITION IS SATISFACTORY.
- DEMO EXISTING SUPPLY DUCT TO THE LIMITS SHOWN. MAINTAIN REMAINING DUCT FOR REUSE WITH NEW VALVES. REFER TO SHEET M-101, MECHANICAL NEW WORK PLAN.
- EXISTING RETURN AIR GRILLE WITH FILTER TO BE REMOVED. REFER TO NEW WORK FOR CONTINUATION.
- EXISTING LAB RECIRCULATING FUME HOODS TO REMAIN.
- DEMO EXISTING EXHAUST DUCT TO LIMITS SHOWN AND INCLUDE SOUND TRAP IF APPLICABLE. REFER TO SHEET M-101 MECHANICAL NEW WORK PLAN FOR CONTINUATION.
- MAINTAIN DIFFUSERS / GRILLES FOR RE-USE, TYPICAL.
- EXISTING T-STATS TO BE REMOVED / REPLACED WITH NEW COMPATIBLE T-STATS (PROGRAMMABLE).
- CAP AND SEAL DUCT AIRTIGHT.

General Notes

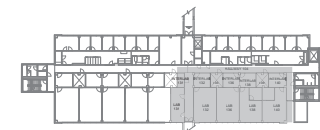
- PLANS ARE GRAPHIC REPRESENTATIONS. CONTACT BUILDING MANAGEMENT WITH ANY QUESTIONS REGARDING INTENT. ALL AREAS TO BE REMODELED REQUIRE FIELD VERIFICATION PRIOR TO PROJECT START.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS AND TIE-INS WITH THE OWNER.



SCOPE OF WORK

FIRST FLOOR MECHANICAL PLAN - DEMOLITION | BSL-2 LAB AND INTERLAB 131, 132, 136, 138 & 140

SCALE: 1/8" = 1'-0"



KEY PLAN - FIRST FLOOR
NOT TO SCALE

BIOMEDICAL RESEARCH FACILITY
UNIVERSITY OF NEW MEXICO SCHOOL OF MEDICINE
915 Camino De Salud NE | Building 253 - #A023 | Albuquerque, NM 87131-3500



FACILITIES MANAGEMENT ENGINEERING & ENERGY SERVICES

**FIRST FLOOR - BSL-2 LAB & INTERLAB
MECHANICAL PLAN - DEMOLITION**
HVAC EXHAUST & SUPPLY AIR SYSTEMS
LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

NO.	REVISION	DATE	BY	CHKD.
DESIGNED	RAQ			
DRAWN	NM			
REVISED	03-06-2024			
REVISION #	-			
DATE	12-07-2023			



FILE: B #253_21-035

MD-101

UNM BIOLOGICAL RESEARCH FACILITY - LAB AIR FLOWS (EXHAUST IS USED FOR AC/Hr)

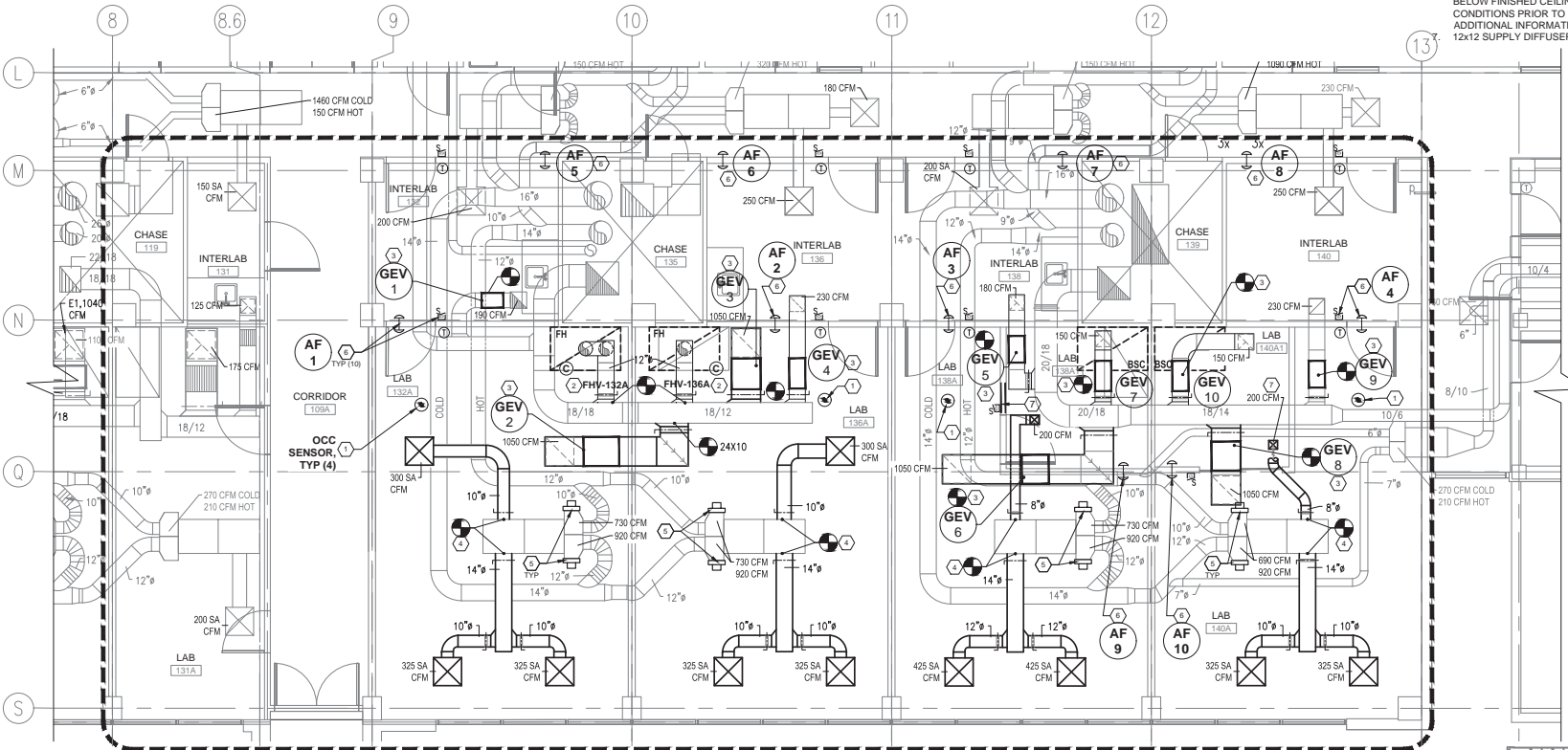
Lab/Space Name	Device Tag	Cold Deck Supply (CFM)	Hot Deck Supply (CFM)	C/H Total Supply (Max CFM)	C/H Total Supply (Min CFM)	Return (CFM)	Exhaust (Max CFM)	Exhaust (Min CFM)	Delta (CFM)	% Change	Lab Area (ft ²)	Lab Vol (ft ³)	Max Air Changes/Hr	Min Air Changes/Hr	
1	Corridor 109	1460	1090	410	410	0	0	0	410	100					
2	Lab 131	970	730	200	175	0	175	150	25	13	100	900	11.67	10.00	
3	Inter-Lab 131	430	320	150	125	0	125	95	25	17	100	900	8.33	6.33	
4	Inter-Lab 132	GEV-1	430	320	200	175	0	190	155	10	156	1404	8.12	6.62	
5	Lab 132	GEV-2	920	730	950	450	0	1050	500	-100	-10	518	4662	13.51	6.44
6	Lab 132A	FHV-132A						1250	300						
7	Lab 136	GEV-3	920	730	950	450	0	1050	500	-100	-10	518	4662	13.51	6.44
8	Lab 136A	FHV-136A						1250	300						
9	Inter-Lab 136	GEV-4	430	320	250	225	0	230	155	20	8	156	1404	9.83	6.62
10	Inter-Lab 138	GEV-5	430	320	200	175	0	180	160	20	10	156	1404	7.69	6.84
11	Lab 138	GEV-6	920	730	850	450	0	1050	500	-200	-19	518	4662	13.51	6.44
12	Lab 138A1	GEV-7	200	200	200	200	0	150	100	50	25	101	909	9.90	6.60
13	Lab 140	GEV-8	920	690	850	475	0	1050	525	-200	-19	541	4869	12.94	6.47
	Lab 140A1	GEV-10	200	200	200	200	0	150	100	50	25	94	846	10.64	7.09
	Inter-Lab 140	GEV-9	430	320	250	200	0	230	155	20	8	165	1485	9.29	6.26

General Notes

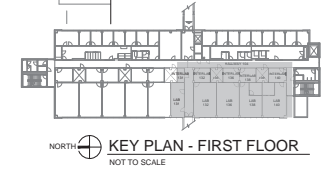
- A. PLANS ARE GRAPHIC REPRESENTATIONS. CONTACT FACILITIES WITH QUESTIONS REGARDING SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE TO PERFORM FIELD VERIFICATION TO ALL AREAS PRIOR TO PROJECT START.
- B. CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS AND TIE-INS WITH THE OWNER.

Keyed Notes (X)

1. OCCUPANCY SENSOR (ECCO FLEX OR LEUTRON) WITH ASSOCIATED RELAY TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
2. INSTALL AND CONNECT NEW FHV (FUME HOOD VALVE) GENERAL EXHAUST VALVE (GEV). ADJUST AIR VELOCITY AS INDICATED ON SCHEDULE, THIS SHEET. PROVIDE ACCESSORIES CONTROL VALVE ACTUATOR AND AIRFLOW TRANSMITTER. REFER TO CONTROL EQUIPMENT SCHEDULE AND CONTROLS DIAGRAM, SHEET MI-602.
3. INSTALL AND CONNECT NEW GEV. GENERAL EXHAUST VALVE TO MODULATE ROOM PRESSURIZATION AS INDICATED ON SCHEDULE, THIS SHEET. PROVIDE ACCESSORIES CONTROL VALVE ACTUATOR AND AIRFLOW TRANSMITTER. REFER TO CONTROL EQUIPMENT SCHEDULE AND CONTROLS DIAGRAM, SHEET MI-602.
4. CONNECT NEW SUPPLY AIR DUCT TO EXISTING MIXING BOX. PROVIDE TRANSITIONS AS REQUIRED FOR A SEALTIGHT CONNECTION.
5. NEW DDC, FULLY MODULATING ACTUATOR HOT DECK AND COLD DECK AIRFLOW SENSORS.
6. PROVIDE AIRFLOW SENSOR, SETRA DIFFERENTIAL PRESSURE SENSOR DISPLAY AND WALL KIT. INSTALL APPROXIMATELY 6'-10" BELOW FINISHED CEILING. FIELD COORDINATE EXISTING CONDITIONS PRIOR TO INSTALL. REFER TO SHEET A-101 FOR ADDITIONAL INFORMATION.
7. 12x12 SUPPLY DIFFUSER WITH 2-WAY THROW.



FIRST FLOOR MECHANICAL PLAN - NEW WORK | BSL-2 LAB AND INTERLAB 131, 132, 136, 138 & 140
SCALE: 1/8" = 1'-0"



KEY PLAN - FIRST FLOOR
NOT TO SCALE

BIOMEDICAL RESEARCH FACILITY
UNIVERSITY OF NEW MEXICO SCHOOL OF MEDICINE
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UNM NEW MEXICO
FACILITIES MANAGEMENT ENGINEERING & ENERGY SERVICES

FIRST FLOOR - BSL-2 LAB & INTERLAB MECHANICAL NEW WORK PLAN
HVAC EXHAUST & SUPPLY AIR SYSTEMS
LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

DESIGNED	RAQ
DRAWN	NM
REVISED	03-06-2024
REVISION #	-
DATE	12-07-2023



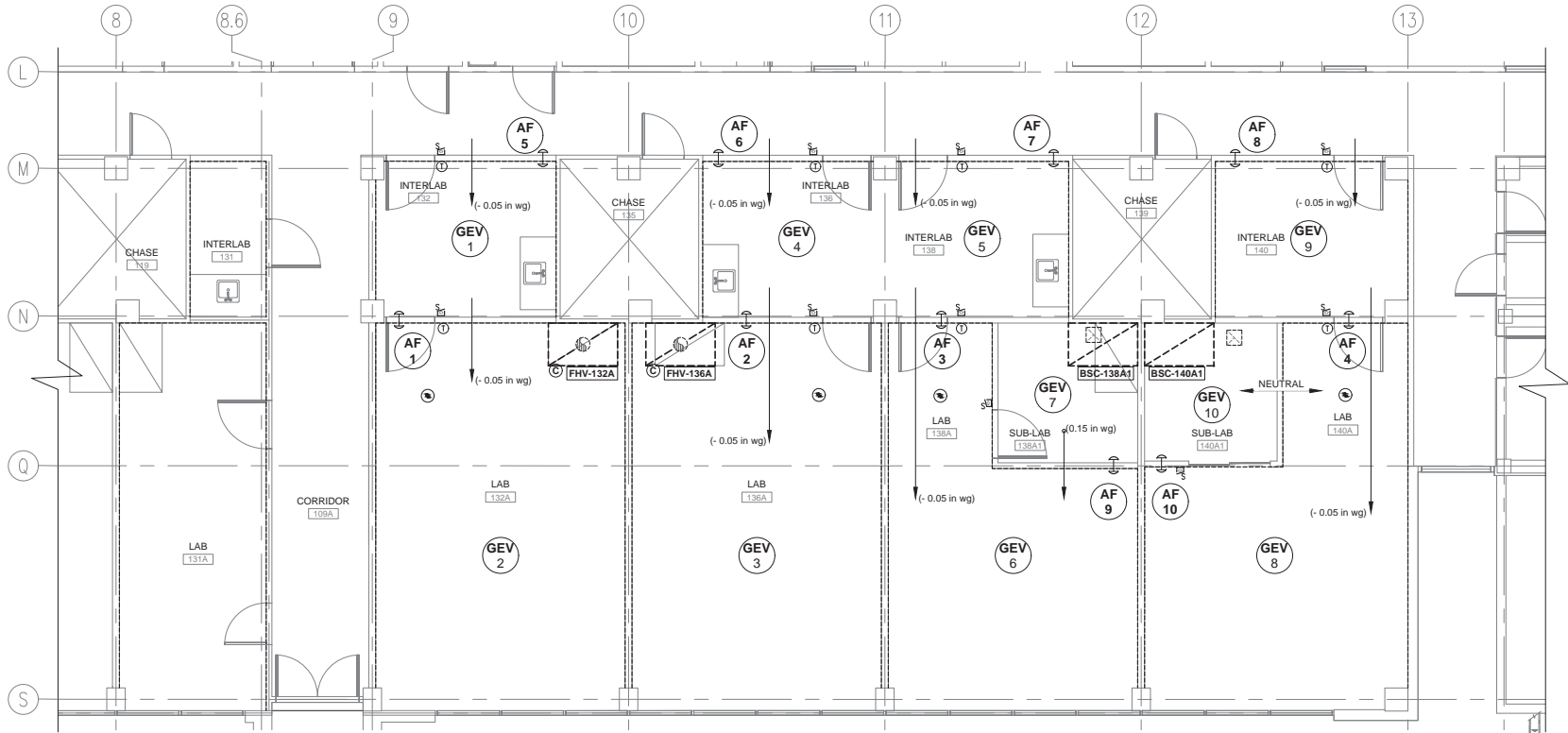
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M-101
6 of 10 SHEETS

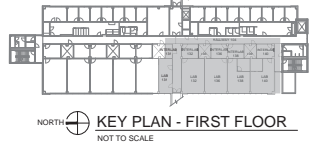
UNM BRF- LABORATORY AIR FLOWS (DELTA 'P')						
Lab/Space Name	CH Total Supply (Max CFM)	CH Total Supply (Min CFM)	Exhaust (Max CFM)	Exhaust (Min CFM)	Delta 'P' (CFM)	% Change
Corridor 109	410	410	0	0	410	100
Lab 131	200	175	175	150	25	13
Inter-Lab 131	150	125	125	95	25	17
Inter-Lab 132	200	175	190	155	10	5
Lab 132	950	450	1050	500	-100	-10
Lab 132A			1250	300		
Lab 136	950	450	1050	500	-100	-10
Lab 136A			1250	300		
Inter-Lab 136	250	225	230	155	20	8
Inter-Lab 138	200	175	180	160	20	10
Lab 138	850	450	1050	500	-200	-19
Lab 138A1	200	200	150	100	50	25
Lab 140	850	475	1050	525	-200	-19
Lab 140A1	200	200	150	100	50	25
Inter-Lab 140	250	200	230	155	20	8

Symbol Legend

- EBTRON BLEED AIRFLOW SENSOR @ 6'-10" A.F.F.
- THERMOSTAT
- TYPE-B FUME HOOD
- BSC, BIOLOGICAL SAFETY CABINET
- OCCUPANCY SENSOR
- SETRA DIFFERENTIAL PRESSURE SENSOR DISPLAY, INSTALL AT APPROXIMATELY 48" A.F.F.
- in wg INCH WATER GAUGE



FIRST FLOOR MECHANICAL PLAN - DELTA 'P', DIFFERENTIAL SENSORS AND VALVE EQUIPMENT
SCALE: 1/8" = 1'-0"



KEY PLAN - FIRST FLOOR
NOT TO SCALE

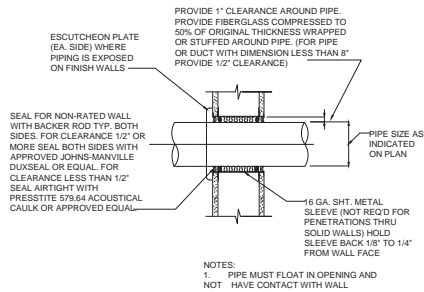
NO.	DESCRIPTION	DATE	BY
1	DESIGNED FOR CONTRACTOR		
2	REVISION		

DESIGNED: RAO
DRAWN: NM
REVISED: 03-06-2024
REVISION #: -
DATE: 12-07-2023

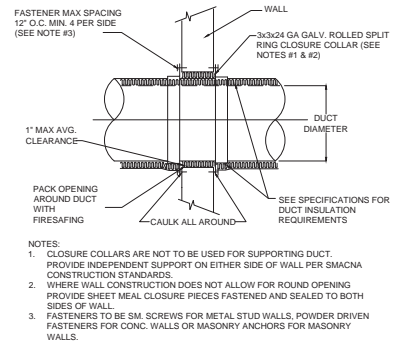


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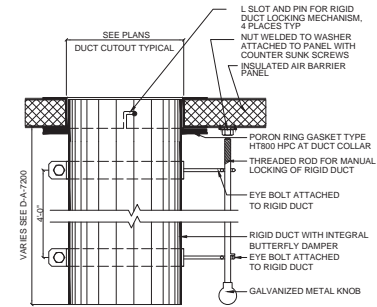
M-102



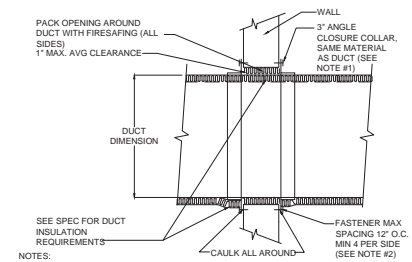
C2 PIPE THRU GWB WALL PENETRATION
NOT TO SCALE



C3 ROUND DUCT WALL PENETRATION
NOT TO SCALE



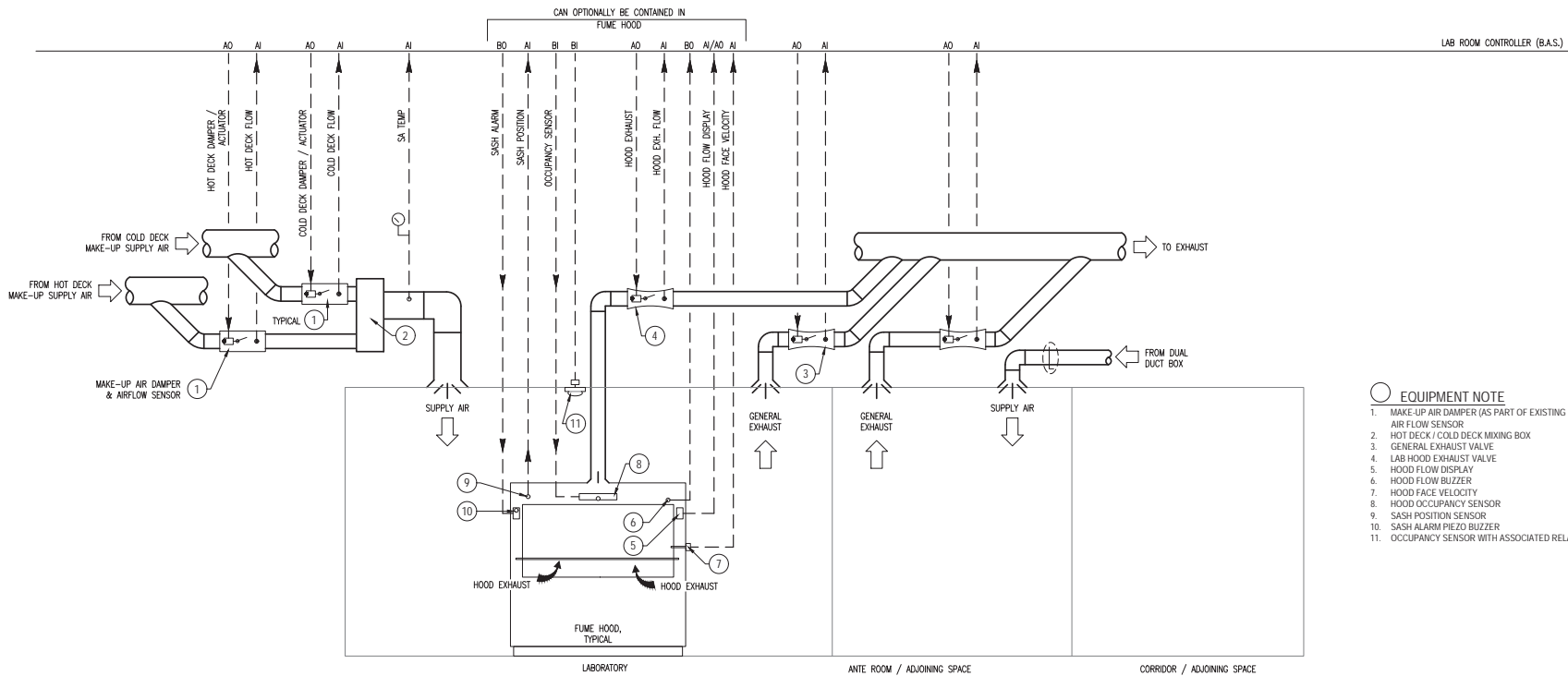
B3 RIGID DUCT PENETRATION
NOT TO SCALE



A3 RECTANGULAR DUCT WALL PENETRATION
NOT TO SCALE

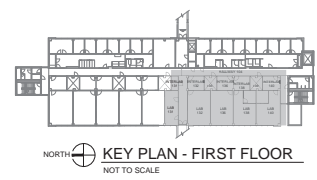
DATE	12-07-2023
REVISION #	-
REvised	03-06-2024
DESIGNED	RAQ
DRAWN	NM





- EQUIPMENT NOTE**
1. MAKE-UP AIR DAMPER (AS PART OF EXISTING MIXING BOX); AIR FLOW SENSOR
 2. HOT DECK / COLD DECK MIXING BOX
 3. GENERAL EXHAUST VALVE
 4. LAB HOOD EXHAUST VALVE
 5. HOOD FLOW DISPLAY
 6. HOOD FLOW BUZZER
 7. HOOD FACE VELOCITY
 8. HOOD OCCUPANCY SENSOR
 9. SASH POSITION SENSOR
 10. SASH ALARM PIEZO BUZZER
 11. OCCUPANCY SENSOR WITH ASSOCIATED RELAY

1 **B.A.S. BASED LABORATORY AIRFLOW SAFETY STANDARD CONTROLS DIAGRAM**
LABORATORY HOOD EXHAUST - LAB ROOMS 131, 132, 136, 138, & AND 140



FIRST FLOOR - BSL-2 LAB & INTERLAB
B.A.S. -BASED LAB HOOD EXHAUST
AIRFLOW CONTROLS DIAGRAM
HVAC EXHAUST & SUPPLY AIR SYSTEMS
 LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

DESIGNED	RAQ
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FILE: B #253_21-035

CONTROLS EQUIPMENT SCHEDULE				
UNM BAS-BASED LAB AIRFLOW SAFETY STANDARD (BLASS)				
SYMBOL I.D.	SYMBOL I.D.	DESCRIPTION	MANUFACTURER (OR PRIOR APPROVED BY P.E.)	REMARKS
GEV	GEV	GENERAL EXHAUST VALVE	ACCUTROL	A. AIRFLOW CONTROL VALVE MODULATES TO MAINTAIN ROOM PRESSURIZATION, BASED ON SUPPLY AIR VOLUME AND LAB EXHAUST VOLUME AND A CALCULATED VOLUMETRIC OFFSET FOR PRESSURIZATION. B. UNM FM ENGINEERING DESIGN STANDARDS PERMIT AIRFLOW CONTROL VALVES WITH LESS THAN 0.5"WC MINIMUM PRESSURE DROP.
		CONTROL VALVE ACTUATOR	BELIMO	
		GEV AIRFLOW TRANSMITTER	ACCUTROL (SUPPLIED WITH VON KARMAN VORTEX-SHEDDING VELOMETERS)	
FHV	FHV	GENERAL EXHAUST VALVE (FUME HOOD)	ACCUTROL	A. AIRFLOW CONTROL VALVE MODULATES TO MAINTAIN A SPECIFIED AIR VELOCITY AT THE FACE OF A FUME HOOD, BASED ON SASH POSITION. B. UNM FM ENGINEERING DESIGN STANDARDS PERMIT AIRFLOW CONTROL VALVES WITH LESS THAN 0.5"WC MINIMUM PRESSURE DROP.
		CONTROL VALVE ACTUATOR	BELIMO	
		LEV AIRFLOW TRANSMITTER	ACCUTROL (SUPPLIED WITH VON KARMAN VORTEX-SHEDDING VELOMETERS)	
	ACT	DDC, FULLY MODULATING ACTUATOR	BELIMO	
AF	AF	BLEED AIRFLOW SENSOR	EBTRON, EB-FLOW II MODEL EF-X2000-B. UNIT WITH DISPLAY AND WALL MOUNT KIT.	BLEED AIRFLOW SENSOR WILL DETECT VERY SMALL PRESSURE DIFFERENTIALS BETWEEN TWO ADJACENT SPACES BY SENSING AIRFLOW RATE INDUCED BY THE PRESSURE GRADIENT.
C		FUME HOOD MONITOR / CONTROLLER/KEYPAD		DISPLAYS FUME HOOD FACE VELOCITY AS CALCULATED FROM MEASURED VELOCITY AT A POINT NEAR LEV WITH KNOWN AREA AND THE HOOD SASH POSITION. OUTPUTS ALARM FUNCTION TO AN ALARM BUZZER MOUNTED NEAR THE FUME HOOD CONTROLLER/KEYPAD. ALSO ACTS AS A LOCAL CONTROLLER, TAKING INPUT FROM THE HOOD SIDEWALL VELOCITY SENSOR, SASH POSITION SENSOR, LEV FLOW, AND OCCUPANCY/PROXIMITY SENSOR, AND CONTROLLING LEV POSITION FOR ONE HOOD. CURRENT BASIS OF DESIGN IS A TEL-AFA 10002 MK2 FUME HOOD MONITOR.

SEQUENCE OF OPERATION

GENERAL
PROGRAMMING. THE FMS SHALL BE PROGRAMMED ACCORDING TO THE FOLLOWING SEQUENCE OF OPERATIONS INCLUDING ALL ENERGY REDUCTION OPERATIONS DESCRIBED IN THIS SEQUENCE.

SYSTEM STATUS DISPLAY. THE FMS SHALL PROVIDE OPERATING STATUS FOR ALL SYSTEMS CONTROLLED BY THE FMS. THE DISPLAYS SHALL INCLUDE ALL POINTS INDICATED ON THE DRAWINGS AND ANY OTHERS REQUIRED TO ACHIEVE THE SEQUENCE OF OPERATIONS. THE FMS SHALL BE ABLE TO INTEGRATE SYSTEM DIAGNOSTICS INTO CONTROL ACTION DECISIONS. THIS SHALL ALSO INCLUDE THE ABILITY TO DESIGNATE INDIVIDUAL UNITS AS BEING IN MAINTENANCE MODE TO AVOID GENERATING ALARMS. ALL SYSTEM CONTROL AND STATUS EVENTS SHALL BE RECORDED AT THE OPERATOR'S SELECTION. IN THE FMS EVENT LOG TO FACILITATE TROUBLESHOOTING. ALL DETECTED ALARMS OR FAILURES SHALL INITIATE AN ALARM WITHIN THE FMS.

POWER FAILURE RECOVERY. THE FMS SHALL CONTAIN A POWER FAILURE RECOVERY MODE (OPERATOR ADJUSTABLE). THE POWER FAILURE RECOVERY CAPABILITY SHALL RETURN THE SYSTEM TO ITS LAST STATE (BEFORE THE BUILDING LOST POWER).

LABORATORY CONTROLS
GENERAL. EACH LABORATORY SHALL BE INSTALLED WITH A FMS VARIABLE AIR VOLUME CONTROL SYSTEM WHICH SHALL CONTROL THE VARIABLE VOLUME SUPPLY AIR HOT DECK AND COLD DECK DAMPERS, GENERAL EXHAUST AIR VALVE AND LAB HOOD EXHAUST VALVES WHERE NEEDED. THE CONTROL SYSTEM SHALL INCLUDE ALL REQUIRED EXHAUST AIR VALVES, SUPPLY AIR DAMPERS / ACTUATORS, CONTROLLERS, NETWORK ROUTERS, AND SENSORS FOR A COMPLETE AND OPERATIONAL SYSTEM. THE SYSTEM SHALL OPERATE TO MAINTAIN A MINIMUM OF 6 AIR CHANGES PER HOUR, REFER TO MECHANICAL FLOOR PLANS FOR EXACT AIR FLOW REQUIREMENTS IN EACH LAB.

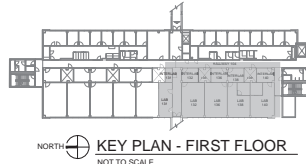
VAV FUME HOOD CONTROL. EACH FUME HOOD FACE VELOCITY AND EXHAUST VOLUME SHALL BE CONTINUOUSLY MEASURED. THE FMS CONTROLLER SHALL MODULATE THE FUME HOOD AIR VALVE TO MAINTAIN THE FACE VELOCITY AT A SETPOINT OF 100 FPM ±20-FPM AND THE MINIMUM EXHAUST VOLUME SET POINT AT ALL TIMES. IF A FAILURE IS DETECTED IN THE FUME HOOD SYSTEM, THE LOCAL FUME HOOD INDICATOR SHALL ALARM AS WELL AS AN ALARM SHALL BE INITIATED BY THE FMS. THE FUME HOOD CONTROLLER SHALL SEND AIRFLOW VALUES TO THE FMS VIA HARDWIRED CONNECTION TO CONTROL SUPPLY AND GENERAL EXHAUST TO MAINTAIN THE LABORATORY SPACE PRESSURE.

FUME HOOD SASH ALARM SYSTEM. IF SASH IS OPEN GREATER THAN 5% AND NO MOTION IS DETECTED BY THE MOTION DETECTOR FOR 60 SECONDS (ADJUSTABLE), THEN THE FUME HOOD CONTROLLER SHALL INITIATE AN AUDIBLE PULSE TONE. IF THE SASH IS CLOSED LESS THAN 5% OR MOTION IS DETECTED BY THE MOTION DETECTOR (WITHIN THE PAST 60-SECONDS, ADJUSTABLE), THEN NO ALARM TONE IS PRODUCED. THE FUME HOOD SASH ALARM SHALL HAVE A DISTINCT TONE FROM, AND SHALL BE PHYSICALLY SEPARATED FROM, THE FUME HOOD MONITOR AND AIRFLOW ALARM TONE GENERATOR. THERE SHALL BE A PLACARD NEAR THE SASH MONITOR ALARM BUZZER THAT DESCRIBES THAT THE ALARM IS A SASH ALARM, THAT IT CAN BE SILENCED ONLY BY OCCUPYING THE HOOD OR CLOSING THE SASH, AND THAT CONDITIONING MAKEUP AIR FOR A 6-FOOT HOOD WITH AN OPEN SASH REQUIRES THE SAME ENERGY AS CONDITIONING THE VENTILATION AIR FOR 6.4 RESIDENTIAL HOMES OF 2000 FT² EACH.

VARIABLE VOLUME ROOM PRESSURE CONTROL. THE FMS SHALL MODULATE EACH LAB GENERAL EXHAUST CONTROL VALVE TO MAINTAIN EXHAUST FLOWRATE EQUAL TO THE ROOM SUPPLY FLOWRATE AND AN OFFSET AMOUNT. THE OFFSET AIRFLOW IS DETERMINED DURING TESTING & BALANCING OF THE ROOM TO BE THE AMOUNT REQUIRED TO ESTABLISH A SPECIFIED DIFFERENTIAL PRESSURE BETWEEN THE LAB AND SURROUNDING SPACES (TYPICALLY 0.03" WC - 0.05" WC LAB NEGATIVE RELATIVE TO SURROUNDING SPACES). FOR LABS EQUIPPED WITH DIFFERENTIAL PRESSURE TRANSDUCERS) AT THE THRESHOLD BETWEEN THE LAB AND SURROUNDING SPACE(S), THE OFFSET AIRFLOW VALUE SHALL BE RESET BY THE MEASURED DIFFERENTIAL PRESSURE TO MAINTAIN A SPECIFIED DIFFERENTIAL PRESSURE SETPOINT.

VARIABLE VOLUME TEMPERATURE CONTROL. THE TEMPERATURE OF THE LAB SHALL BE CONTINUOUSLY MEASURED. IF THE LAB REQUIRES COOLING, THE SUPPLY AIR VALVE AND GENERAL EXHAUST AIR VALVE SHALL BE MODULATED TOGETHER BETWEEN THE MINIMUM AND MAXIMUM COOLING AIR FLOWS TO MAINTAIN THE SPACE TEMPERATURE AT THE OCCUPIED COOLING SETPOINT OF 76°F (ADJUSTABLE), I.E.,
 IF THE COLD DECK DAMPER IS FULL OPEN, THE HOT DECK DAMPER SHALL BE IN ITS MINIMUM POSITION.
 IF THE LAB REQUIRES HEATING, THE HOT DECK DAMPER SHALL BE MODULATED TO MAINTAIN THE SPACE TEMPERATURE AT THE OCCUPIED HEATING SETPOINT OF 70°F (ADJUSTABLE).
 THE LAB TEMPERATURE SETPOINT SHALL BE ADJUSTABLE THROUGH THE FMS.

SAV-1A AND EAV-1A CONTROL
 SAV-1A SHALL MODULATE VAV DAMPER TO MAINTAIN SPACE TEMPERATURE SETPOINT. EAV-1A SHALL TRACK WITH SAV-1A TO ENSURE EQUAL SUPPLY AND EXHAUST FLOWS.



BIOMEDICAL RESEARCH FACILITY
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 915 Camino De Salud NE | Building 253 - #A023 | Albuquerque, NM 87131-3500

FIRST FLOOR - BSL-2 LAB & INTERLAB
SEQUENCE OF OPERATION & CONTROLS EQUIPMENT SCHEDULE
HVAC EXHAUST & SUPPLY AIR SYSTEMS
 LAB 131, LAB 132, LAB 136, LAB 138 & LAB 140

NO.	DESCRIPTION	DATE
DESIGNED	RAQ	
DRAWN	NM	
REVISED	03-06-2024	
REVISION #	-	
DATE	12-07-2023	



FILE: B #253_21-035

MI-602

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
CLARK HALL BASEMENT LABORATORIES AIRFLOW SAFETY MODIFICATIONS
UNIVERSITY OF NEW MEXICO**

May 02, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **Clark Hall Basement Laboratories Airflow Safety Modifications on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The Clark Hall Building (A0022) has 81,379 gross square feet and is composed primarily of research laboratories, with some teaching spaces and administrative offices. This project will modify labs (B51, B54/B54A, B70/B70A, B71, B74) and if the budget permits (B42, B44, B48, B76, B78) that are in the basement of the Riebsomer wing to bring them up to the UNM Laboratory Airflow Safety Standard. Specifically, some of the Supply Air Valves (SAV), General Exhaust Valves (GEV), and Exhaust Air Valves (EAV) must be replaced with low-differential-pressure valves, and the airflow controls for each lab must be replaced or upgraded to be able to dynamically and automatically control ventilation, air change rates, fume hood face velocities, space temperatures, cleanliness, and pressurization.

PROJECT RATIONALE:

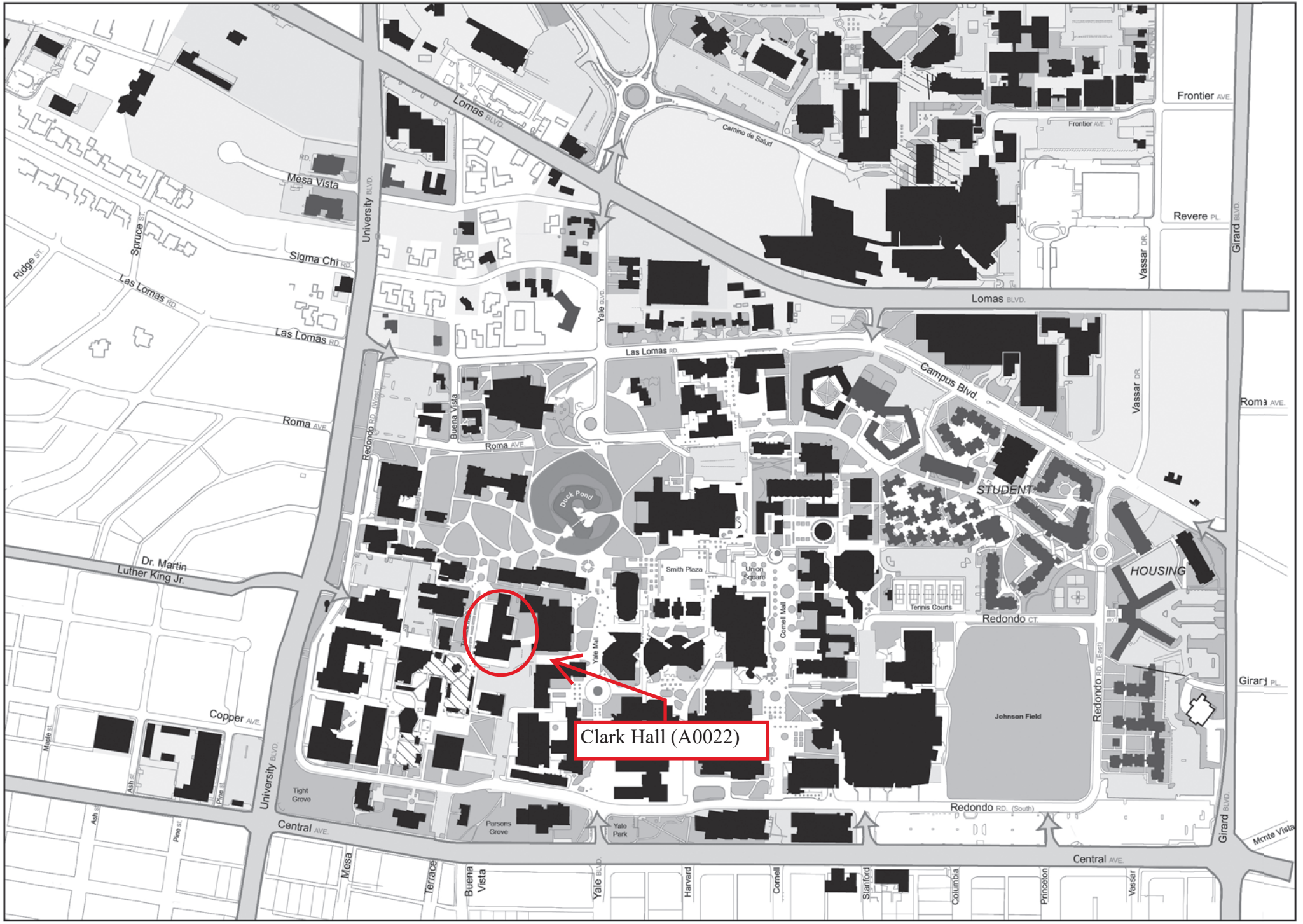
The airflow control valves in the Riebsomer labs have proprietary controls that cannot be modified, and in many cases are experiencing mechanical failures. The existing control systems do not allow for continuous adjustments to ventilation levels, fume hood face velocities, room pressurization, temperature, and cleanliness and do not incorporate energy-saving measures under the UNM Laboratory Airflow Safety Standard. This project proposes to implement that standard in the basement and first-floor Riebsomer labs to control airflow to provide safe ventilation, pressurization, and temperature control with optimized energy use. If this project is not approved, the labs will remain non-compliant with UNM Laboratory Airflow Safety Standard.

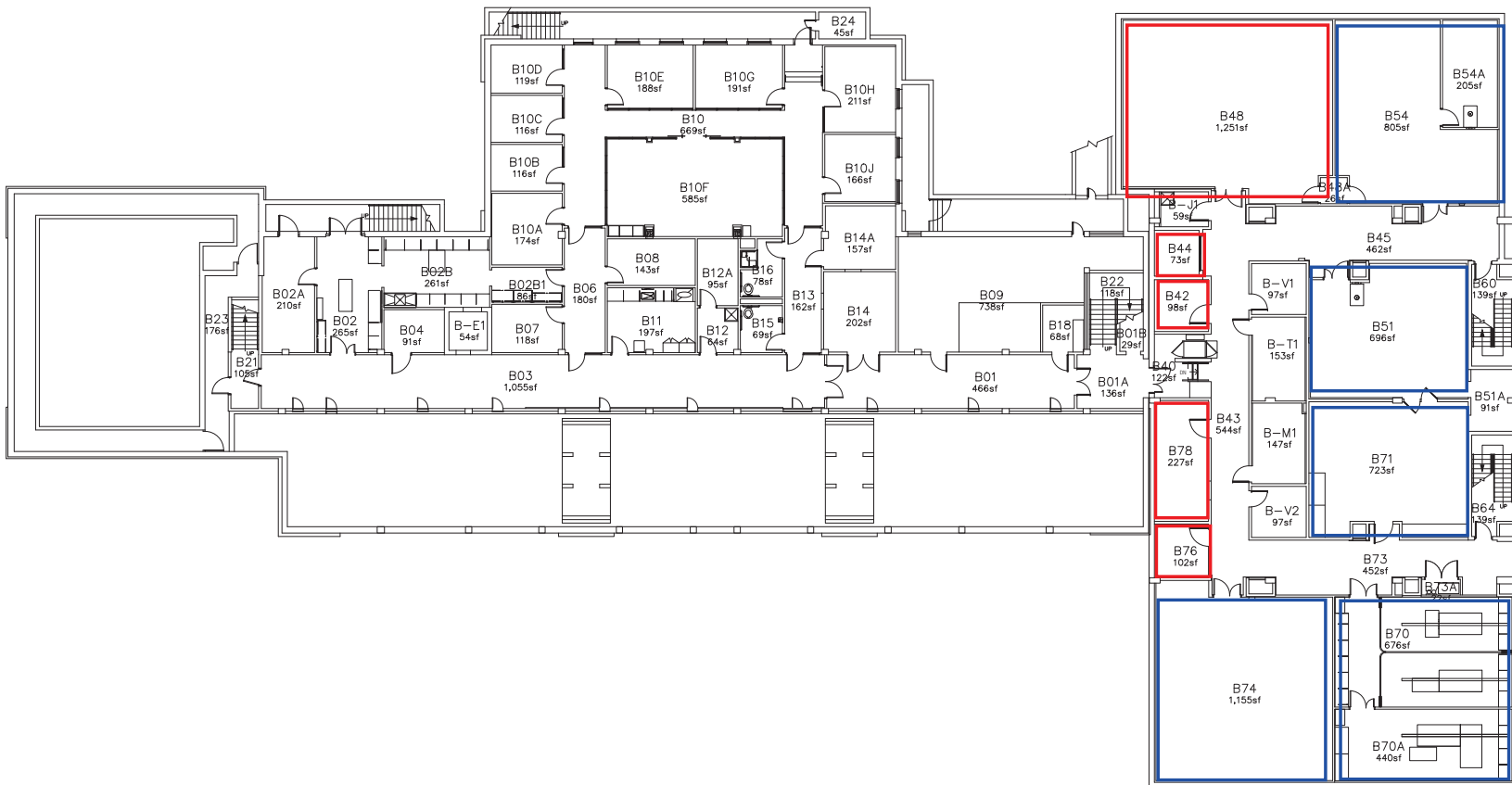
FUNDING:

The total estimated Project Budget is \$500,000.

- \$500,000 is funded from FY25 Building Renewal & Replacement

The University of New Mexico - Central Campus





CLARK HALL BASEMENT PLAN

300 TERRACE ST. NE

NORTH



SCALE: NTS

BLDG. NO.

A0022

1 of 5



UNM
UNIVERSITY OF
NEW MEXICO
CHEMISTRY
BUILDING
RENOVATION
(CLARK HALL)

300 TERRACE ST. NE, UNIVERSITY OF NEW MEXICO
 ALBUQUERQUE, NM 87131

Project Manager	JOE MUEHLBERGER / STEVE SCHULTZ
Project Designer	NICK
Project Architect	RAYMOND H. VIGL
Landscape Architect	N/A
Cost Architect	N/A
Structural Engineer	GEORGE BRADLEY
Mechanical Engineer	JOE FERRERIS
Electrical Engineer	KELLY HARTMANN
Interior Designer	N/A
Equipment Planner	JACK PAUL / FRICK HUNTER
Modeling	TRE
Drawn By	CHRISTOPHER McDONALD

MARK	DATE	DESCRIPTION
D	12/15/14	ISSUED FOR CONSTRUCTION

Project Number: 141031 / 12/17/14
 Original Issue: 12/15/14



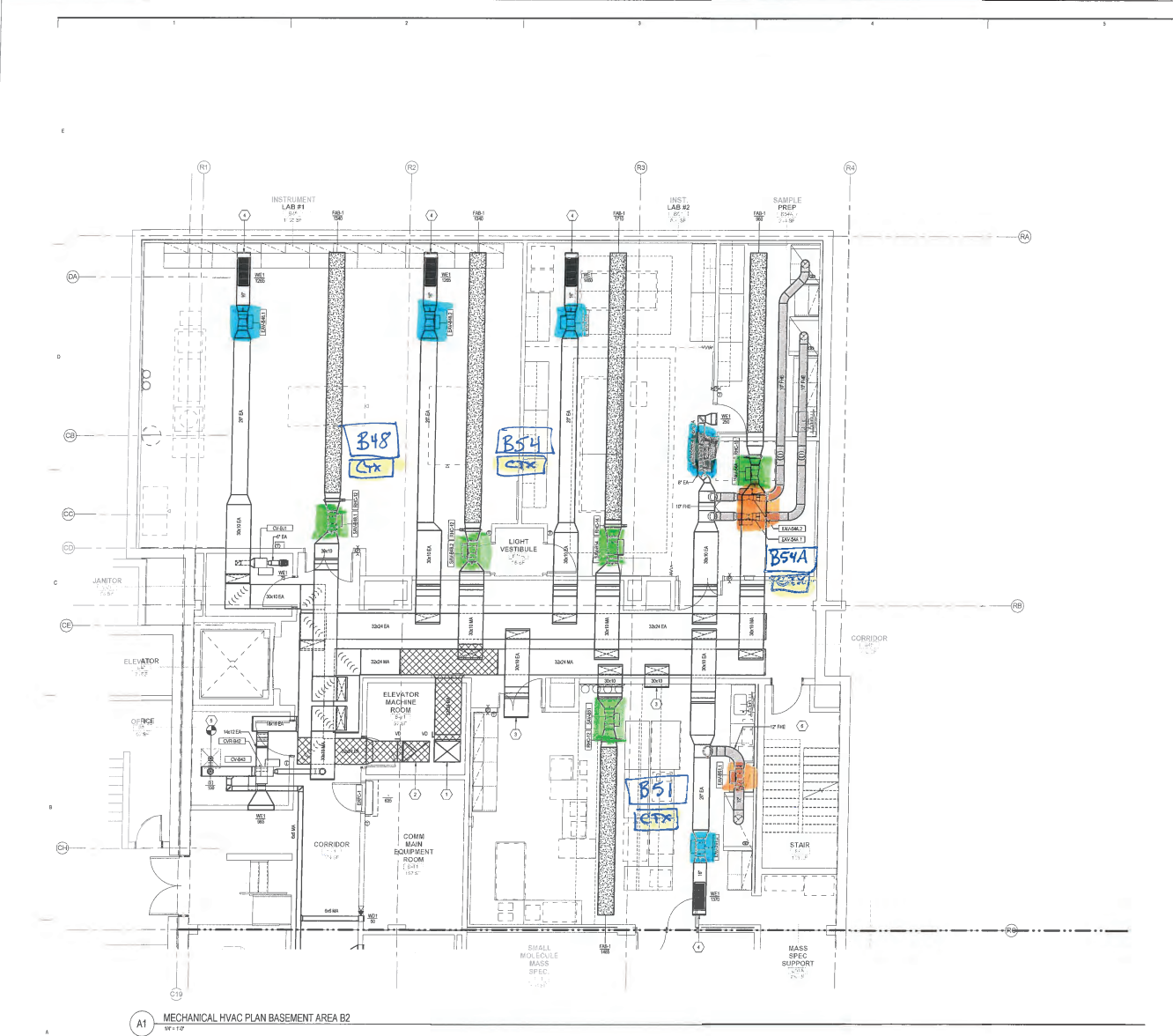
Sheet Name:
MECHANICAL HVAC PLAN BASEMENT AREA B2

Scale: 1/4" = 1'-0"
 Sheet Number:
MH-10BB2

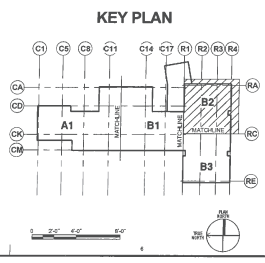
Project Status:
 ISSUED FOR CONSTRUCTION

- GENERAL NOTES**
1. SEE DRAWING M-01 FOR SYMBOLS AND ABBREVIATIONS.
 2. INSTALLATION SCOPE OF WORK (BASEMENT)
 - VOLUME 03/10**
 - MEWP (AIR-BA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 - GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 - 03/10/005**
 - MEWP (AIR-BA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 - GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 - LABORATORIES (03/10/005 LABS)**
 - MEWP (AIR-BA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 - GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES.
 3. WHERE DRAWINGS SHOW SPECIFIC CONNECTIONS, THEY HAVE BEEN OBSERVED FROM EXISTING DRAWINGS AND/OR SITE INVESTIGATION. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND COORDINATE WITH ALL TRADES BEFORE BEGINNING WORK.
 4. AIR VALVE CONTROL PANEL, Riser RELEASER COIL, PRESSURE CONNECTION LOCATIONS ARE DIMENSIONAL FROM MAIN CORRIDOR LEVEL AND ROOM RISE AND RISE FROM TOP.
 5. COORDINATE FIRE DUCTWORK OVER FIRE HOOD SASH TO ALLOW FOR OPEN POSITIONING.
 6. UNLESS NOTED OTHERWISE CONTRACTOR SHALL PROVIDE AIR VOLUME CAPS FOR ALL 2" DIA. AND SMALLER AIRWORK DUCTS FOR MULTIPLE DEVICES. CAPS SHALL BE INSTALLED NEAR BRANCH TAKE OFF LOCATIONS.
 7. SEE DRAWING "UL" SERIES FOR LABORATORY EQUIPMENT DRAWINGS INDICATING LABORATORY VEST LOCATIONS.
 8. SEE DRAWING "M-W" SERIES FOR MECHANICAL AIRFLOW DIAGRAMS.
 9. SEE DRAWING "M-SW" SERIES FOR TYPICAL SECTIONS.

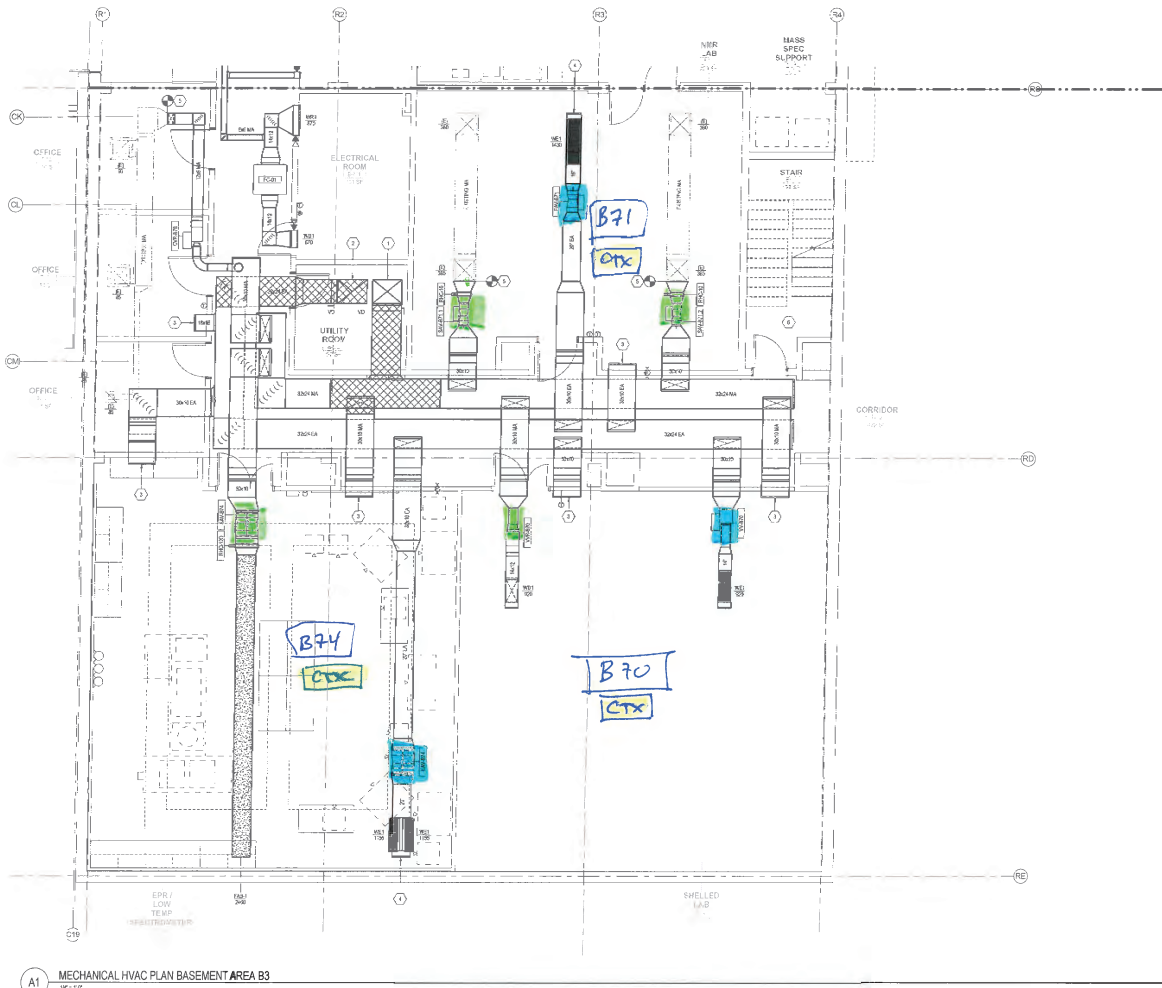
- KEYED NOTES**
1. 300F M-A DUCT UP
 2. 300F EA DUCT UP
 3. DAMPED DUCT FOR LABORATORY FUTURE FLEXIBILITY
 4. RISER AND CONNECT FROM EXHAUST DUCTS TO EQUIPMENT EXHAUST DUCTS/EXH. RAMP DOWNED, ETC FROM SOURCE TO LOCATION (UPSTREAM OF ROOM OR VALVE ROOM)
 5. ROOM # IN BRACKET AND DEVICES OR INCLUDES IN BRACKET ARE TO DUCTWORK. TRANSITION BETWEEN LOCATIONS TO ALLOW FOR RECONNECTION. PROVIDE ADDITIONAL DUCTWORK AS REQUIRED.
 6. CLOSE VERTICAL DUCT OPENINGS IN STAIRWELL.



A1 MECHANICAL HVAC PLAN BASEMENT AREA B2
 1/14/17



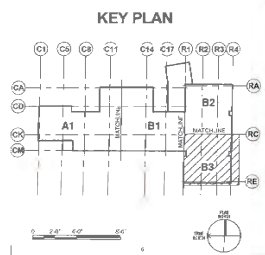
12/16/14 10:26:37 AM
 C:\w\2014\17346\PC\General_mcdonald.rvt



A1 MECHANICAL HVAC PLAN BASEMENT AREA B3
1/17/17

- #### GENERAL NOTES
- A. SEE DRAWING KEY FOR SYMBOLS AND ABBREVIATIONS.
 - B. INSTALLATION SCOPE OF WORK (BASEMENT)
 - UTILITY SERIES
 - MAKEUP AIR (MA) INSTALL DUCTWORK AND ASSOCIATED DEVICES
 - GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES
 - C. GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES
 - GENERAL EXHAUST AIR (EA) INSTALL DUCTWORK AND ASSOCIATED DEVICES
 - D. AS ALL VALVE CONTROL PANEL AND REFRIG COOL PIPING CONNECTION LOCATIONS ARE DAMAGED/DIFFICULT TO ACCESS, COORDINATE WITH OWNER/ARCHITECT FOR ACCESS.
 - E. COORDINATE THE DUCT ROUTING OVER FINE FLOOR SLABS TO ALLOW FULL OPEN POST-TENSIONING
 - F. UNLESS NOTED OTHERWISE CONTRACTOR SHALL PROVIDE AIR VOLUME DAMPERS ON ALL SUPPLY AND EXHAUST MAINS OUTLETS TO ALL THRU DEVICES. DAMPERS SHALL BE INSTALLED NEAR BRANCH TAKE OFF LOCATIONS.
 - G. SEE DRAWING 'D' SERIES FOR LABORATORY EQUIPMENT DRAWINGS INDICATING LABORATORY UTILITY LOCATIONS.
 - H. SEE DRAWING 'M' AND 'M' SERIES FOR MECHANICAL AIRFLOW DIAGRAMS.
 - I. SEE DRAWING 'M' AND 'M' SERIES FOR TYPICAL SECTIONS.

- #### KEYED NOTES
1. 300M WA DUCT UP
 2. 300M EA DUCT UP
 3. DAMPED ROUT FOR LABORATORY FUTURE FLEXIBILITY
 4. ROUTES ARE CONNECTED FROM EXHAUST DUCTWORK FROM FRESH EXHAUST DUCTS (E.G. PUMP EXHAUST, ETC.) FROM SOURCE TO LOCATION (UPSTREAM OF ROOM) VALVE ROOM.
 5. HOOKUP BY MA DUCT AND OR BY EA DUCT INCLUDING BUT NOT LIMITED TO DUCTWORK, TRANSITIONALS, SERVICES TO EQUIPMENT FOR RECONSTRUCTION. PERFORM EQUIPMENT, DUCTWORK, AS REQUIRED.
 6. CLOSE AIRSPACES ALL DUCT OPENINGS IN STAIRWELL.



HDR ARCHITECTURE INC.
2011 E. CAMELBACK ROAD PHOENIX, AZ 85016



UNIVERSITY OF
NEW MEXICO
CHEMISTRY
BUILDING
RENOVATION
(CLARK HALL)

300 TERRACE ST. NE UNIVERSITY OF NEW MEXICO
ALBUQUERQUE, NH 87131

Project Manager	JOE M. LEMBERGER / STEVE BOHATZ
Project Engineer	DAVID R. VON
Lead/Design Architect	HDR
Cost Architect	GEORGE BRADLEY
Structural Engineer	JIM HEINRICH
Mechanical Engineer	KELLY HARTENBERG
Interior Designer	JACK PAUL / FRANK HUNTER
Equipment Planner	THEO
Headlining	CHRISTOPHER McDONALD
Drawn By	

MARK	DATE	DESCRIPTION
D	10/18/14	ISSUED FOR CONSTRUCTION

Project Number	14258 / 12017B
Original Issue	10/18/14



Sheet Name
**MECHANICAL
HVAC PLAN
BASEMENT
AREA B3**

Scale
1/4" = 1'-0"

Sheet Number
MH-10BB3

Project Status
ISSUED FOR CONSTRUCTION

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
UNM JOHNSON CENTER BASEMENT RESTROOM RENOVATION
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for **UNM Johnson Center Basement-Level Restroom Renovation on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

This project renovates the basement-level restrooms B115 and B116, totaling 475 GSF, in Johnson Center (building #A0059) at the University of New Mexico. The restrooms are unusable and partially demolished due to flooding and mold remediation efforts. The renovation will include additional abatement, and the removal of remaining fixtures, toilet partitions, flooring, ceiling tiles, and accessories that will be replaced with new products that meet current standards.

PROJECT RATIONALE:

This project will remodel the B115 and B116 restrooms, making them code and ADA-compliant. The current restrooms' plumbing chase and underground piping require full infrastructure replacement. These restrooms are located near the classrooms and are primarily used by students. Other users include faculty, staff, athletes, and the sporting event community.

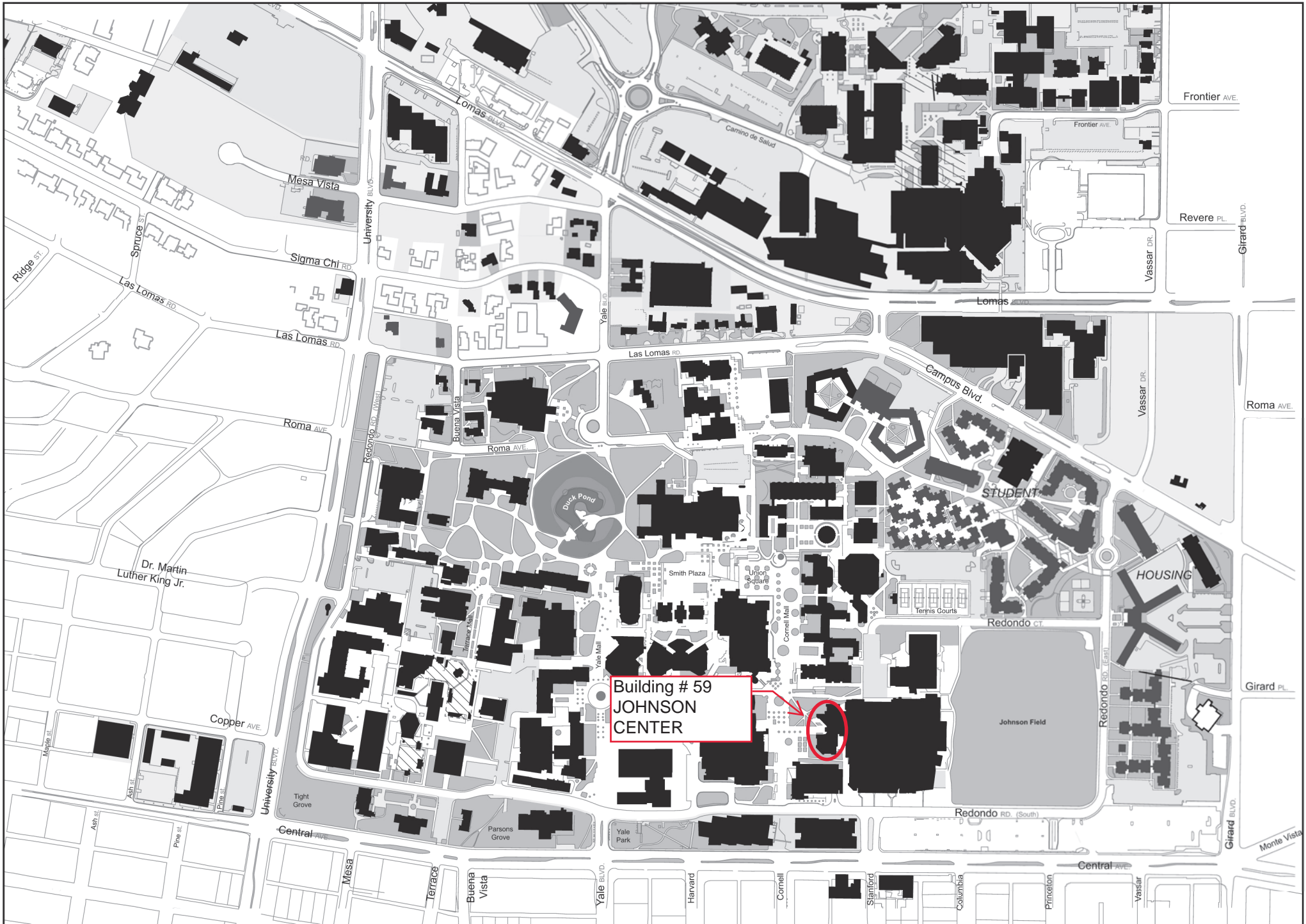
If this project is not approved, these restrooms will remain unusable, non-compliant with current standards and requirements, and inaccessible to those with accessibility needs.

FUNDING:

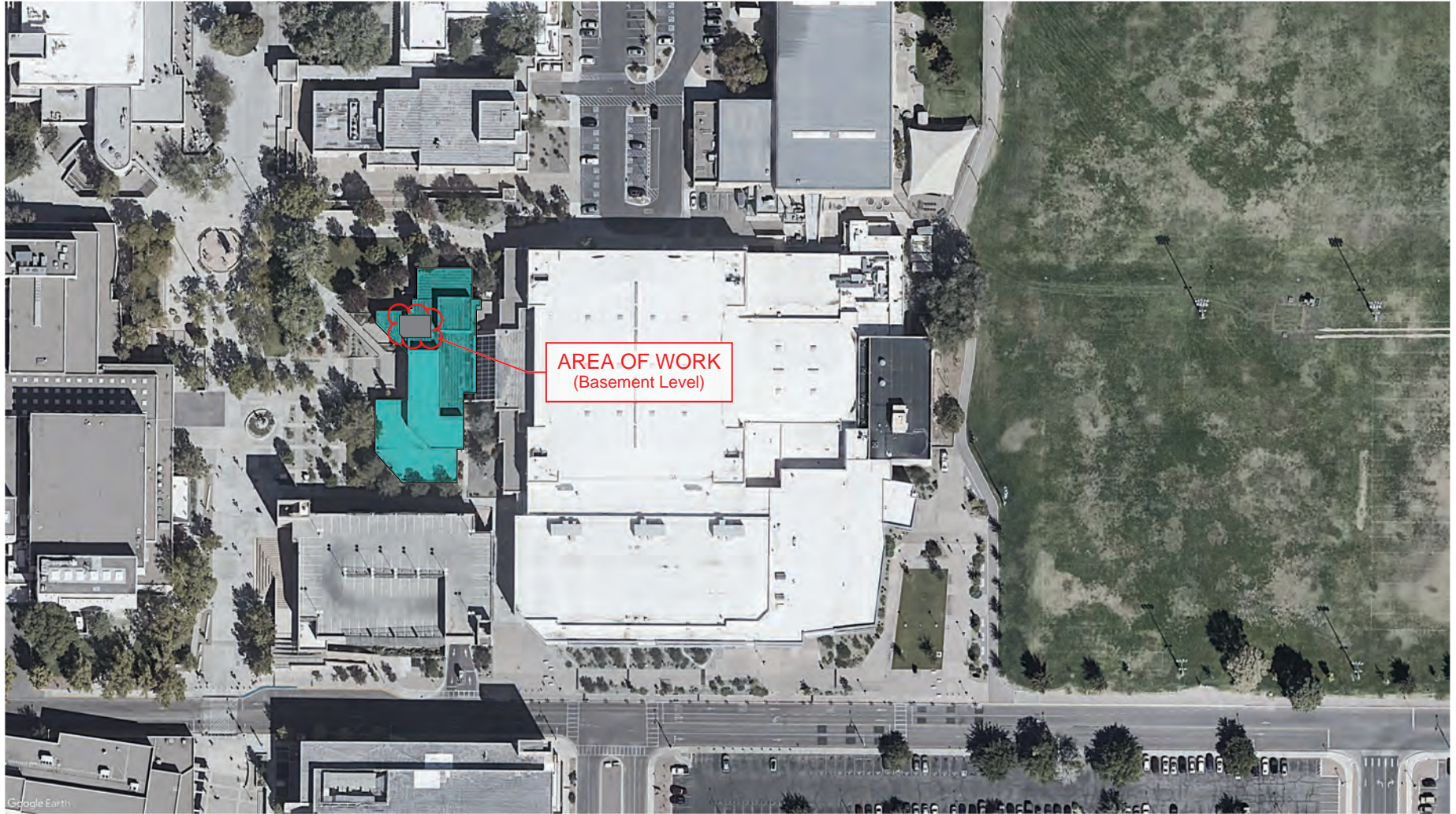
The total estimated Project Budget is \$477,000

- \$477,000 is funded from Building Renewal & Replacement (BR&R)

The University of New Mexico - Central Campus



3/13/2024 11:56:06 AM



1

SITE PLAN

N.T.S.



UNM - JOHNSON CENTER RESTROOM RENOVATION

JOHNSON CENTER - BLDG # 59
200 Cornell Dr. NE, Albuquerque, NM 87106, United States

Stephen Leos Architect LLC
413 second st sw | second floor
albuquerque, new mexico 87102
505.681.2329 | www.SLeosArch.com

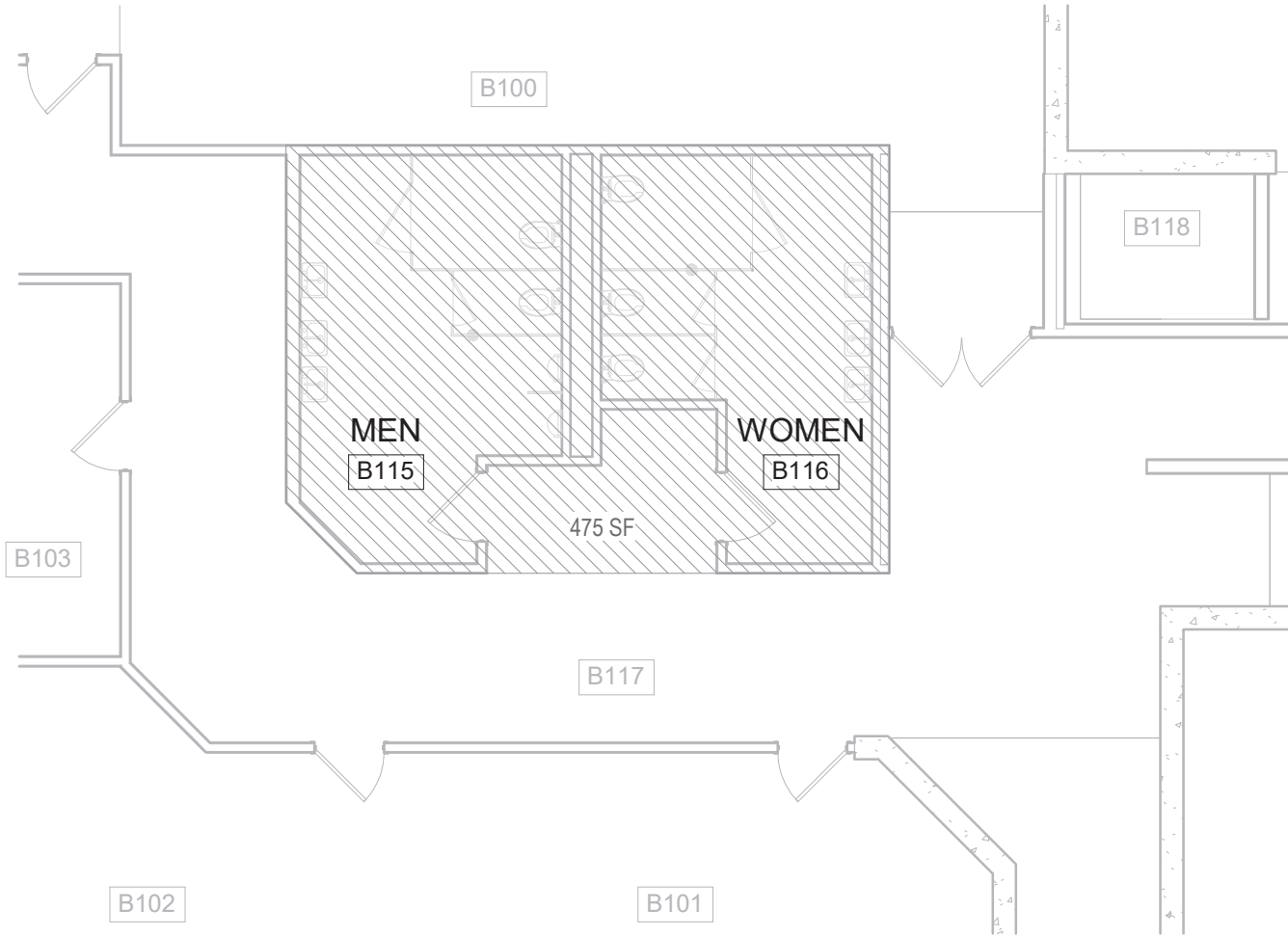
SITE PLAN

DRAWN BY:	ALS
REVIEWED BY:	SLA
DATE ISSUED:	03/13/24
PROJECT NO:	24-02

ISSUED FOR:
REF:

SKA-1

3/13/2024 11:49:11 AM



1

B115 and B116 - BASEMENT RESTROOMS

1/8" = 1'-0"

IN

UNM - JOHNSON CENTER RESTROOM
RENOVATION

JOHNSON CENTER - BLDG # 59
200 Cornell Dr. NE, Albuquerque, NM 87106, United States

Stephen Leos Architect LLC
413 second st sw | second floor
albuquerque, new mexico 87102
505.681.2329 | www.SLeosArch.com

BASEMENT RESTROOMS

DRAWN BY:	ALS
REVIEWED BY:	SLA
DATE ISSUED:	03/13/24
PROJECT NO:	24-02

ISSUED FOR:

REF:

SKA-2

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
HIBBEN CENTER COMPACT STORAGE COLLECTIONS SHELVING
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Hibben Center Compact Storage Collections Shelving project on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The project is located at the UNM Hibben Center for Archeology Research, Building #A0015, Room B20. The project will update approximately 2,400 gross square feet of existing collection space. The existing collections shelving in Room B20 will be re-used and installed on a moveable compact storage shelving system designed for museum collections. A concrete topping slab will be poured with rails to increase the capacity of the current collections area. The original 2003 building construction was designed to accept this type of shelving system and the collections area in Room B20 has been fitted with this type of shelving in (3) three prior phases. This portion of the project will be Phases 4A and 4B. The topping slab will be painted with a durable epoxy floor paint. The surrounding walls and support posts will be painted to match existing finishes. The graduate student workstation will be updated with overhead electrical drops for task lighting and laptop connections to reduce possible trip hazards

PROJECT RATIONALE:

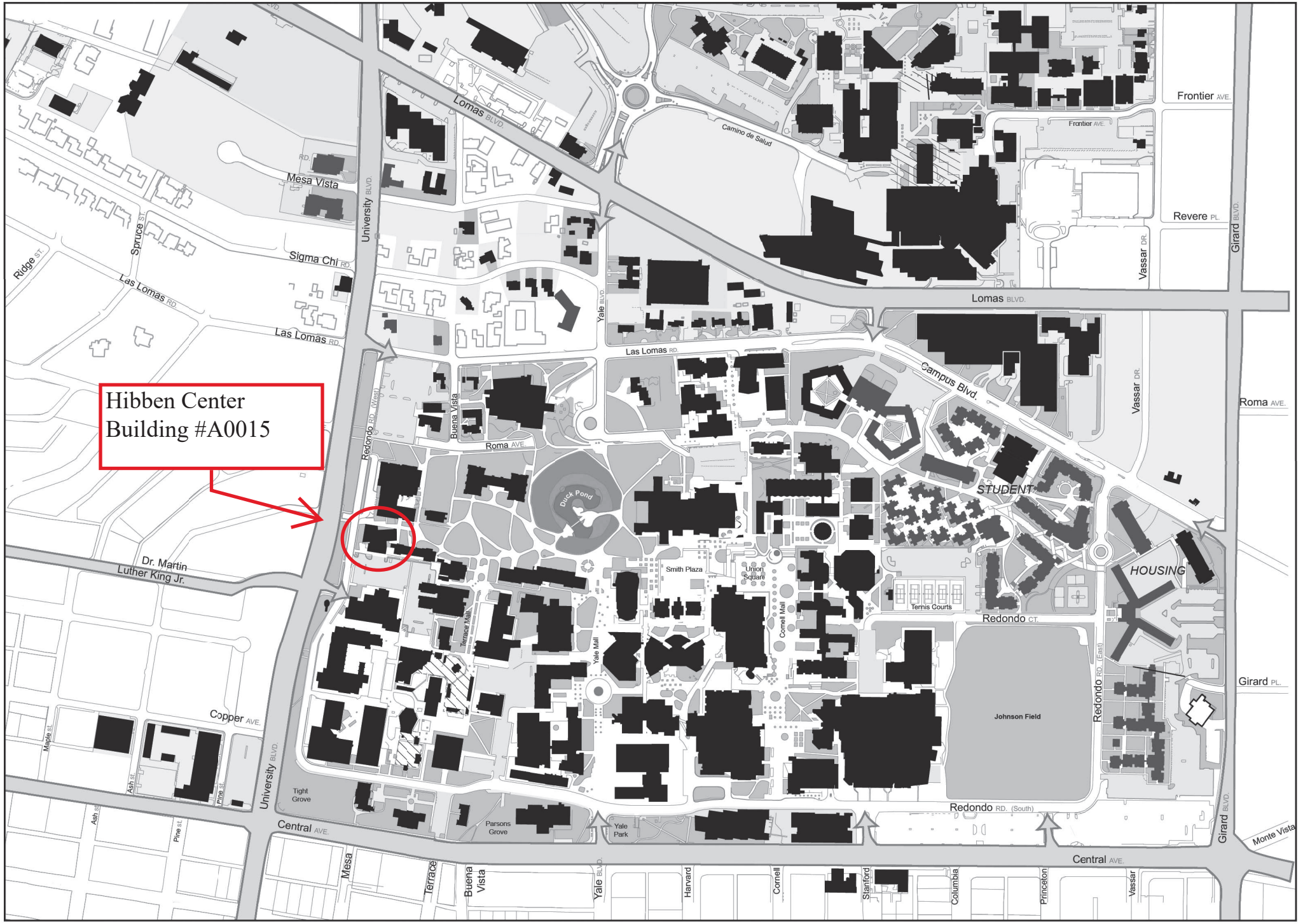
Continued research, fieldwork, and donations of archeological material for the Maxwell Museum of Anthropology have exceeded the available space in Room B20. This update would nearly double the space available for this important research collection. The overhead electrical outlets and cord drops for graduate student workstations will improve productivity and safety for the users and the collection. The user groups are faculty, staff, visiting research scientists, and students involved with ongoing research, exhibitions, and collections management for both the Maxwell Museum and the Hibben Center. The consequences of not approving this project are continued collection space challenges as the research collection grows and minor safety hazards in the workstation areas.

FUNDING:

The total estimated Project Budget is \$384,612:

- \$350,000 is funded from a National Endowment for the Humanities Federal Grant
- \$34,612 is funded from Departmental Funds

The University of New Mexico - Central Campus



Hibben Center
Building #A0015





BASEMENT FLOOR

SCALE: NOT TO SCALE



PLANNING & CAMPUS DEVELOPMENT
OFFICE OF SPACE MANAGEMENT

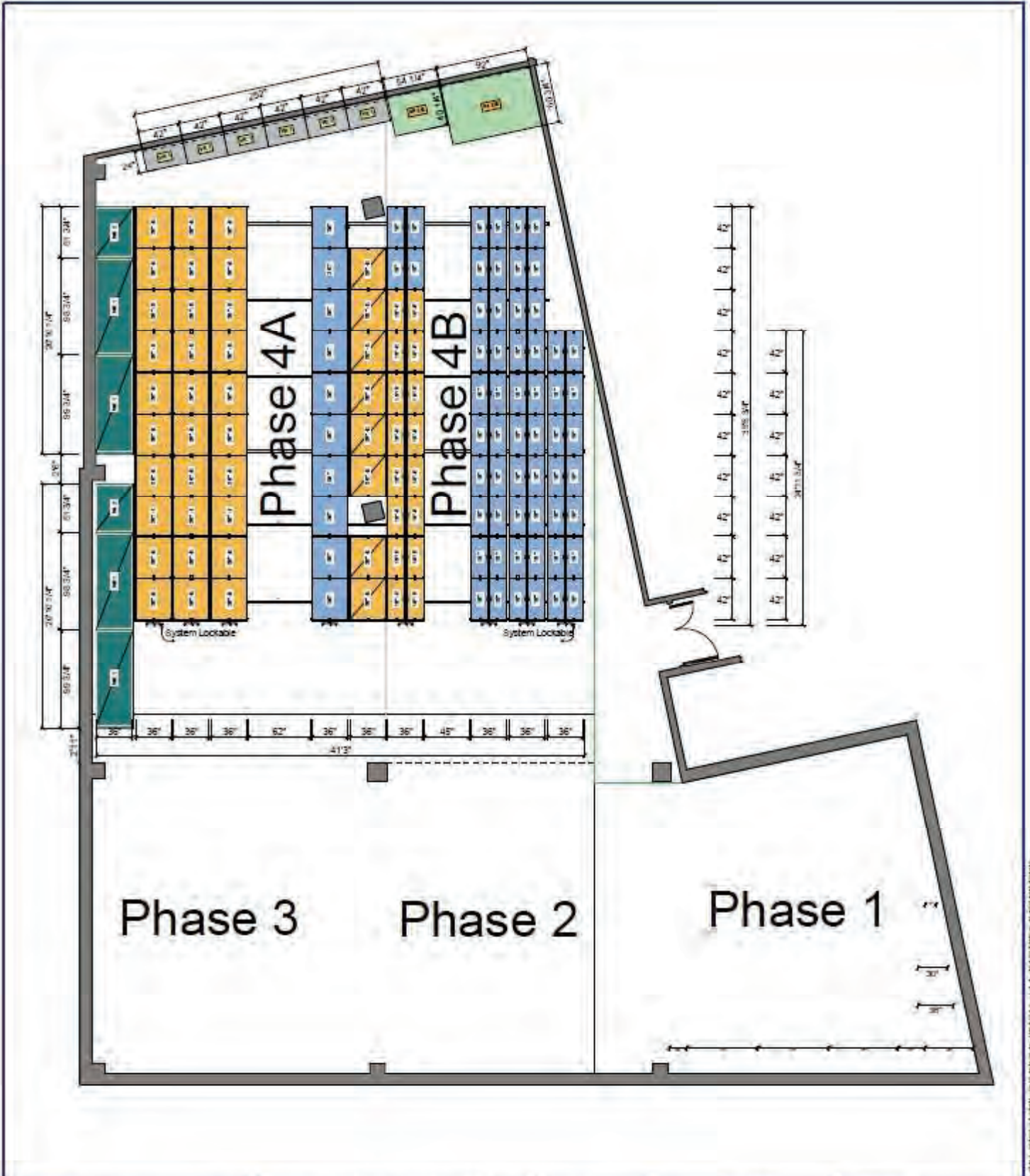
TOTAL FLOORS:	4	FLOOR:	BASEMENT
TOTAL GROSS SQUARE FEET:	28,655	GROSS SQUARE FEET:	12,885
MAIN ENTRANCE		SECONDARY ENTRANCE	

HIBBEN CENTER FOR ARCHAEOLOGY RESEARCH

BASEMENT FLOOR
460 UNIVERSITY BLVD. N.E.

#015

1 OF 4
015-00-B0



Project Name: University of New Mexico - Hibben Center

Salesperson: NIETO, RON

Scale: 1:125

Rev level: 4

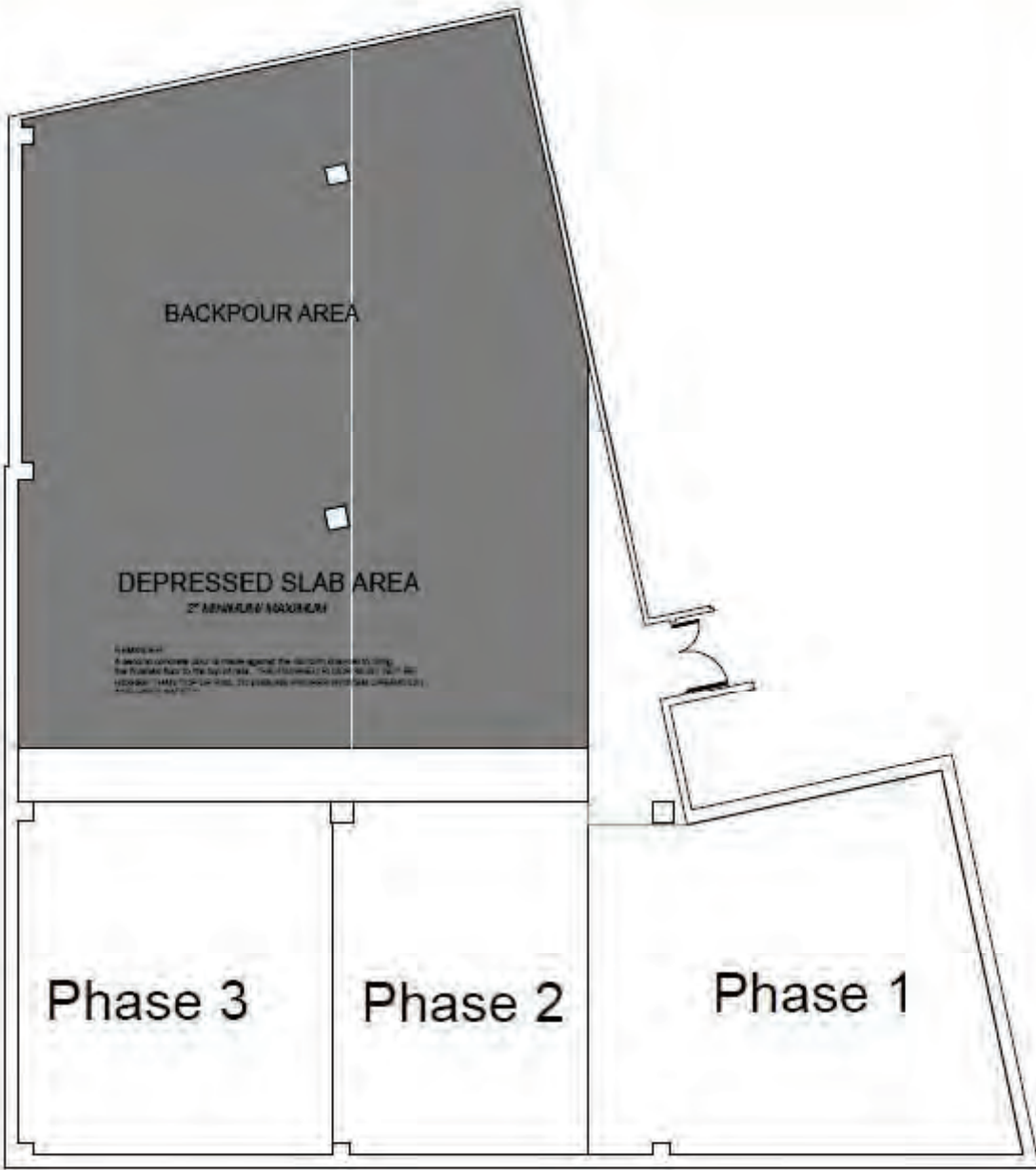
Project #: 872

Drawn by: BB

Date Printed: 02/14/2024

APPROVAL
This drawing Approved By:

Dated: _____



REVISIONS
 1. BACKPOUR AREA IS TO BE RECONSTRUCTED TO MATCH THE FINISHED FLOOR TO THE TOP OF SLAB. THIS IS TO BE DONE IN CONJUNCTION WITH THE DEPRESSED SLAB AREA. TO BE DONE IN CONJUNCTION WITH THE DEPRESSED SLAB AREA.



Project Name: University of New Mexico - Hibben Center
 Salesperson: NIETO, RON
 Scale: 1:125
 Rev level: 4

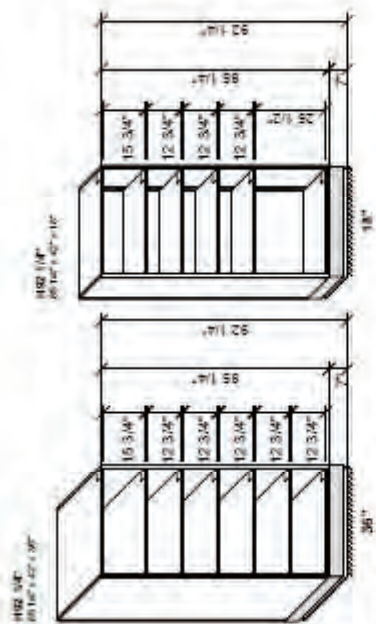
Project #: 872
 Drawn by: BB
 Date Printed: 02/14/2024

APPROVAL
 This drawing Approved By: _____
 Dated: _____

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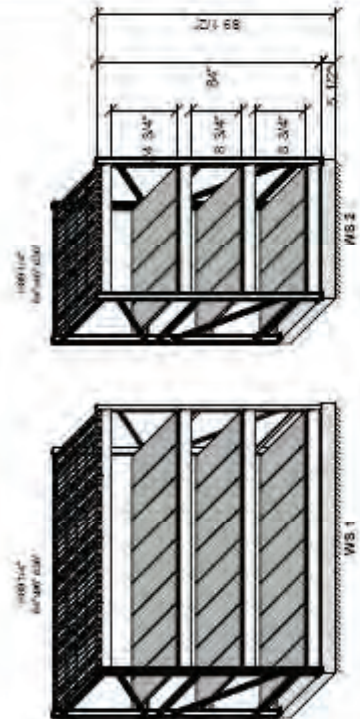
COPYRIGHT © 2024 SPACEMASTER CORPORATION. ALL RIGHTS RESERVED.

Existing Shelving
NEW

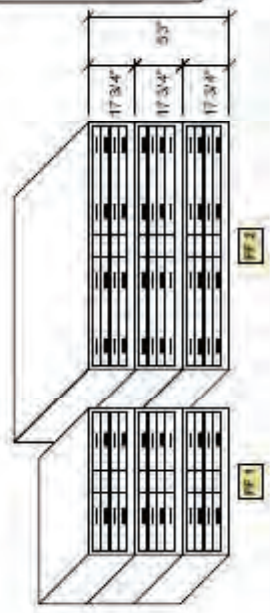


36" Deep shelving with solid shelving
18" Deep shelving
Back to Back with solid back panels

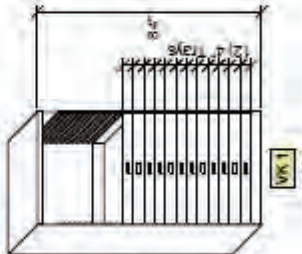
WideSpan Shelving



Future FlatFiles



Miking Cabinets



Project Name: University of New Mexico - Hibben Center

Scale: 1:55
Sponsor: NIETORON

Row level: 4

Project #	872	APPROVAL	This drawing Approved By
Drawn by	BB		
Date Printed	02/14/2024		Dated

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**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
DEMOLITION OF LIONS HALL AT UNM GALLUP
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Demolition of Lions Hall, Gallup Campus.**

PROJECT DESCRIPTION:

The University of New Mexico Gallup Campus will demolish the former Lions Hall building located at 700 Lions Hall Dr., Gallup, New Mexico. This building is a University-owned property designated for future development to be determined. The existing building totaling 5,781 square feet has been vacant since 2010, testing and abatement will be completed before demolition and utilities will be disconnected and branch lines removed/capped as part of the project.

PROJECT RATIONALE:

The former Lions Hall building is beyond the end of its useful life. The building has been vacant for 14 years, the last group to occupy the building was nursing and community affairs. The impact of this project not being approved is that an unattractive nuisance will remain on University-owned property, preventing future development plans and negatively impacting the safety of persons in adjacent properties occupied by other University entities.

FUNDING:

The total estimated Project Budget is \$369,359:

- \$235,000 is funded from FY24 Special Appropriation
- \$134,359 is funded from FY24 Other Department Funding (I&G)



- 1 Lions Hall**
- 2 Gurley Hall**
Information Center | Student Center
Campus Police | College Bookstore
Lobo Learning Center
Career and Job Placement
Center
Ingham Chapman Art Gallery

- 3 Construction Technology**
- 4 Calvin Hall Center**
Classrooms | Auditorium
- 5 Physical education / Gymnasium**
- 6 Middle College High School**
- 8 Childcare Facility | Physical Plant
Key Shop**
- 11 Health Careers**

- 12 Zollinger Library**
- 13 Nursing**
- 14 Student Services and Technology
Center**
Admissions | Registrar | Bursars
Office

-  Parking
-  UNM Building
-  Food Services
-  Bus Stop



UNM GALLUP - LION'S HALL DEMOLITION

95% CONSTRUCTION DOCUMENTS

FEBRUARY 13, 2023

SHEET INDEX:

GENERAL

G-000 COVER SHEET

CIVIL

VF-101 SURVEY COVER SHEET
VF-102 TOPOGRAPHIC AND UTILITY SURVEY
CS-101 GRADING PLAN
CU-101 UTILITY DEMO PLAN

ARCHITECTURAL

AD-101 SITE
AD-102 FLOOR PLANS

VICINITY MAP



OWNER

UNIVERSITY OF NEW MEXICO - GALLUP
700 LION HALL DR
GALLUP, NM 87301

CONSULTANTS

CIVIL
High Mesa Consulting Group
6070 Norway Park Blvd, NE
Albuquerque, New Mexico 87109
P_805.345.4250 E_805.345.4254

BIM MODEL REQUIREMENTS

BIM MODEL SUBMITTAL & COORDINATION REQUIREMENTS

All requirements noted in individual specification sections for submittal of coordination drawings and shop drawings shall be strictly followed. Item or Equipment fabrications and installations that occur prior to the approval of these drawings shall be subject to removal and replacement at no additional cost to the owner.

In addition to the required drawings noted above, contractor shall prepare BIM (Building Information Model) for the systems noted below. The intent of this BIM model is to determine conflicts and coordinate solutions that will resolve final system installation. The contractor may use the overall BIM model to generate the coordination drawings and vice-versa.

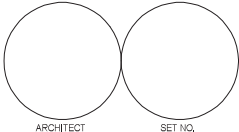
- 1. HVAC
- 2. Plumbing
- 3. Electrical
- 4. Fire Protection
- 5. Special Systems
- 6. Structural

HAZARDOUS MATERIALS

fbt | architects

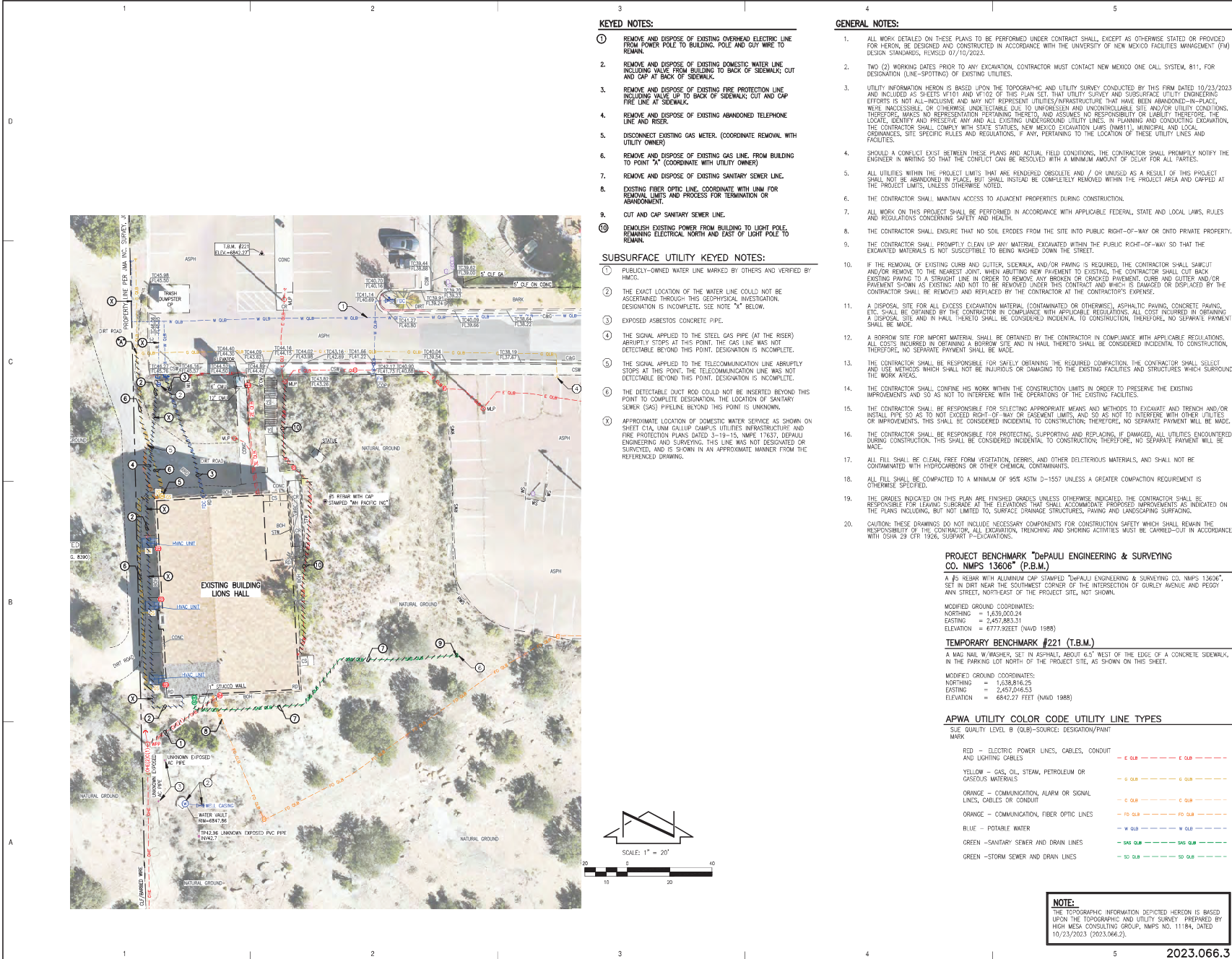
MAIL: 6501 Americas Pkwy NE Ste. 300
Albuquerque, NM 87110

PHO: 505.883.5200
FAX: 505.884.0200
WEB: www.fbtco.com



ARCHITECT

SET NO.



KEYED NOTES:

- ① REMOVE AND DISPOSE OF EXISTING OVERHEAD ELECTRIC LINE FROM POWER POLE TO BUILDING. POLE AND GUY WIRE TO REMAIN.
- ② REMOVE AND DISPOSE OF EXISTING DOMESTIC WATER LINE INCLUDING VALVE FROM BUILDING TO BACK OF SIDEWALK CUT AND CAP AT BACK OF SIDEWALK.
- ③ REMOVE AND DISPOSE OF EXISTING FIRE PROTECTION LINE INCLUDING VALVE UP TO BACK OF SIDEWALK CUT AND CAP FIRE LINE AT SIDEWALK.
- ④ REMOVE AND DISPOSE OF EXISTING ABANDONED TELEPHONE LINE AND RISER.
- ⑤ DISCONNECT EXISTING GAS METER. (COORDINATE REMOVAL WITH UTILITY OWNER)
- ⑥ REMOVE AND DISPOSE OF EXISTING GAS LINE, FROM BUILDING TO POINT "A" (COORDINATE WITH UTILITY OWNER)
- ⑦ REMOVE AND DISPOSE OF EXISTING SANITARY SEWER LINE.
- ⑧ EXISTING FIBER OPTIC LINE, COORDINATE WITH UNM FOR REMOVAL LIMITS AND PROCESS FOR TERMINATION OR ABANDONMENT.
- ⑨ CUT AND CAP SANITARY SEWER LINE.
- ⑩ DEMOLISH EXISTING POWER FROM BUILDING TO LIGHT POLE, REMAINING ELECTRICAL NORTH AND EAST OF LIGHT POLE TO REMAIN.

SUBSURFACE UTILITY KEYED NOTES:

- ① PUBLICLY-OWNED WATER LINE MARKED BY OTHERS AND VERIFIED BY H.M.C.
- ② THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. DESIGNATION IS INCOMPLETE. SEE NOTE "X" BELOW.
- ③ EXPOSED ASBESTOS CONCRETE PIPE.
- ④ THE SIGNAL APPLIED TO THE STEEL GAS PIPE (AT THE RISER) ABRUPTLY STOPS AT THIS POINT. THE GAS LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
- ⑤ THE SIGNAL APPLIED TO THE TELECOMMUNICATION LINE ABRUPTLY STOPS AT THIS POINT. THE TELECOMMUNICATION LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
- ⑥ THE DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION. THE LOCATION OF SANITARY SEWER (SAS) PIPELINE BEYOND THIS POINT IS UNKNOWN.
- ⑦ APPROXIMATE LOCATION OF DOMESTIC WATER SERVICE AS SHOWN ON SHEET C1A, UNM CALLUP CAMPUS UTILITIES INFRASTRUCTURE AND FIRE PROTECTION PLANS DATED 3-19-15, MAP# 17637, DEPAULI ENGINEERING AND SURVEYING. THIS LINE WAS NOT DESIGNATED OR SURVEYED, AND IS SHOWN IN AN APPROXIMATE MANNER FROM THE REFERENCED DRAWING.

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE UNIVERSITY OF NEW MEXICO FACILITIES MANAGEMENT (FM) DESIGN STANDARDS, REVISED 07/10/2023.
2. TWO (2) WORKING DATES PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
3. UTILITY INFORMATION HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 10/23/2023 AND INCLUDED AS SHEETS V7101 AND V7102 OF THIS PLAN SET. THAT UTILITY SURVEY AND SURFACE UTILITY ENGINEERING EFFORTS IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORSEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE LOCAL, COUNTY AND PRESENT, ANY AND ALL EXISTING UNDERGROUND UTILITY LINES, IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
5. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNKOWN AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
7. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
8. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
9. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIALS IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
10. IF THE REMOVAL OF EXISTING CURBS AND GUTTERS, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT, WHEN ABUTTING NEW PAVEMENT TO EXISTING. THE CONTRACTOR SHALL CUT BACK EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT, CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING UNDER THIS CONTRACT AND WHICH IS CONTRACT AND/OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
11. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COST INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
12. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREA.
14. THE CONTRACTOR SHALL CONTINUE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
17. ALL FILL SHALL BE C-5A, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
18. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
19. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SURFACE AT THE ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.
20. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART F-EXCAVATIONS.

PROJECT BENCHMARK *DePAULI ENGINEERING & SURVEYING CO. NMP5 13606* (P.B.M.)

A #5 REBAR WITH ALUMINUM CAP STAMPED "DePAULI ENGINEERING & SURVEYING CO. NMP5 13606", SET IN DIRT NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF GURLEY AVENUE AND PEGGY ANN STREET, NORTH EAST OF THE PROJECT SITE, NOT SHOWN.

MODIFIED GROUND COORDINATES:

NORTHING = 1,639,000.24
EASTING = 2,457,883.31
ELEVATION = 6777.922FT (NAVD 1988)

TEMPORARY BENCHMARK #221 (T.B.M.)

A MAG NAIL WRASHER, SET IN ASPHALT, ABOUT 6.5' WEST OF THE EDGE OF A CONCRETE SIDEWALK, IN THE PARKING LOT NORTH OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.

MODIFIED GROUND COORDINATES:

NORTHING = 1,638,816.25
EASTING = 2,457,248.53
ELEVATION = 6842.27 FEET (NAVD 1988)

APWA UTILITY COLOR CODE UTILITY LINE TYPES

SUE QUALITY LEVEL B (QLB)-SOURCE: DESIGNATION/PAIN MARK

RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	- E QLB ----- E QLB
YELLOW - GAS, OIL, STEAM, PETROLEUM OR CAUSTIC MATERIALS	- Y QLB ----- Y QLB
ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	- O QLB ----- O QLB
ORANGE - COMMUNICATION, FIBER OPTIC LINES	- FO QLB ----- FO QLB
BLUE - POTABLE WATER	- W QLB ----- W QLB
GREEN - SANITARY SEWER AND DRAIN LINES	- SAS QLB ----- SAS QLB
GREEN - STORM SEWER AND DRAIN LINES	- SO QLB ----- SO QLB

NOTE:

THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMP5 NO. 11184, DATED 10/23/2023 (2023.066.2).

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ARCHITECT
 J. GRAEME WEAVER
 13676
 11/10/2023
ENGINEER

UNM GALLUP - LION'S HALL DEMOLITION

CONSTRUCTION DOCUMENTS

700 LIONS HALL DR
 GALLUP, NM 87301

NOVEMBER 13, 2023

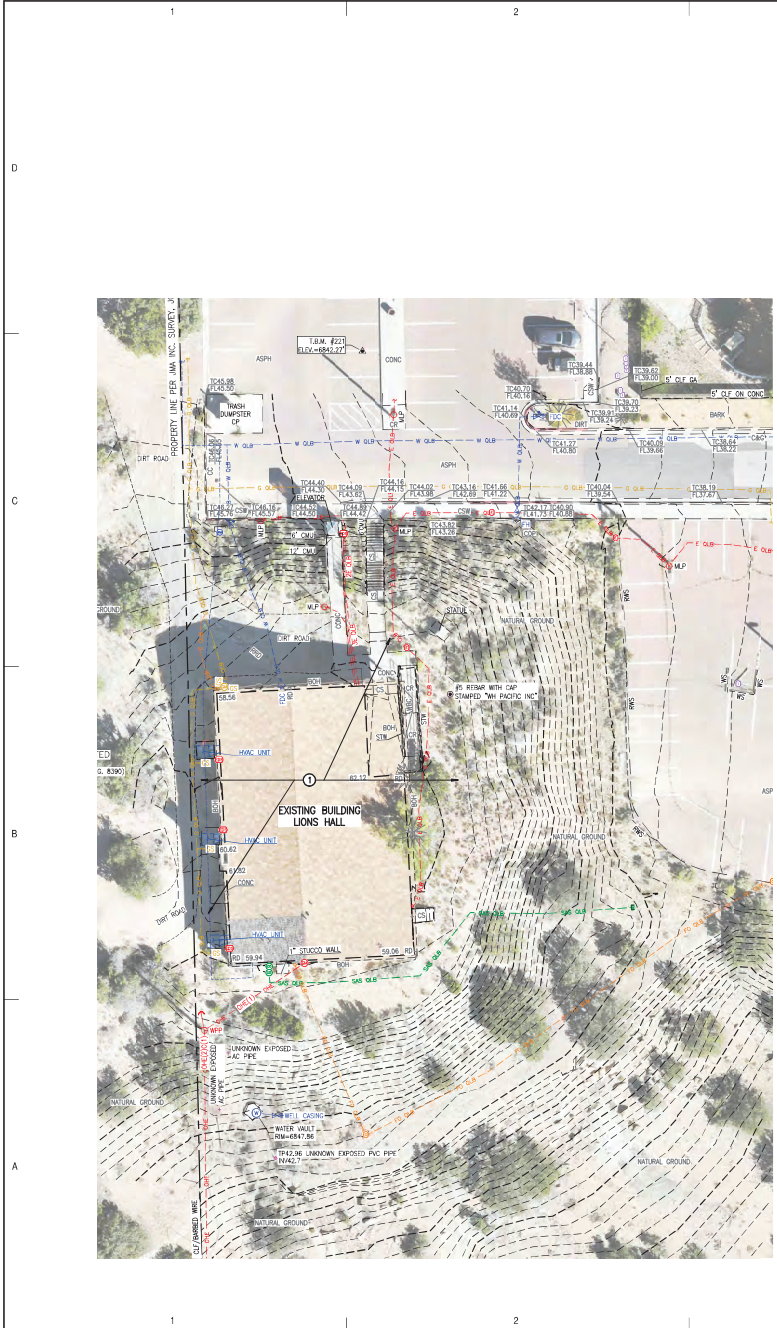
MARK	DATE	DESCRIPTION

ISSUE: CONSTRUCTION DOCUMENTS
 DATE: NOVEMBER 13, 2023
 PROJECT NO:
 DRAWN BY: J.V.R.
 CHECKED BY: G.M.

SHEET TITLE
UTILITY DEMO PLAN

CU-101

File Name: I:\data\2023\2023.06.16\20230616_CG-101 - Grad Plan.dwg - CC-01 - Plot Date: 11/10/2023 - Plot Time: 08:02



KEYED NOTES:

- ① GRADE LEVEL PAD AT 6859.0. STABILIZE WITH 4" DEPTH OF 3/4" ANGULAR GRAVEL OVER FILTER FABRIC

CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE UNIVERSITY OF NEW MEXICO FACILITIES MANAGEMENT (FM) DESIGN STANDARDS, REVISED 03/01/2018. FOR THE 2018 UNM FM DESIGN STANDARDS, REFERENCE THE FOLLOWING SPECIFICATIONS FOR EACH CONSTRUCTION CATEGORY:
 - * ASPHALT AND CONCRETE PAVEMENT: 2019 NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION
 - * SITE DRAINAGE: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2, LATEST EDITION
 - * EARTHWORK: CURRENT PROJECT SITE GEO-TECHNICAL REPORT
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXAMINE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 10/23/2023 AND INCLUDED AS SHEET UT01 AND UT02 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES, IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NMS11), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND COPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
7. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY FLOODING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
8. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

TEMPORARY BENCHMARK #221 (T.B.M.)

A 1/2" DIA. W/ W/ASHER, SET IN ASPHALT, ABOUT 6.5' WEST OF THE EDGE OF A CONCRETE SIDEWALK, IN THE PARKING LOT NORTH OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.

MODIFIED GROUND COORDINATES:
 NORTHING = 1,638,816.25
 EASTING = 2,457,046.53
 ELEVATION = 6842.27 FEET (NAVD 1988)

DESIGN GRADING LEGEND:

- | | |
|---------|----------------------------|
| INV | INERT |
| TA | TOP OF ASPHALT PAVEMENT |
| TC | TOP OF CURB |
| TG | TOP OF GRADE |
| + 53.92 | EXISTING SPOT ELEVATION |
| + 59.75 | PROPOSED SPOT ELEVATION |
| --- | EXISTING FLOWLINE |
| --- | PROPOSED FLOWLINE |
| --- | EXISTING CONTOUR |
| 59 | PROPOSED CONTOUR |
| ← | EXISTING DIRECTION OF FLOW |
| ← | PROPOSED DIRECTION OF FLOW |

NOTE:
 THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 10/23/2023 (2023.066.2).

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ARCHITECT: [Seal of J. Graeme Means, Architect, No. 13679, State of New Mexico, 11/10/2023]

ENGINEER: [Seal of J. Graeme Means, Engineer, No. 13679, State of New Mexico, 11/10/2023]

UNM GALLUP - LION'S HALL DEMOLITION

CONSTRUCTION DOCUMENTS

700 LIONS HALL DR
 GALLUP, NM 87301

NOVEMBER 13, 2023

MARK	DATE	DESCRIPTION
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ISSUE:	CONSTRUCTION DOCUMENTS
DATE:	NOVEMBER 13, 2023
PROJECT NO:	
DRAWN BY:	J.Y.R.
CHECKED BY:	G.M.

SHEET TITLE
GRADING PLAN

CG-101

2023.066.3



VICINITY MAP GALLUP, NM
NOT TO SCALE

INDEX OF DRAWINGS

- COVER SHEET, NOTES, VICINITY MAP, KEYED NOTES
- TOPOGRAPHIC AND UTILITY SURVEY WITH UAV BASED IMAGERY, LEGENDS

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVEL DESCRIPTIONS

- QUALITY LEVEL B (QLB) – HORIZONTAL UTILITY LOCATIONS ASCERTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODOLOGIES AND UTILITY LOCATING TECHNIQUES, ALSO REFERRED TO AS DESIGNATION OR LINE-SPOTTING.
- QUALITY LEVEL C (QLC) – SURVEYING OF VISIBLE SURFACE FEATURES.
- QUALITY LEVEL D (QLD) – UTILITY INFORMATION DERIVED FROM EXISTING UTILITY RECORDS AND VARIOUS RESOURCES OF UTILITY INFORMATION INCLUDING, BUT NOT LIMITED TO, RECORD OR AS-BUILT DRAWINGS, SITE UTILITY PLANS, DISTRIBUTION AND SERVICE MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASES, ORAL RECOLLECTIONS, ETC.

SUBSURFACE UTILITY NOTES

- UTILITIES SHOWN ARE A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY AND SUBSEQUENTLY SURVEYED BY HIGH MESA CONSULTING GROUP, AS A GENERAL GUIDELINE, ASCE STANDARD 38-22 (STANDARD GUIDELINE FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES) HAS BEEN FOLLOWED FOR GATHERING AND PRESENTING THE LEVEL OF UTILITY INFORMATION THAT HAS BEEN REQUESTED FOR THIS PROJECT. SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B AND C HAVE BEEN COMPLETED AT THIS TIME.
- SUBSURFACE UTILITY DESIGNATION HAS BEEN BASED UPON RECORD DRAWING INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES FOUND WITHIN THE PROJECT LIMITS. RESULTS OF THIS UTILITY DESIGNATION EFFORT HAVE BEEN CORRELATED TO EXISTING AS-BUILT OR RECORD DRAWINGS AND/OR SITE UTILITY PLANS THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL UTILITY LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY KEYED NOTES ON SHEET 2 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES BELOW AND ON SHEET 2, AND DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO HMCG NMB11 DESIGN LOCATE REQUEST (NMB11 TICKET 235280137, 09/28/23 8566AM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY HMCG BASED UPON SURFACE EVIDENCE AND UTILITY RECORD INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NMB11 HAS BEEN PROVIDED BELOW.

NMB11 UTILITY OWNER/OPERATOR LIST	NAME	TELEPHONE NUMBER
CITY OF GALLUP – ELECTRIC & WATER	1-505-863-1285	
CITY OF GALLUP – WATER & WASTEWATER	1-505-863-1285	
NEW MEXICO GAS COMPANY – GALLUP	1-505-796-2897	
CENTURYLINK LOCAL NETWORK CENTRAL	1-800-283-4237	
UNIVERSITY OF NEW MEXICO (UNM)	1-505-277-8996	

*TELEPHONE NUMBERS OBTAINED THROUGH NMB11 WEB PORTAL
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSCURED BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NMB11), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

SUBSURFACE UTILITY KEY NOTES

- PUBLICLY-OWNED WATER LINE MARKED BY OTHERS AND VERIFIED BY HMCG.
- THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. DESIGNATION IS INCOMPLETE.
- EXPOSED ASBESTOS CONCRETE PIPE.
- THE SIGNAL APPLIED TO THE STEEL GAS PIPE (AT THE RISER) ABRUPTLY STOPS AT THIS POINT. THE GAS LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
- THE SIGNAL APPLIED TO THE TELECOMMUNICATION LINE ABRUPTLY STOPS AT THIS POINT. THE TELECOMMUNICATION LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
- THE DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION. THE LOCATION OF SANITARY SEWER (SAS) PIPELINE BEYOND THIS POINT IS UNKNOWN.

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT THE SITE ON FEBRUARY 16, 2022 AND VERIFIED ON OCTOBER 5, 2023. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GROUND MODEL 18(CONUS) TO ESTABLISH HORIZONTAL AND VERTICAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE.

THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. A CONTROL STATION "ICE BOX" IN THE VICINITY OF THE PROJECT WAS OBSERVED IN ORDER TO PROVIDE A REFERENCE TIE TO THE SITE. ALL HORIZONTAL COORDINATES ARE IMPROVED NAD 83 GRID VALUES AND HAVE BEEN ADJUSTED TO THE GROUND AT THE PROJECTION POINT. (THE SCALE FACTOR USED IS 1/CF=1.0003237634). THE MONUMENT USED TO PROJECT FROM GRID TO GROUND FOR THIS PROJECT IS A #5 REBAR WITH ALUMINUM CAP STAMPED "DePAULI ENGINEERING & SURVEYING CO. NMPS 13606". SET IN GROUND AT THE NORTHWEST CORNER OF TRACT C WITH NAD GRID COORDINATES OF:

NORTHING= 1,639,000.24 FEET LATITUDE= 35°30'04.98660" NORTH
EASTING= 2,457,883.31 FEET LONGITUDE= 108°43'27.71230"

THE ELEVATIONS ARE BASED UPON THE NAVD DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

PROJECT BENCHMARK "DePAULI ENGINEERING & SURVEYING CO. NMPS 13606" (P.B.M.)

A #5 REBAR WITH ALUMINUM CAP STAMPED "DePAULI ENGINEERING & SURVEYING CO. NMPS 13606". SET IN GROUND NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF GURLEY AVENUE AND FEGGY ANN STREET, NORTHEAST OF THE PROJECT SITE, NOT SHOWN.

MODIFIED GROUND COORDINATES:
NORTHING = 1,639,000.24
EASTING = 2,457,883.31
ELEVATION = 6777.922ET (NAVD 1988)

TEMPORARY BENCHMARK #220 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT, ABOUT 23' SOUTH OF THE BACK OF A CONCRETE CURB, IN THE PARKING LOT EAST OF THE PROJECT SITE, AS SHOWN ON SHEET 2.

MODIFIED GROUND COORDINATES:
NORTHING = 1,638,745.44
EASTING = 2,457,222.69
ELEVATION = 6635.77 FEET (NAVD 1988)

TEMPORARY BENCHMARK #221 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT, ABOUT 6.5' WEST OF THE EDGE OF A CONCRETE SIDEWALK, IN THE PARKING LOT NORTH OF THE PROJECT SITE, AS SHOWN ON SHEET 2.

MODIFIED GROUND COORDINATES:
NORTHING = 1,638,814.25
EASTING = 2,457,048.53
ELEVATION = 6842.27 FEET (NAVD 1988)

TEMPORARY BENCHMARK #222 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT, ABOUT 20.5' NORTH OF THE EDGE OF ASPHALT, IN THE PARKING LOT EAST OF THE PROJECT SITE, AS SHOWN ON SHEET 2.

MODIFIED GROUND COORDINATES:
NORTHING = 1,638,647.39
EASTING = 2,457,266.28
ELEVATION = 6834.65 FEET (NAVD 1988)

GENERAL NOTES

- A TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED IN OCTOBER, 2023. THIS IS NOT A BOUNDARY SURVEY OR RIGHT-OF-WAY SURVEY. BOUNDARY INFORMATION SHOWN IS FOR INFORMATION ONLY AND IS BASED ON THE SURVEY EFFORTS PREPARED BY THIS FIRM AND SIGNED IN MARCH 2022, AND JANUARY 2007.
- SITE LOCATED WITHIN SECTION 27, TOWNSHIP 15 NORTH, RANGE 18 WEST, N.M.P.M.
- ORTHOPHOTOGRAPHY WAS CAPTURED BY HMCG UNMANNED AERIAL VEHICLE (UAV) ON OCTOBER 5, 2023.
- ALL DISTANCES ARE GROUND DISTANCES.
- THIS SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY THIS FIRM OR OTHER CONSULTANTS HAVE BEEN CONDUCTED BASED UPON NVD 29 DATUM OR A LOCAL DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.

SURVEYORS CERTIFICATION

I, CHARLES G. CALA, JR., NEW MEXICO PROFESSIONAL SURVEYOR NO. 11184, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC AND UTILITY SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Charles G. Cala, Jr.
CHARLES G. CALA, JR., NMPS 11184



10/23/2023
DATE

**COVER SHEET
LIONS HALL - UNM GALLUP CAMPUS
GALLUP, NM**

SURVEYED BY	NO.	DATE	BY	REVISIONS		JOB NO.
				NO.	DATE	
J.P.U.						2023.066.2
E.E.S.						10-2023
C.G.C.						VF-101

LEGEND

AC	ASBESTOS CONCRETE PIPE	GRV	GRAVEL
AR3	ASPHALT RUNDOWN	INV	INVERT ELEVATION
ASPH	ASPHALT	IRR	IRRIGATION
BSH	BUILDING OVERHANG	MR	MANHOLE
BWALL	BRICK WALL	MFR	METAL HANDRAIL
COM	COMMUNICATION	MS	METAL SIGN
C&G	CURB AND GUTTER	DHC(2)	OVERHEAD COMMUNICATION (# OF LINES)
CB	CONCRETE BUILDING COLUMN	DHE(2)	OVERHEAD ELECTRIC (# OF LINES)
CC	CONCRETE CURB	PVC	POLYVINYL CHLORIDE
CCOL	CONCRETE COLUMN	RD	ROOF DRAIN
CDP	CONCRETE DRIVE PAD	RRR	RIVER ROCK
CHW	CONCRETE HEADER WALL	RSD	ROCK RUNDOWN
C	CENTERLINE	RWS	ROW OF WHEEL STOPS
CLD	CENTERLINE OF DOOR	SAS	SANITARY SEWER
CLD2	CENTERLINE OF DOUBLE DOOR	SD	STORM DRAIN
CLF	CHAINLINK FENCE	SDI	STORM DRAIN INLET
CMP	CORRUGATED METAL PIPE	SEP	STEEL GROUND POST
CMU	CONCRETE MASONRY UNIT	STD	STANDARD
CMC	CONCRETE	STP	STEEL POLE
COP	CURB OPENING	STW	STUCCO WALL
CP	CONCRETE PAD	SW	SIDEWALK
CR	CONCRETE RAMP	SWC	SIDEWALK CULVERT
CRD	CONCRETE RUNDOWN	TA	TOP OF ASPHALT
CS	CONCRETE STEPS	TC	TOP OF CURB
CSW	CONCRETE SIDEWALK	TCO	TOP OF CONCRETE
CG	CONCRETE WALL	TO	TOP OF GRAVEL
DGA	DOUBLE GATE	TW	TOP OF WALL
DW	DRAINWAY	TYP	TYPICAL
EA	EDGE OF ASPHALT	VG	VALLEY GUTTER
EC	EDGE OF CONCRETE	WB	WOOD BEHOH
EXST	EXISTING	WBC	WOOD BUILDING COLUMN
FL	FLOWLINE	WOR	WOOD CHAIR RAMP
GA	GATE	WS	WHEEL STOP
GCN	CONDUIT	WV	WATER VAULT
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		
GM	CONCRETE MANHOLE		

APWA UTILITY COLOR CODE UTILITY LINE TYPES

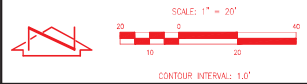
SUE QUALITY LEVEL B (QLB)-SOURCE: DESIGNATION/PAINT MARK

RED	ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	— E 0.8 — E 0.8 — E 0.8 — E 0.8 —
YELLOW	GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	— G 0.8 — G 0.8 — G 0.8 — G 0.8 —
ORANGE	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	— C 0.8 — C 0.8 — C 0.8 — C 0.8 —
ORANGE	COMMUNICATION, FIBER OPTIC LINES	— F 0.8 — F 0.8 — F 0.8 — F 0.8 —
BLUE	POTABLE WATER	— W 0.8 — W 0.8 — W 0.8 — W 0.8 —
GREEN	SANITARY SEWER AND DRAIN LINES	— SAS 0.8 — SAS 0.8 — SAS 0.8 — SAS 0.8 —
GREEN	STORM SEWER AND DRAIN LINES	— SO 0.8 — SO 0.8 — SO 0.8 — SO 0.8 —

- SUBSURFACE UTILITY KEY NOTES**
- PUBLICLY-OWNED WATER LINE MARKED BY OTHERS AND VERIFIED BY HMGC.
 - THE EXACT LOCATION OF THE WATER LINE COULD NOT BE ASCERTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION. DESIGNATION IS INCOMPLETE.
 - EXPOSED ASBESTOS CONCRETE PIPE.
 - THE SIGNAL APPLIED TO THE STEEL GAS PIPE (AT THE RISER) ABRUPTLY STOPS AT THIS POINT. THE GAS LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
 - THE SIGNAL APPLIED TO THE TELECOMMUNICATION LINE ABRUPTLY STOPS AT THIS POINT. THE TELECOMMUNICATION LINE WAS NOT DETECTABLE BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
 - THE DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION. THE LOCATION OF SANITARY SEWER (SAS) PIPELINE BEYOND THIS POINT IS UNKNOWN.



HIGH MESA Consulting Group
 6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87110
 Phone: 505.243.4250 • Fax: 505.243.4254 • www.highmesaeng.com

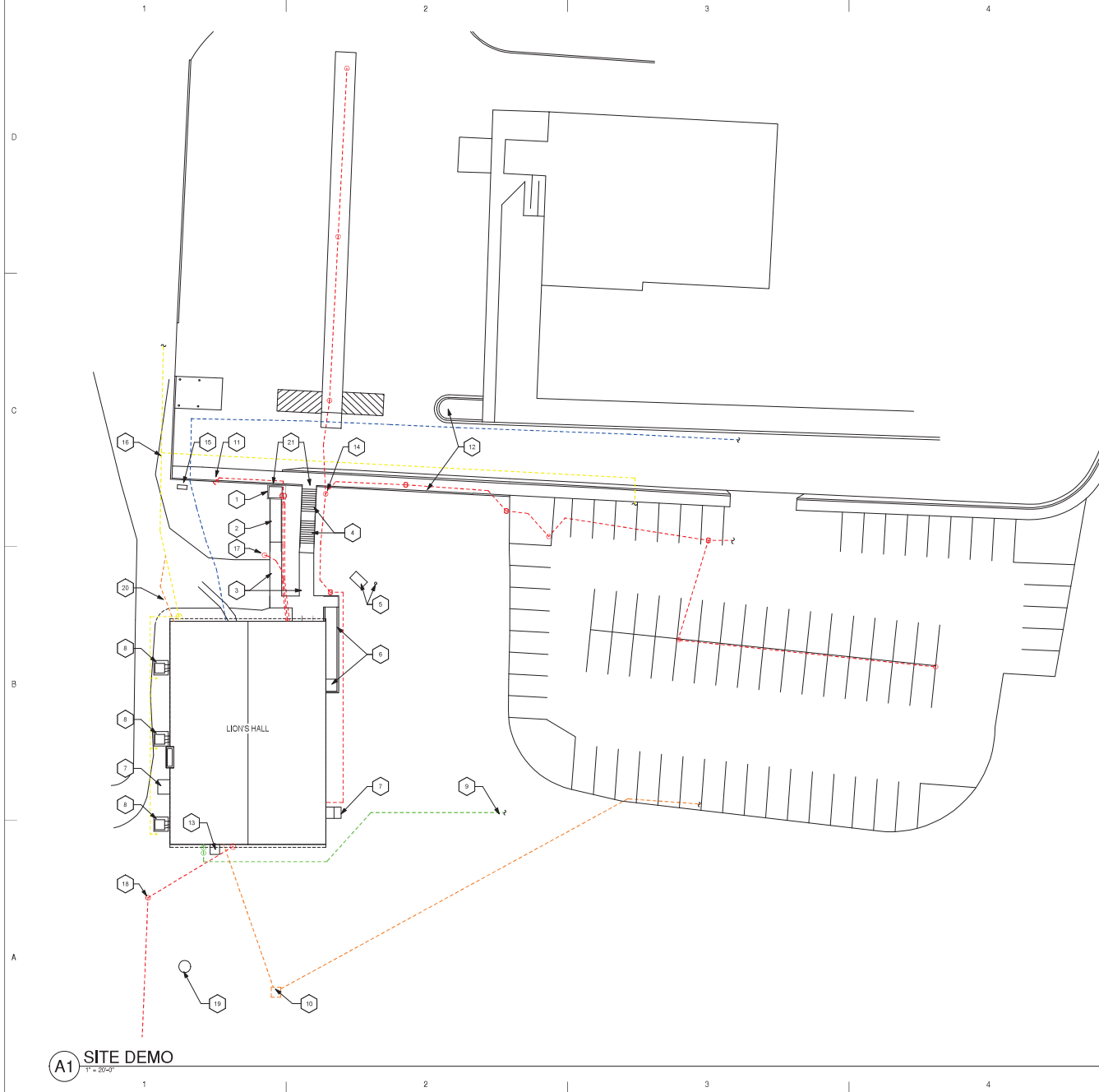


TOPOGRAPHIC AND UTILITY SURVEY
LIONS HALL - UNM GALLUP CAMPUS
GALLUP, NM

NO.	DATE	BY	REVISIONS

SURVED BY: J.P.U.	JOB NO: 2023.066.2
DRAWN BY: E.E.S.	DATE: 10-2023
APPROVED BY: C.G.C.	VF-102

File Name: F:\mesa\20230225\06_23\UNM\20230625_Topog-Eng-081623.rvt File Date: 10/20/23 File Time: 11:55



A1 SITE DEMO
T = 20'-0"

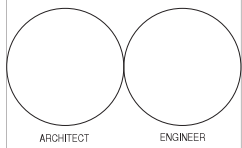
GENERAL NOTES

- A. DEMOLITION SHALL BE EXECUTED CAREFULLY. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MINIMIZE INTERFERENCE TO ADJACENT SCHOOL FUNCTIONS.
- B. THIS DRAWING INDICATES THE INTENT OF DEMOLITION AT EXISTING BUILDINGS. NO ATTEMPT HAS BEEN MADE TO SHOW EACH AND EVERY SURFACE, ELEVATION, DETAIL, ETC.. THE CONTRACTOR IS ADVISED TO VISIT THE JOB SITE TO BECOME FAMILIAR WITH THE SCOPE OF WORK PRIOR TO BIDDING.
- C. THE CONTRACTOR SHALL CAREFULLY EXECUTE DEMOLITION / REMOVAL WORK IDENTIFIED HEREIN AND PERFORM ALL DEMOLITION IN THE SHORTEST TIME POSSIBLE. ITEMS SHALL BE REUSED OR REMOVED AS NOTED. DEMOLISHED MATERIALS SHALL BE LEGALLY REMOVED FROM THE SITE IMMEDIATELY.
- D. ROOM NAMES AND NUMBERS ON THE DEMOLITION PLANS ARE FOR EXISTING SPACES AND PERFORM TO DEMOLITION DRAWINGS ONLY.
- E. UTILITIES: LOCATED ALL EXISTING ACTIVE UTILITIES AND DETERMINE ALL REQUIREMENTS FOR DISCONNECTION, RECONNECTION, REROUTING OR CAPPING. CONTRACTOR SHALL PROTECT ALL UTILITIES DEEMED TO REMAIN FROM DAMAGE. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT THE ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITIES DISCONNECT, RECONNECT, REPAIR, DEMOLITION WORK, AND CONSTRUCTION AS REQUIRED. CONTRACTOR SHALL COORDINATE ANY UTILITIES INTERRUPTIONS WITH THE OWNER A MINIMUM OF 10 DAYS IN ADVANCE. FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET AND SITE UTILITY, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS.
- F. CONTRACTOR IS RESPONSIBLE TO SALVAGE OR RECYCLE AS MUCH OF THE BUILDING MATERIALS AS POSSIBLE. COORDINATE WITH THE OWNER AND ARCHITECT PRIOR TO START OF BUILDING DEMOLITION.
- G. SALVAGE ITEMS PRIOR TO CONSTRUCTION. OWNER SHALL REMOVE ALL ITEMS TO BE SALVAGED OR MARK ITEMS FOR SALVAGE. THIS INCLUDES ALL EQUIPMENT, FURNITURE, MECHANICAL, ELECTRICAL, AND SPECIAL SYSTEMS ITEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY ITEMS REMAINING, UNLESS NOTED OTHERWISE.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO STEEL STRUCTURE, ROOFING SYSTEM AND STRUCTURAL DECK, CONCRETE FLOOR SLAB, MASONRY / CONCRETE STEM WALLS AND FOOTINGS, EXTERIOR WALLS, INTERIOR PARTITIONS, MECHANICAL, ELECTRICAL, PLUMBING, SPECIAL SYSTEMS EQUIPMENT, FINISHES, FIXTURES, CASEWORK, FLOORING, CEILING, DOORS, WINDOWS, FURNISHINGS, ETC.
- I. ALL DEMOLITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING BUILDING ELEMENTS REQUIRED TO COMPLETE GRADING.
- J. A PRE-DEMOLITION COORDINATION MEETING WITH THE ARCHITECT, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERS AS WELL AS THE OWNER IS REQUIRED. **NO EXCEPTIONS.**
- K. AT AREAS OF NEW WORK, REMOVE TREES, SHRUBS, TURF AND BRUSH AS REQUIRED TO COMPLETE SITE GRADING AND BUILDING CONSTRUCTION.
- L. PATCH AND REPAIR ALL ASPHALT, CONCRETE, SOIL, OTHER SITE ELEMENTS AS NECESSARY.

KEYED NOTES

- 1 DEMOLISH EXISTING ELEVATOR LIFT AND ALL ASSOCIATED ELECTRICAL IN ITS ENTIRETY.
- 2 DEMOLISH EXISTING PEDESTRIAN BRIDGE AND HANDRAIL IN ITS ENTIRETY.
- 3 DEMOLISH EXISTING SITE CONCRETE.
- 4 DEMOLISH EXISTING SITE CONCRETE STAIR AND HANDRAIL.
- 5 DEMOLISH EXISTING SITE CONCRETE STAND AND FLAG POLE IN THEIR ENTIRETY.
- 6 DEMOLISH EXISTING SITE CONCRETE RAMP AND HANDRAIL.
- 7 DEMOLISH EXISTING SITE CONCRETE.
- 8 DEMOLISH EXISTING SITE CONCRETE AND MECHANICAL EQUIPMENT IN ITS ENTIRETY. DISCONNECT GAS LINE AND DEMO PER CIVIL, TYPICAL.
- 9 DEMOLISH EXISTING SANITARY SEWER PIPING AND CLEANOUT AND OTHER COMPONENTS IN THEIR ENTIRETY. CAP AT THIS LOCATION.
- 10 DEMOLISH EXISTING REAR OPTIC CABLES AND ANY OTHER COMPONENTS IN THEIR ENTIRETY TO UTILITY BOX.
- 11 DISCONNECT POWER TO LIGHT POLE.
- 12 EXISTING FIRE HYDRANT AND FDC TO REMAIN.
- 13 DEMOLISH EXISTING STRUCTURE ATTACHED TO BUILDING IN ITS ENTIRETY.
- 14 DEMOLISH EXISTING POWER FROM BUILDING TO LIGHT POLE. REPAIRING ELECTRICAL NORTH AND EAST OF LIGHT POLE TO REMAIN.
- 15 DEMOLISH EXISTING WATER LINE TO METER AND CAP.
- 16 DEMOLISH EXISTING GAS LINE FROM BUILDING AND CAP AT "I" INTERSECTION.
- 17 DEMOLISH EXISTING LIGHT POLE AND ASSOCIATED ELECTRICAL IN ITS ENTIRETY.
- 18 DEMOLISH EXISTING OVERHEAD POWER LINE AND DISCONNECT AT POWER POLE. COORDINATE EXTERIOR AND WITH UTILITY COMPANY.
- 19 EXISTING WELL TO REMAIN.
- 20 DEMOLISH EXISTING COMMUNICATION CABLE IN ITS ENTIRETY.
- 21 EXISTING SIDEWALK TO REMAIN. PATCH AND REPAIR SIDEWALK AT DEMO LOCATION AND MATCH EXISTING.

CONSULTANTS



UNM GALLUP - LION'S HALL DEMOLITION

CONSTRUCTION DOCUMENTS

700 LION HALL DR
GALLUP, NM 87301

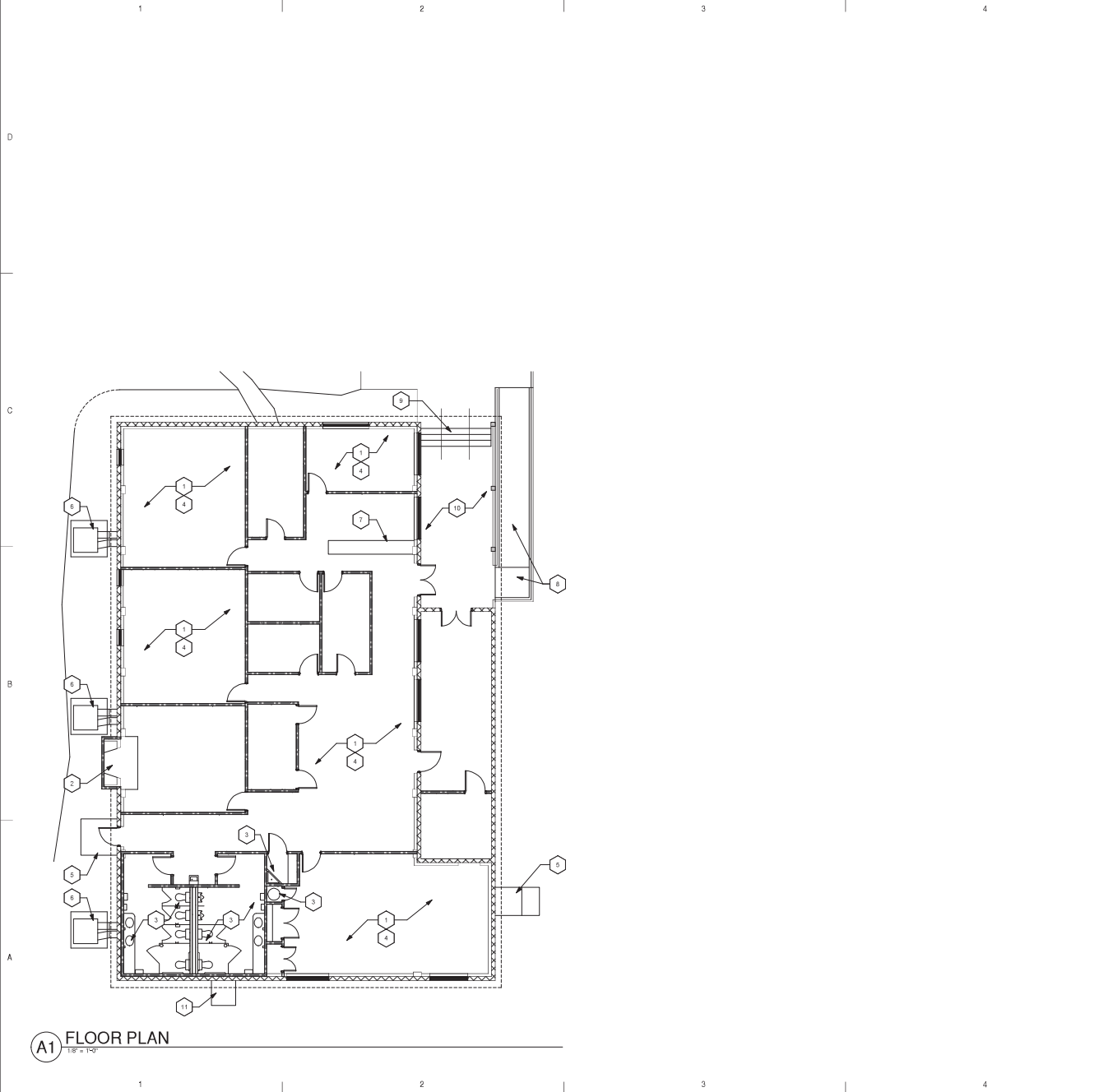
NOVEMBER 13, 2023

MARK	DATE	DESCRIPTION

ISSUE:	CONSTRUCTION
DATE:	NOVEMBER 13, 2023
PROJECT NO:	
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET TITLE
SITE

ASD-101



A1 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- A. DEMOLITION SHALL BE EXECUTED CAREFULLY. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MINIMIZE INTERFERENCE TO ADJACENT SCHOOL FUNCTIONS.
- B. THE DRAWING INDICATES THE INTENT OF DEMOLITION AT EXISTING BUILDING. NO ATTEMPT HAS BEEN MADE TO SHOW EACH AND EVERY SURFACE, ELEVATION, DETAIL, ETC. THE CONTRACTOR IS ADVISED TO VISIT THE JOB SITE TO BECOME FAMILIAR WITH THE SCOPE OF WORK PRIOR TO BIDDING.
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- E. UTILITIES LOCATED ALL EXISTING ACTIVE UTILITIES AND DETERMINE ALL REQUIREMENTS FOR DISCONNECTION, RECONNECTION, RESERVING OR CAPPING. CONTRACTOR SHALL PROTECT ALL UTILITIES DESIGNATED TO REMAIN FROM DAMAGE. ANY DAMAGES TO EXISTING UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITION COST TO THE OWNER. CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITIES RECONNECT, RECONNECT, TEST, DEMOLITION WORK, AND CONSTRUCTION AS REQUIRED. CONTRACTOR SHALL COORDINATE ANY UTILITIES INTERRUPTING WITH THE OWNER A MINIMUM OF 10 DAYS IN ADVANCE. FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET AND SITE UTILITY, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS.
- F. CONTRACTOR IS RESPONSIBLE TO SALVAGE OR RECYCLE AS MUCH OF THE BUILDING MATERIALS AS POSSIBLE. COORDINATE WITH THE OWNER AND ARCHITECT PRIOR TO START OF BUILDING DEMOLITION.
- G. SALVAGE ITEMS PRIOR TO CONSTRUCTION. OWNER SHALL REMOVE ALL ITEMS TO BE SALVAGED OR MARK ITEMS FOR SALVAGE. THIS INCLUDES ALL EQUIPMENT, FURNITURE, MECHANICAL, ELECTRICAL AND SPECIAL SYSTEMS ITEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY ITEMS REMAINING, UNLESS NOTED OTHERWISE.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO STEEL STRUCTURE, ROOFING SYSTEM AND STRUCTURAL DECK, CONCRETE FLOOR SLAB, MASONRY / CONCRETE STEM WALLS AND FOOTINGS, EXTERIOR WALLS, INTERIOR PARTITIONS, MECHANICAL, ELECTRICAL, PLUMBING, SPECIAL SYSTEMS, EQUIPMENT, FINISHES, FIXTURES, CASEWORK, FLOORING, CEILING, DOORS, WINDOWS, FURNISHINGS, ETC.
- I. ALL DEMOLITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING BUILDING ELEMENTS REQUIRED TO COMPLETE GRADING.
- J. A PRE-DEMOLITION COORDINATION MEETING WITH THE ARCHITECT, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERS, AS WELL AS THE OWNER IS REQUIRED. NO EXCEPTIONS.
- K. AT AREAS OF NEW WORK, REMOVE TREES, SHRUBS, TURF AND BRUSH AS REQUIRED TO COMPLETE SITE GRADING AND BUILDING CONSTRUCTION.
- L. PATCH AND REPAIR ALL ASPHALT, CONCRETE, SOO, OTHER SITE ELEMENTS AS NECESSARY.

KEYED NOTES

- 1. DEMOLISH EXISTING BUILDING IN ITS ENTIRETY, TYPICAL.
- 2. DEMOLISH EXISTING FIREPLACE-BRICK WITH REINFORCED SLAB.
- 3. DEMOLISH EXISTING PLUMBING FIXTURES AND ACCESSORIES IN THEIR ENTIRETY.
- 4. DEMOLISH EXISTING ELECTRICAL AND PLUMBING SYSTEMS IN THE BUILDING IN THEIR ENTIRETY. SEE SITE PLAN FOR EXTEND OR DEMO.
- 5. DEMOLISH EXISTING SITE CONCRETE.
- 6. DEMOLISH EXISTING SITE CONCRETE AND MECHANICAL EQUIPMENT IN ITS ENTIRETY, TYPICAL.
- 7. DEMOLISH EXISTING CASEWORK IN ITS ENTIRETY, TYPICAL.
- 8. DEMOLISH EXISTING SITE CONCRETE RAMP AND HANDRAIL.
- 9. DEMOLISH EXISTING SITE CONCRETE STAIR AND HANDRAIL.
- 10. DEMOLISH EXISTING BUILDING PORTAL IN ITS ENTIRETY.
- 11. DEMOLISH EXISTING STRUCTURE ATTACHED TO BUILDING IN ITS ENTIRETY.

fbt | architects
 804L 601 America Play NE Suite 100
 Albuquerque, NM 87118
 PHO: 505.801.5200
 FAX: 505.824.2389
 WEB: www.fbtarch.com

CONSULTANTS

Blank area for consultant information.

Two circular stamps for ARCHITECT and ENGINEER.

UNM GALLUP - LION'S HALL DEMOLITION

CONSTRUCTION DOCUMENTS

700 LION HALL DR
 GALLUP, NM 87301

NOVEMBER 13, 2023

MARK	DATE	DESCRIPTION

ISSUE:	CONSTRUCTION
DATE:	NOVEMBER 13, 2023
PROJECT NO:	
DRAWN BY:	JDM
CHECKED BY:	SBJ

SHEET TITLE
FLOOR PLANS

AD-101

**REQUEST FOR CAPITAL PROJECT CONSTRUCTION APPROVAL for
ANIMAL CARE FACILITY UPGRADE IN CASTETTER HALL
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **Animal Care Facility Upgrade in Castetter Hall on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The project focuses on the build-out of undeveloped space in the Biology Animal Research Facility (ARF), Castetter Hall (building #A0021) room # 1 (779 SF). The project will build out the remaining shell space for the much-needed additional vertebrae housing and research space for dissection, converting the space into three additional rooms. The project completes the HVAC expansion needed for the facility, including ducting from mixing valves to new spaces, balancing airflow, and making the humidifier operational for the entire space. We will also separate the existing building mechanical that is in the shell space from the ARF.

PROJECT RATIONALE:

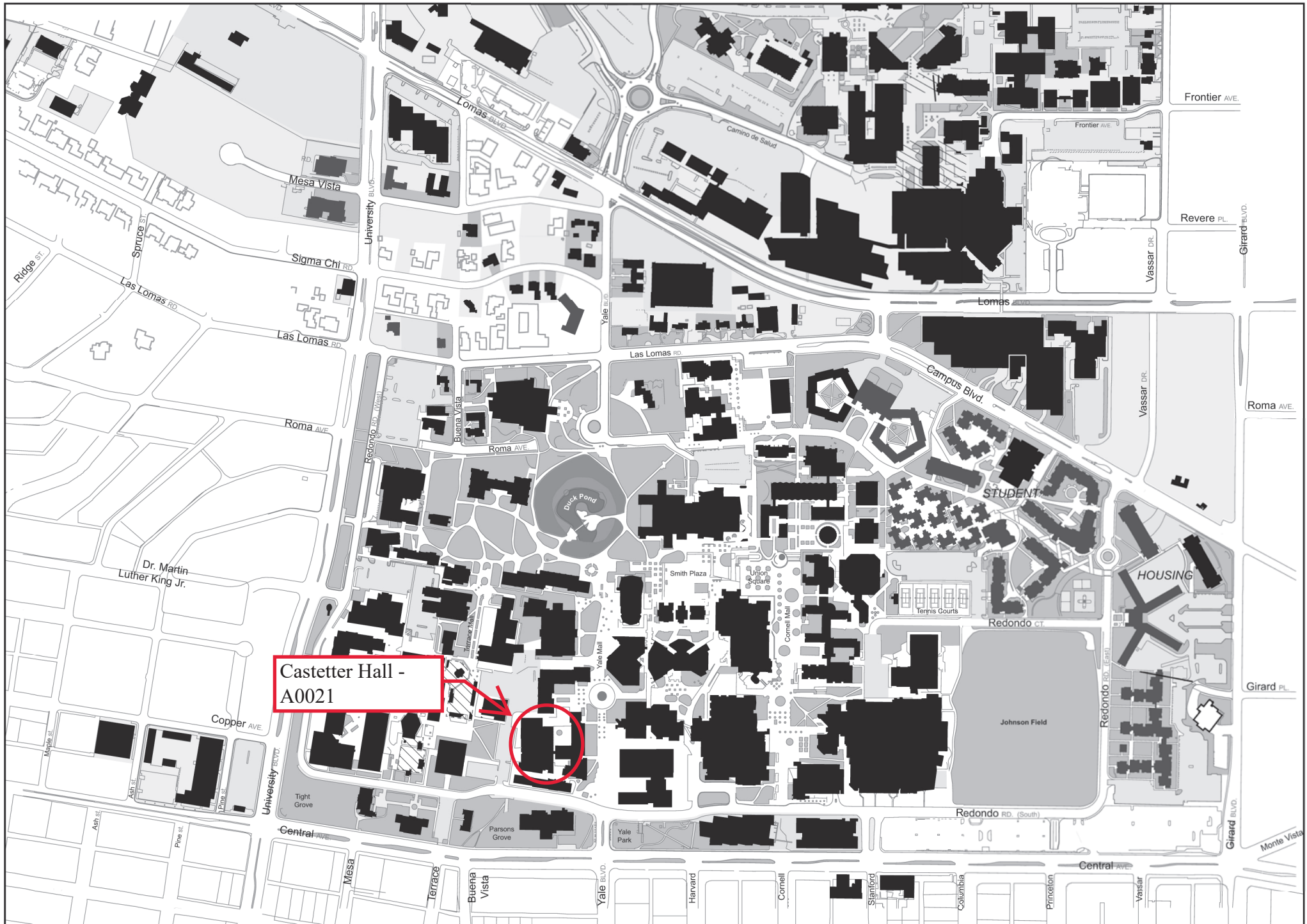
Castetter Hall was originally built in 1952 and the ARF occupies space that has required a series of renovations to be completed as funding becomes available to maintain the highest standards of animal care and compliance. UNM Biology serves 1,300 undergraduate majors, and 100 graduate students, teaches supporting courses for a large number of pre-health programs (nursing, EMS, physical therapy, etc), and maintains a high level of research funding (\$75M in external research funding FY13-18). If this project is not funded, it would prevent the Biology Department from fully implementing its research initiative. It will also impact the future hiring of faculty to support the anticipated growth and expansion of the department.

FUNDING:

The total estimated Project Budget is: \$329,999.00

- \$200,000.00 is funded from 2023 Severance Tax Bonds
- \$43,333.00 FY23 I&G Funding
- \$86,666.00 FY23 Other Department Funding

The University of New Mexico - Central Campus



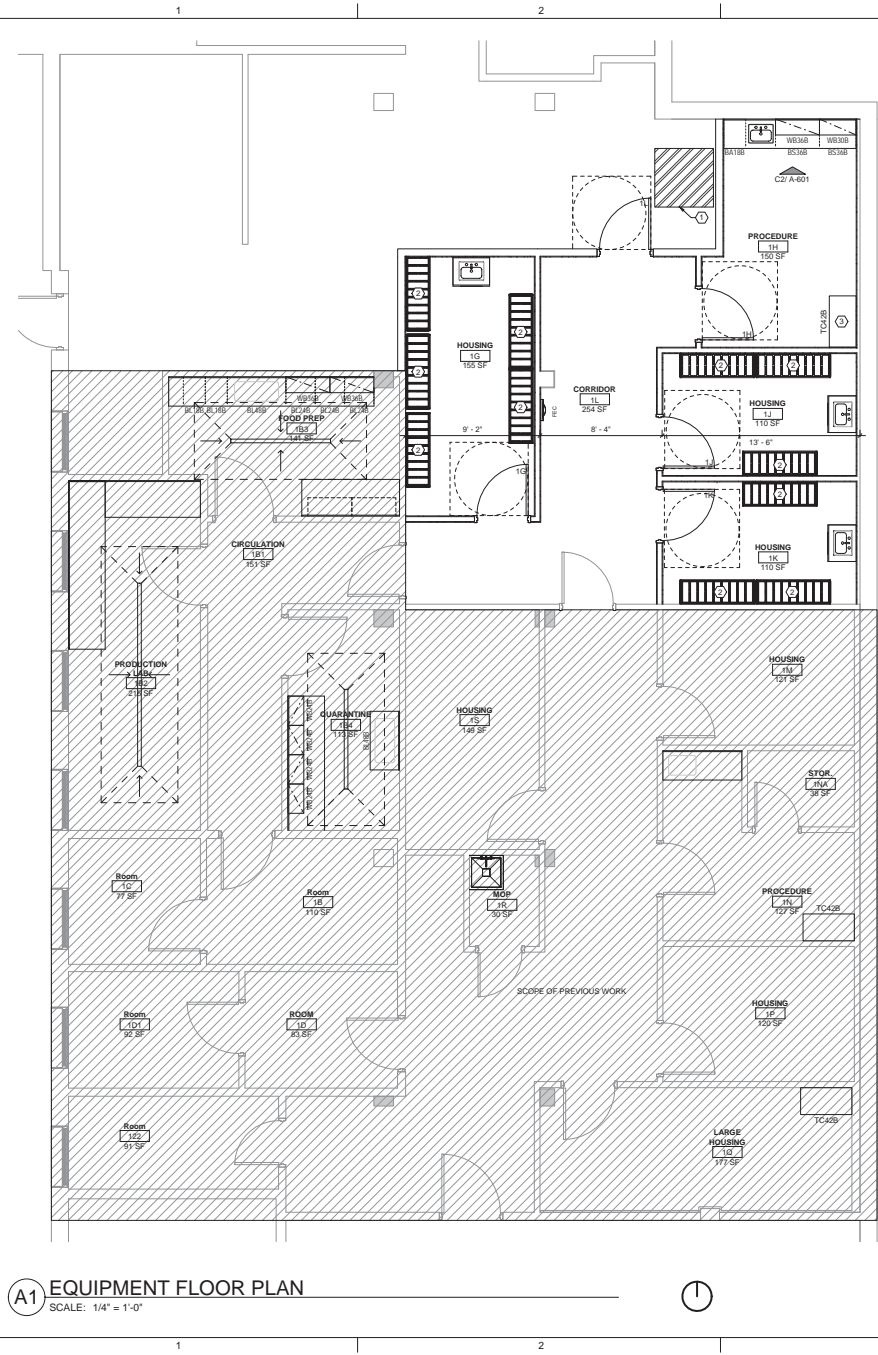
PROJECT NUMBER: 23-011

C

B

A

DATE: 10/24/2024
DRAWN BY: V&A
CHECKED BY: RRV



SHEET KEYNOTES - SHEET A-102

1	EXISTING SUMP PUMP FROM PH2
2	VENTILATED ANIMAL BACK (TYP.) PROVIDED & INSTALLED BY OWNER
3	VENTILATED WORKSPACE (TYP.) PROVIDED & INSTALLED BY OWNER



95% CD
NOT FOR
CONSTRUCTION

01/24/2024

CASTETTER HALL ARF PHASE 3

UNIVERSITY OF NEW MEXICO

EQUIPMENT FLOOR PLAN

DATE: 10/24/2024
DRAWN BY: V&A
CHECKED BY: RRV

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

A-102

PROJECT NUMBER: 23-011

A1 EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT NUMBER: 23-011

D

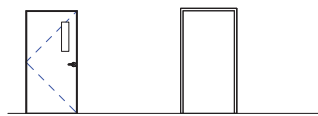
C

B

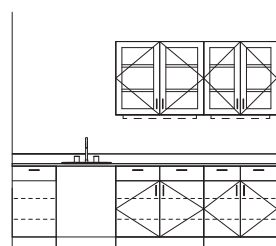
A

DATE: 12/24/2024
DRAWN BY: V&A
CHECKED BY: RRV

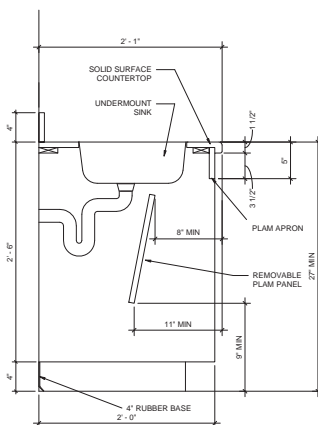
DOOR SCHEDULE													
DOOR #	ROOM NAME	DOOR				RATIN G	HEW R	FRAME			COMMENTS		
		WD	HGT	THK	MATL			MAT L	TYPE	HEAD		JAMB	THRESHOLD
1G	HOUSING	3'-6"	7'-0"	1 3/4"	HM	A		HM	1	A-601 D4	A-601 C4	A-601 B4	
1H	PROCEDURE	3'-6"	7'-0"	1 3/4"	HM	A		HM	1	A-601 D4	A-601 C4	A-601 B4	
1J	HOUSING	3'-6"	7'-0"	1 3/4"	HM	A		HM	1	A-601 D4	A-601 C4	A-601 B4	
1K	HOUSING	3'-6"	7'-0"	1 3/4"	HM	A		HM	1	A-601 D4	A-601 C4	A-601 B4	
1L	CORRIDOR	3'-6"	7'-0"	1 3/4"	HM	A		HM	1	A-601 D4	A-601 C4	A-601 B4	



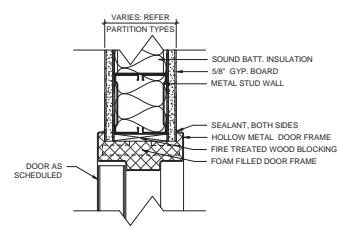
D2 DOOR AND FRAME TYPES
SCALE: 1/4" = 1'-0"



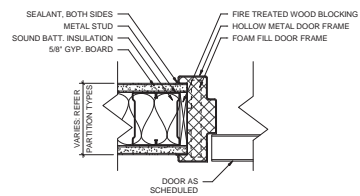
C2 PROCEDURE NORTH INT ELEVATION
SCALE: 1/2" = 1'-0"



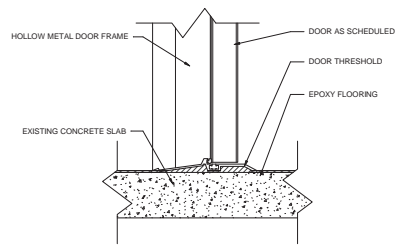
B2 CASEWORK DETAIL
SCALE: 1 1/2" = 1'-0"



D4 INTERIOR DOOR HEAD
SCALE: 3" = 1'-0"



C4 INTERIOR DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



B4 INTERIOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"



95% CD
NOT FOR
CONSTRUCTION

01/24/2024

DETAILS

CASTETTER HALL ARF PHASE 3

UNIVERSITY OF NEW MEXICO

DATE	REVISION

A-601

PROJECT NUMBER: 23-011

TAB 4

#4

Consent Items:

Project Construction Re-Approval (all items above \$2 Million):

1. Center for Collaborative Arts & Technology (Presenter: Tabia Murray Allred, Strategic Planner, Institutional Support Services)



INSTITUTIONAL
SUPPORT
SERVICES

**MEMORANDUM TO ADVANCE
COMMITTEE AGENDA ITEM TO
THE BOARD OF REGENTS
THE UNIVERSITY OF NEW MEXICO**

DATE: May 2, 2024

TO: Teresa Costantinidis, Executive VP of Finance &
Administration

FROM: Tabia Murray Allred, Executive Director, Vice President Office for
Institutional Support Services

RE: Requested Approval

RECOMMENDED ACTION:

Recommend to the Board of Regents Finance and Facilities Committee the following requests for Project Construction Approval, for projects greater than \$2 Million:

1. Center for Collaborative Arts & Technology

cc: M. Dion, M. Bailey – PDC

**REQUEST FOR CAPITAL PROJECT APPROVAL for
UNM-CENTER FOR COLLABORATIVE ARTS AND TECHNOLOGY
UNIVERSITY OF NEW MEXICO**

May 2, 2024

REQUESTED ACTION:

In accordance with Section 7.12 of the Board of Regents Policy Manual and as required by the New Mexico Higher Education Department and New Mexico State Board of Finance, project approval is requested for the **UNM-Center for Collaborative Arts and Technology on the Albuquerque Central Campus.**

PROJECT DESCRIPTION:

The Center for Collaborative Arts and Technology (CCAT) project is a new facility designed to be 58,000 gross square feet. The building will house:

- **600 Seat Multi-Purpose Performance Theater – Music, Opera, Film, and Lecture:**
The primary use of this space will be as a fully accessible concert hall designed to provide excellent natural acoustic volume for large ensembles (approximately 100 musicians).
- **Arts Lab – State-of-the-Art Technology Research and Development:**
The CCAT will be the new home for Arts Lab, a multi-disciplinary research facility and exhibition space serving UNM and the greater New Mexico Community.
- **Sound Stage – Education in Film and Digital Arts:**
The sound stage will be the first of its kind on the central campus, serving the fast-growing Film and Digital Media department with a state-of-the-art facility for studio-based cinematography and lighting design for film and theater
- **Gallery-Ongoing Student and Faculty Exhibitions:**
The 1000-square-foot Art Gallery will create a prominent space for making visible student and faculty work.
- **Classroom:**
A 50-seat classroom will house classes for the entire CFA and will be designed to support conventional lecture and seminar classes as well as a range of other teaching activities for the visual and performing arts.
- **Public Spaces:**
The public spaces are conceived as a civic amenity for the UNM campus as well as Albuquerque. It will not only serve the students and the surrounding area but will become a prominent destination for experiencing and engaging with the arts.

All building service spaces for information technology (IT), mechanical, electrical, and plumbing systems (MEP) will be provided per UNM Standards and Guidelines.

PROJECT RATIONALE:

The College of Fine Arts (CFA) is the “heart of the arts” in New Mexico. It should maintain a leadership role in cultivating future creatives and audiences, convening across sectors to engage new partners and opportunities, expanding the role of artists in civic life, and building upon a rich foundation to advance an increasingly critical creative workforce. The vision of CCAT is to support this effort and prepare current and future students for emerging careers and entrepreneurship opportunities in the Arts.

This new facility is part of the 10-year vision to enable the CFA to provide an interdisciplinary approach to learning, which is not currently possible in the existing 1970s facilities CFA occupies. The new facility is key to unlocking and enabling moves that allow for consolidation and re-purposing of existing CFA spaces. The program, first introduced in the 2019 Integrated Plan, has been vetted and altered to meet the needs and direction established in the current College of Fine Arts Framework Plan.

If this project does not proceed:

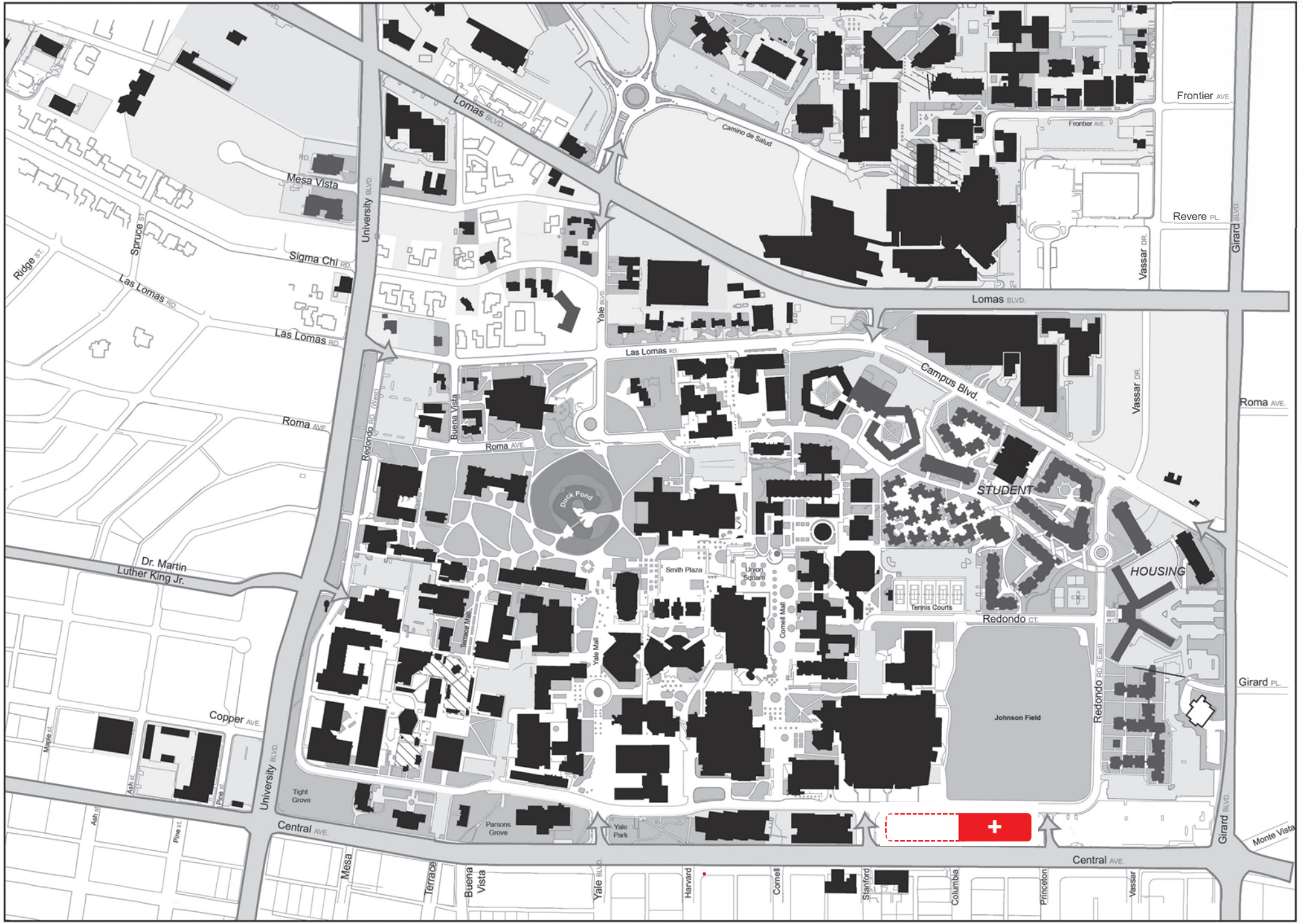
- Future Arts students will be less inclined to attend due to outdated facilities,
- Music and Operatic performers’ practical experience will continue to be limited,
- Film and Digital Arts programs will not have a central campus Soundstage location,
- Experimental Arts Programs will not be able to expand their growth potential,
- Classroom space for CFA Departments will be limited, and
- Collaborative opportunities for Arts programs will result in less robust educational opportunities.

FUNDING:

The total estimated Project Budget is: \$ 82,135,428

- New Mexico General Obligation Bonds 2022 - \$45,000,000
- UNM Institutional Bonds FY23 - \$20,000,000
- Bond Interest - \$1,000,000
- Philanthropy (Current Balance) - \$2,952,000
- Provost Funding - \$2,000,000
- Institutional Backstop - \$11,183,428

The University of New Mexico - Central Campus



NORTHWEST ENTRY



ELEVATIONAL VIEWS



CENTRAL (SOUTH) SIDE

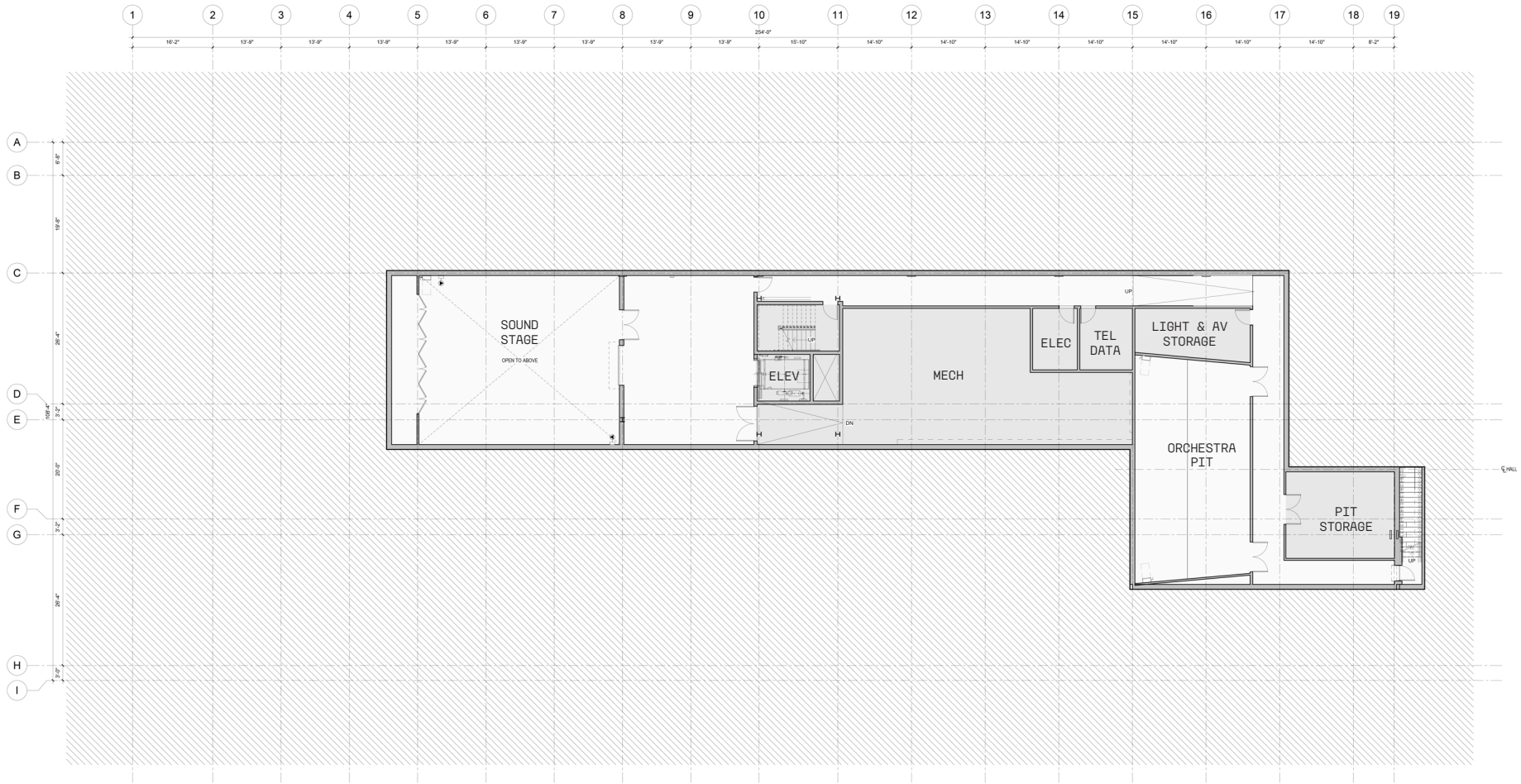


CAMPUS (NORTH) SIDE

MULTI-PURPOSE CONCERT HALL

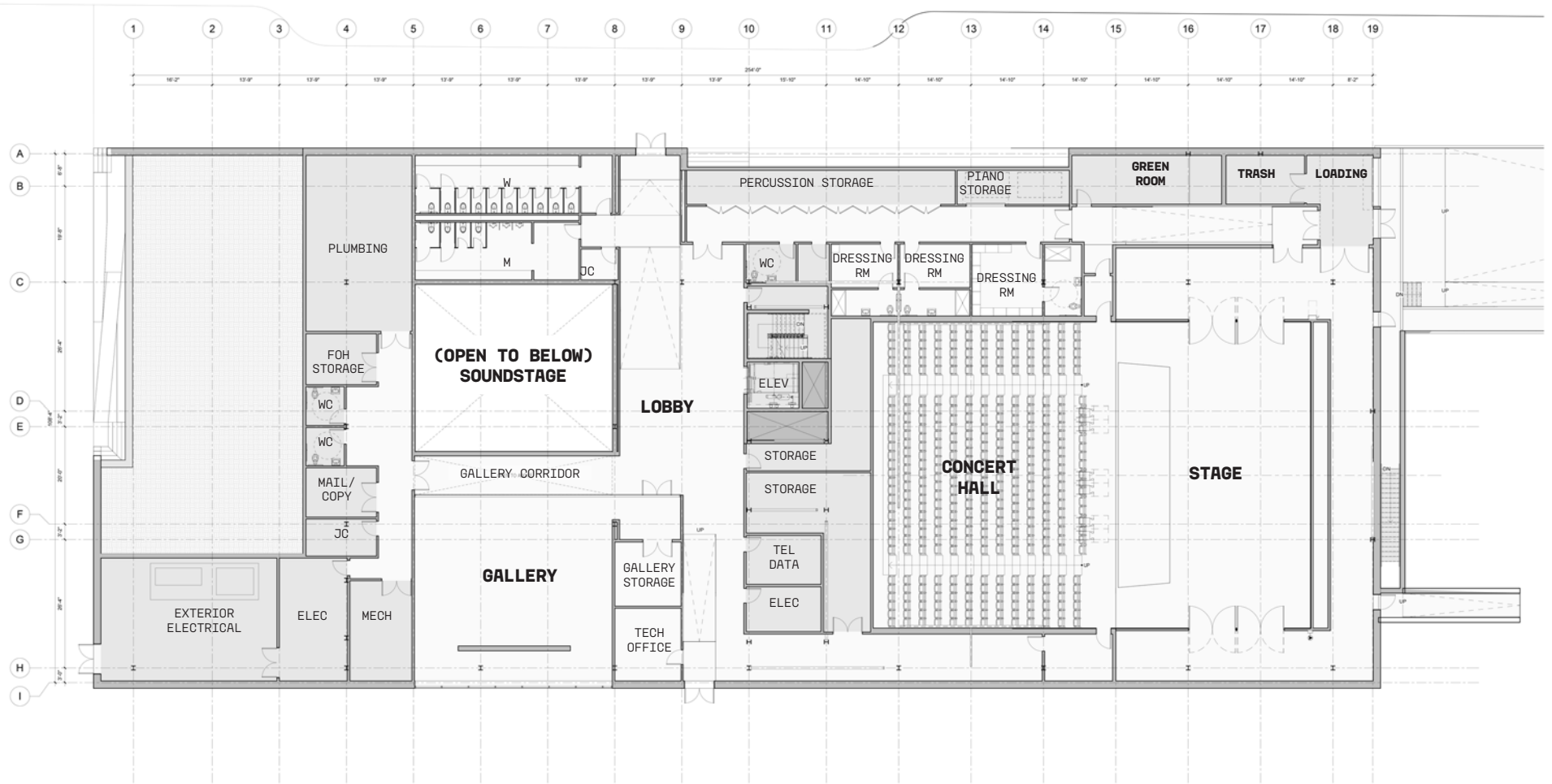


FLOOR PLAN



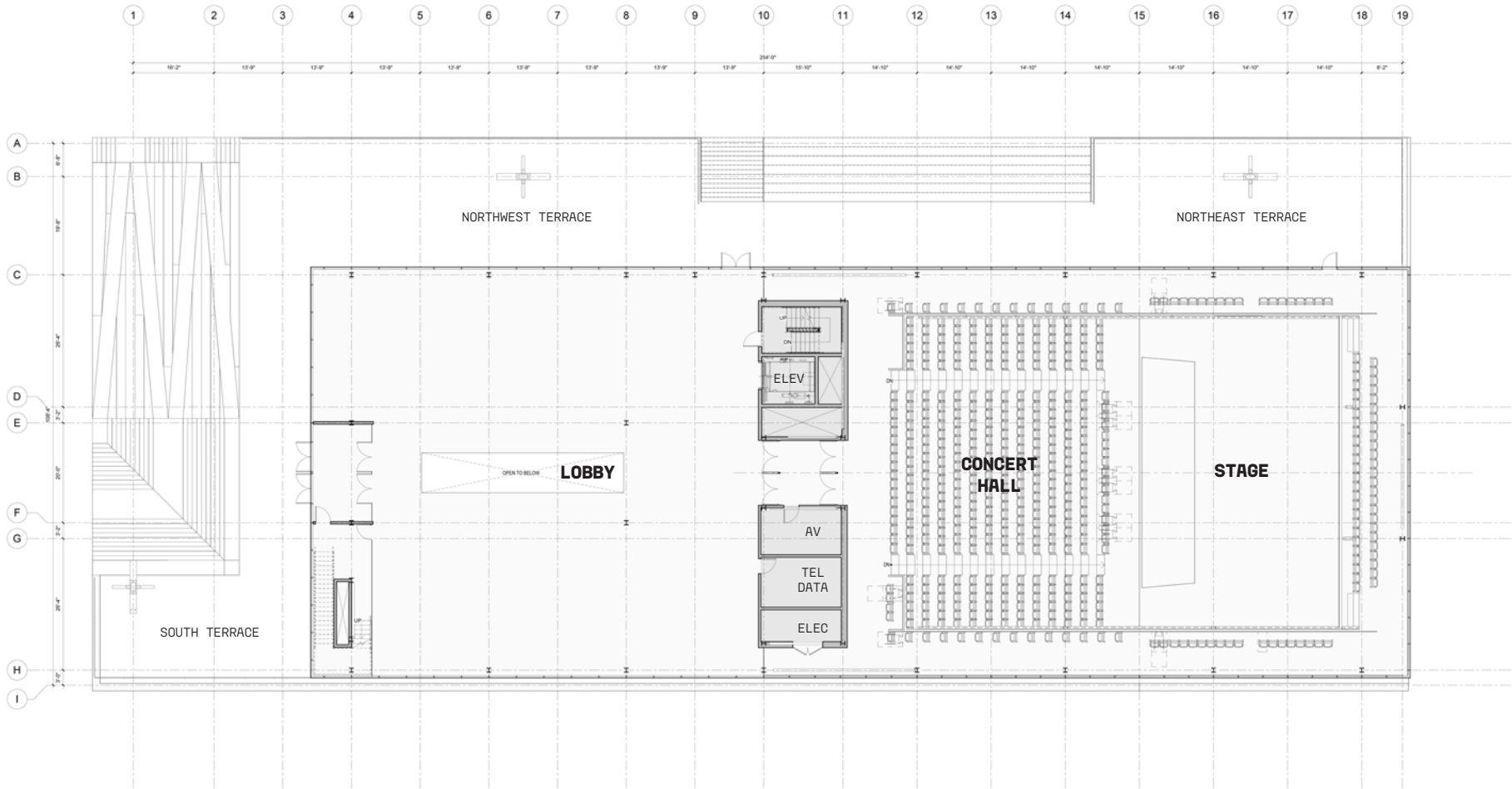
BASEMENT FLOOR PLAN
 SCALE: 1/32" = 1'-0"

FLOOR PLAN



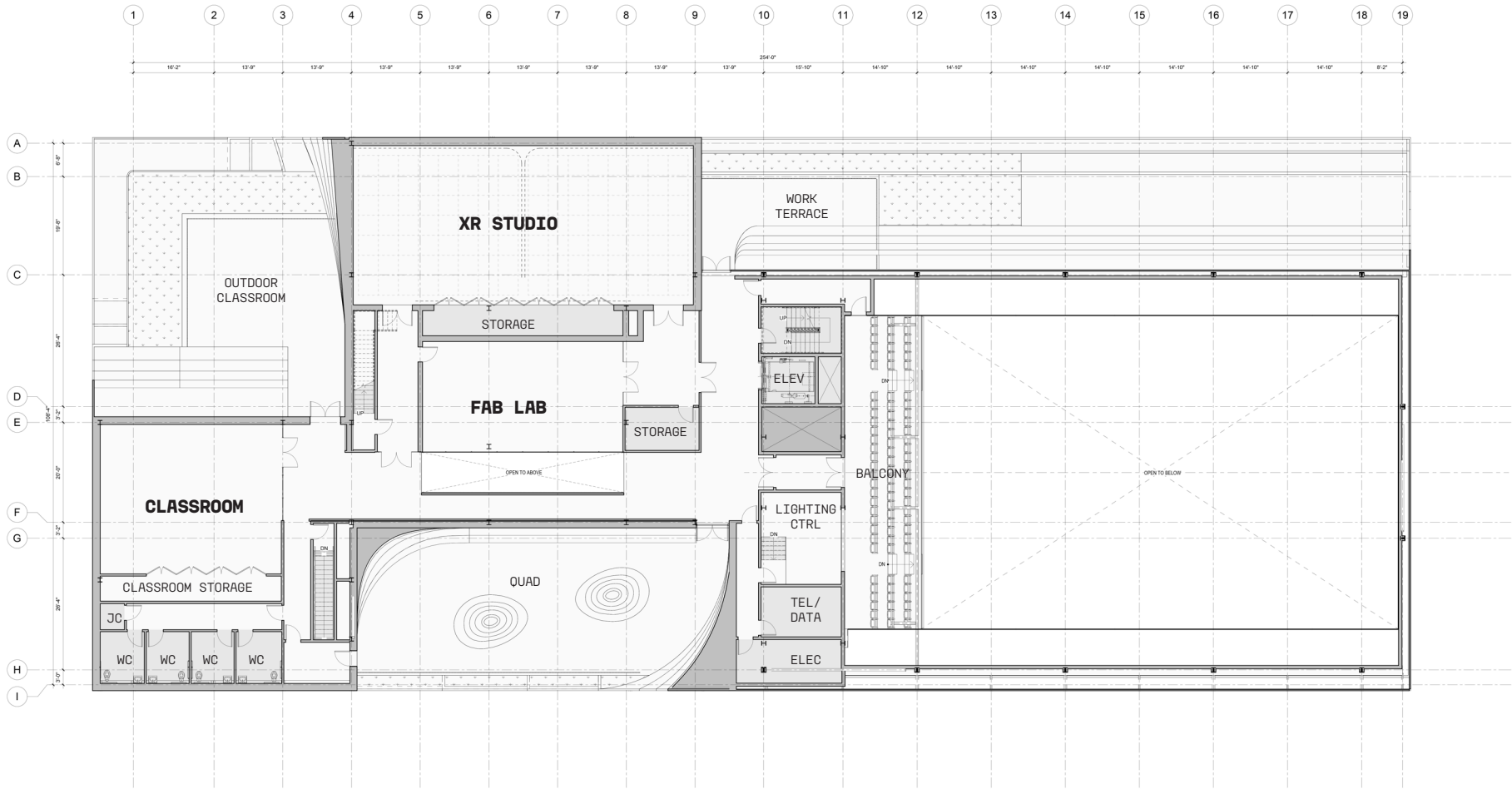
FIRST FLOOR PLAN
SCALE: 1/32" = 1'-0"

FLOOR PLAN



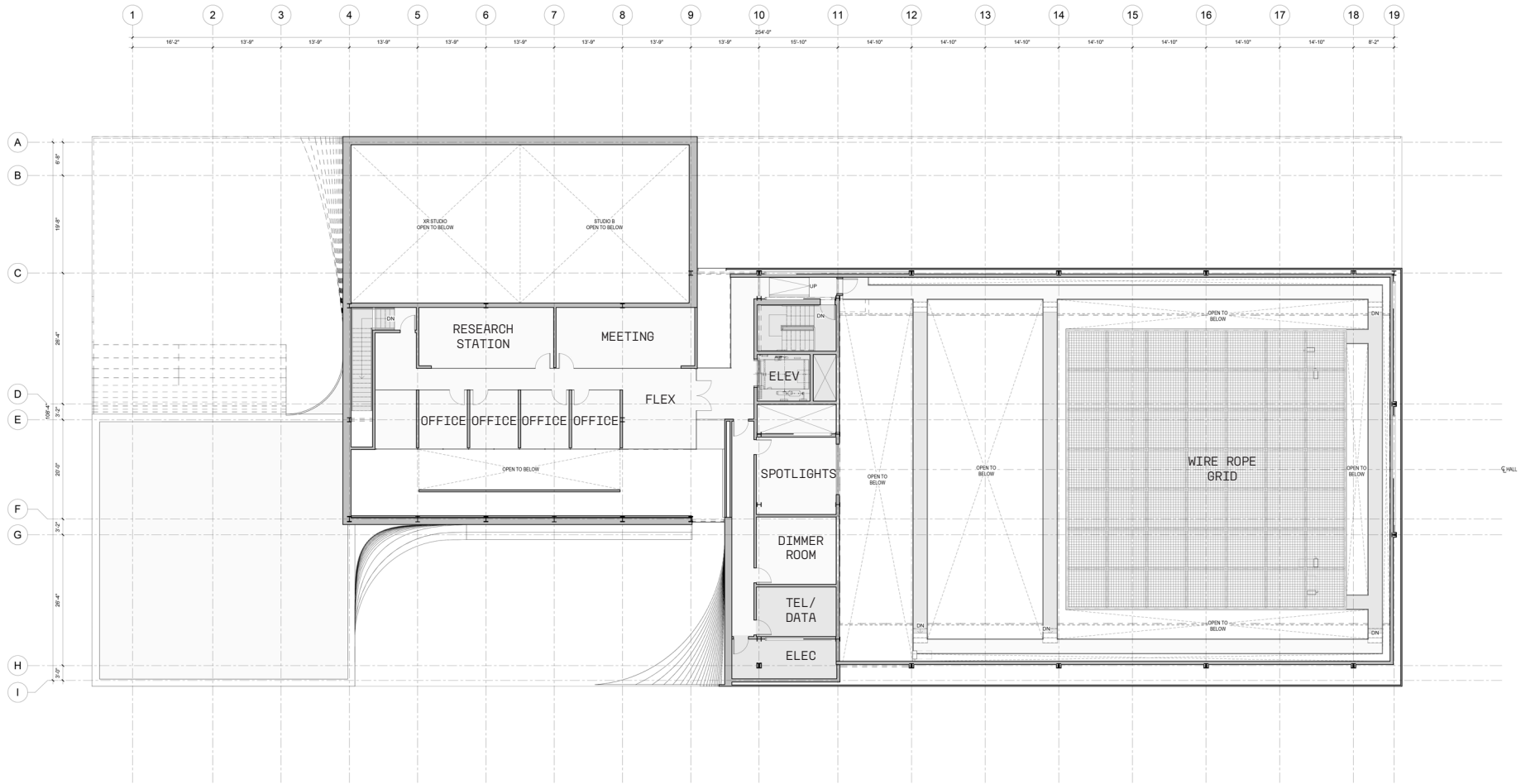
SECOND FLOOR PLAN
SCALE: 1/32" = 1'-0"

FLOOR PLAN



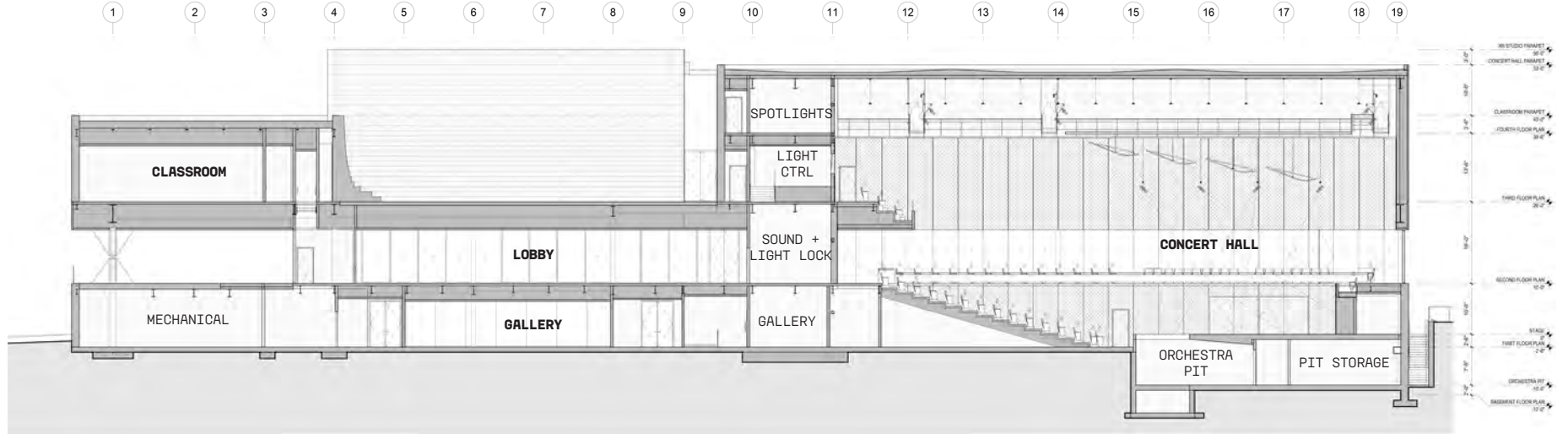
THIRD FLOOR PLAN
SCALE: 1/32" = 1'-0"

FLOOR PLAN

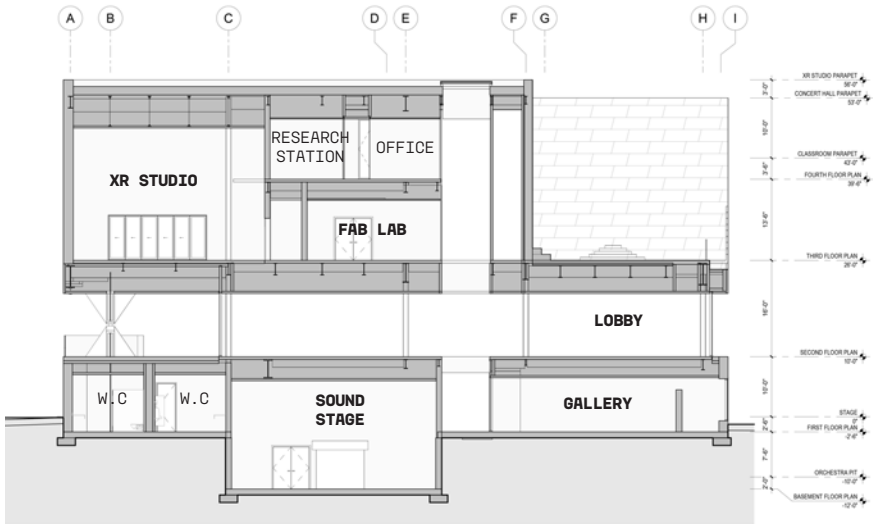


FOURTH FLOOR PLAN
SCALE: 1/32" = 1'-0"

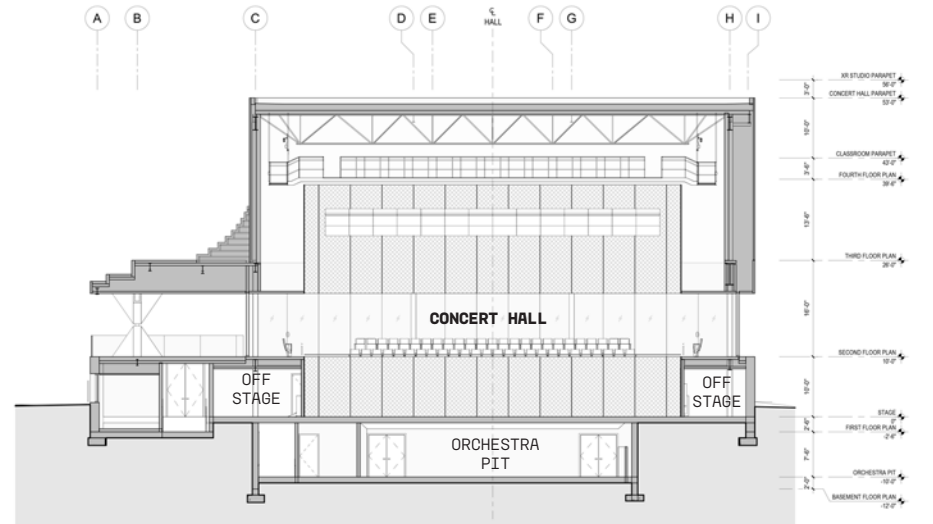
BUILDING SECTIONS



LONGITUDINAL SECTION
SCALE: 1/32" = 1'-0"

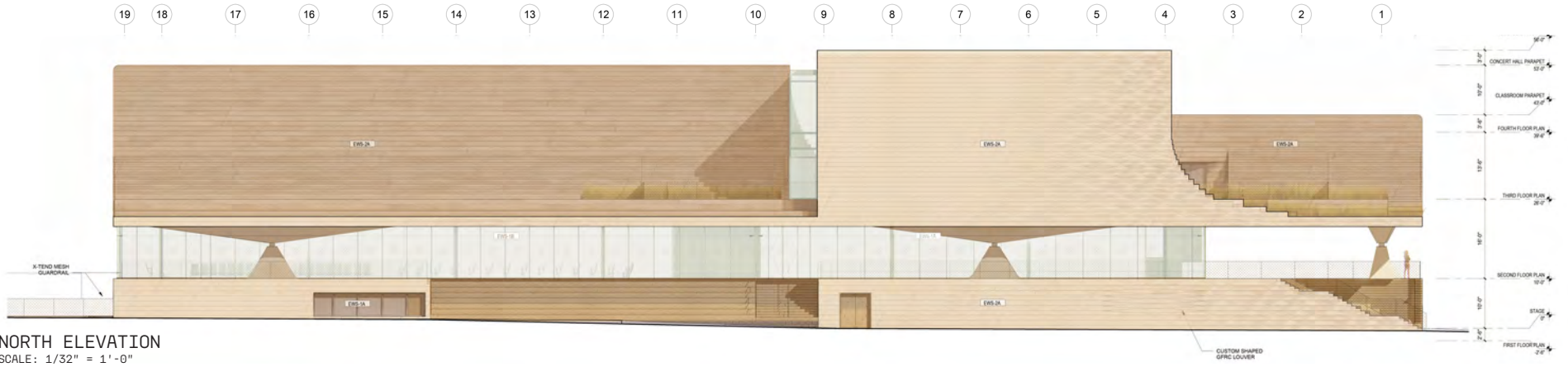


CROSS SECTION AT LOBBY
SCALE: 1/32" = 1'-0"

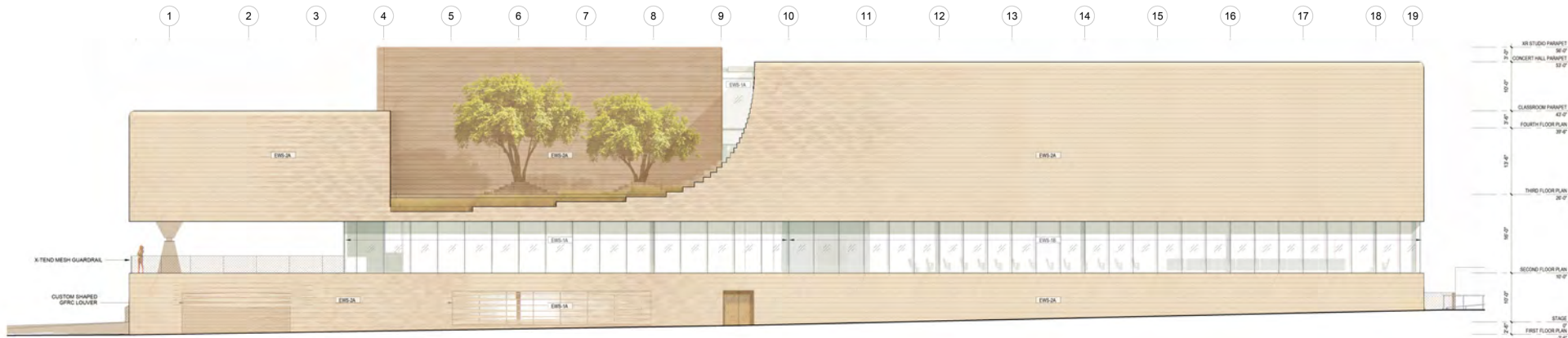


CROSS SECTION AT HALL
SCALE: 1/32" = 1'-0"

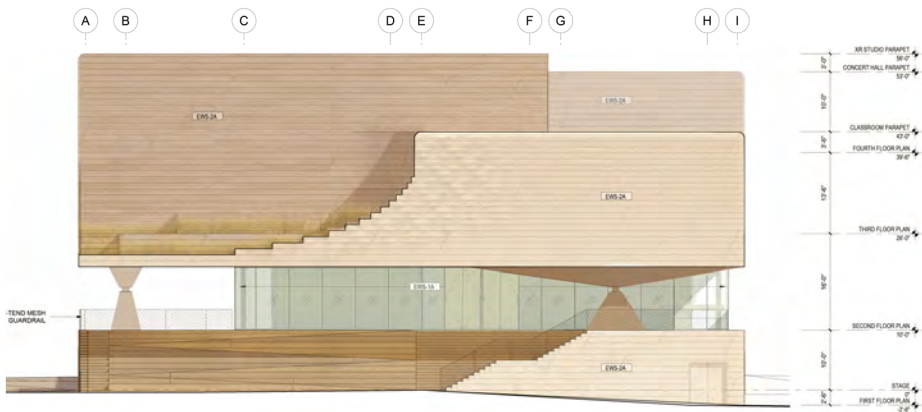
BUILDING ELEVATIONS



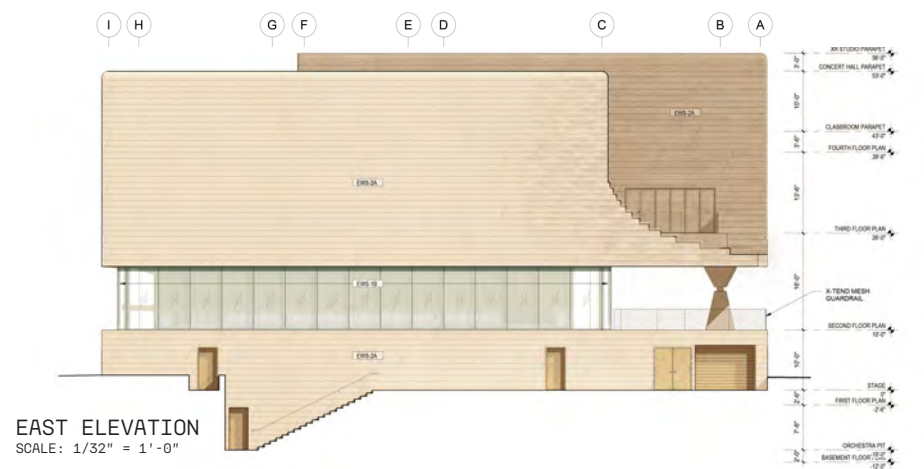
NORTH ELEVATION
SCALE: 1/32" = 1'-0"



SOUTH ELEVATION
SCALE: 1/32" = 1'-0"



WEST ELEVATION
SCALE: 1/32" = 1'-0"



EAST ELEVATION
SCALE: 1/32" = 1'-0"

TAB 5

#5

Information on 3rd Quarter Consolidated Financial Report through March 31, 2024 (Presenters: Norma Allen, University Controller, Financial Services and Kenny Stansbury, University Treasurer, Financial Services)



CONSOLIDATED FINANCIAL REPORT

FISCAL YEAR 2023-2024

3rd Quarter Financial Report
through March 31, 2024



THE UNIVERSITY OF
NEW MEXICO®

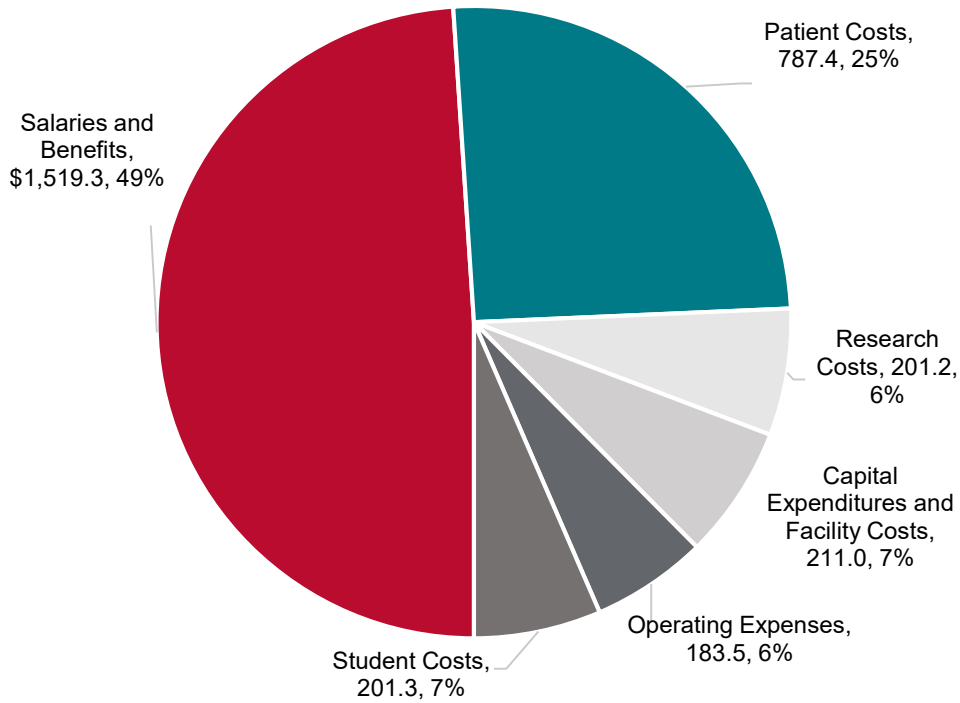
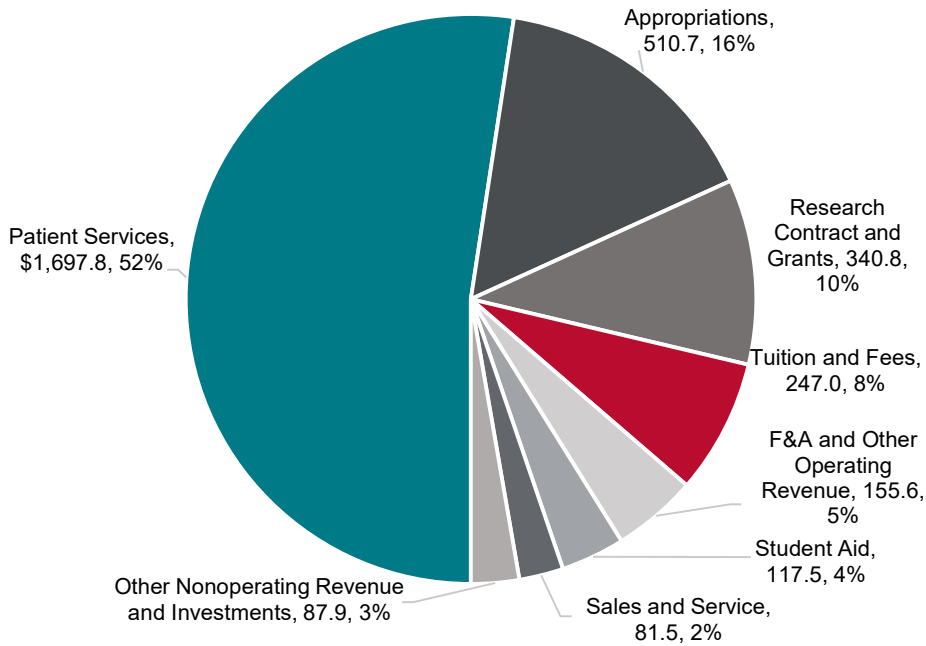
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Consolidated – Actuals Through 3/31/2024

FYTD Revenue and Expense Graphs

Presented in millions, figures are unaudited



BUDGET TO ACTUALS

UNM Consolidated

Budget to Actual Income Statement

Presented in millions, figures are unaudited
Consolidated FYTD as of March 31, 2024

	As of March 31, 2024				As of March 31, 2023				CY vs. PY Actuals	
	Fiscal Year to Date		Variance		Fiscal Year to Date		Variance		Variance	
	<i>Budget</i>	<i>Actuals</i>	\$	%	<i>Budget</i>	<i>Actuals</i>	\$	%	\$	%
Patient Services	\$1,627.9	\$1,697.8	69.8	4.3%	\$1,598.1	\$1,588.1	(10.0)	(0.6%)	109.6	6.9%
Appropriations	481.0	510.7	29.8	6.2%	406.0	413.3	7.2	1.8%	97.5	23.6%
Research Contract and Grants	330.3	340.8	10.6	3.2%	310.2	265.9	(44.2)	(14.3%)	74.9	28.2%
Tuition and Fees	230.2	247.0	\$16.9	7.3%	217.9	230.6	\$12.7	5.8%	\$16.4	7.1%
F&A and Other Operating Revenue	143.5	155.6	12.1	8.4%	136.8	123.5	(13.2)	(9.7%)	32.1	26.0%
Student Aid	162.3	117.5	(44.8)	(27.6%)	92.7	121.6	28.9	31.2%	(4.1)	(3.4%)
Sales and Service	67.3	81.5	14.2	21.0%	59.3	73.7	14.4	24.3%	7.8	10.5%
Other Nonoperating Revenue and Investments	57.9	87.9	30.0	51.9%	54.5	43.7	(10.9)	(19.9%)	44.2	101.3%
Total Revenues	\$3,100.3	\$3,238.9	\$138.6	4.5%	\$2,875.5	\$2,860.5	(\$15.0)	-0.5%	\$378.4	13.2%
Salaries and Benefits	\$1,482.4	\$1,519.3	(\$36.9)	(2.5%)	\$1,462.8	\$1,448.3	\$14.5	1.0%	\$71.0	4.9%
Patient Costs	748.4	787.4	(39.0)	(5.2%)	715.4	702.2	13.2	1.8%	85.2	12.1%
Research Costs	253.1	201.2	51.8	20.5%	239.7	178.9	60.7	25.3%	22.3	12.4%
Capital Expenditures and Facility Costs	221.9	211.0	10.9	4.9%	129.9	183.1	(53.2)	(41.0%)	27.9	15.2%
Operating Expenses	210.9	183.5	27.4	13.0%	242.5	161.2	81.3	33.5%	22.3	13.9%
Student Costs	214.7	201.3	13.5	6.3%	136.2	174.6	(38.3)	(28.1%)	26.7	15.3%
Total Expenses	\$3,131.5	\$3,103.7	\$27.8	0.9%	\$2,926.5	\$2,848.3	\$78.2	2.7%	\$255.4	9.0%
Net Income	(\$31.2)	\$135.2	\$166.3	-533.8%	(\$51.0)	\$12.1	\$63.1	-123.8%	\$123.0	1013.3%

Executive Summary

Net Income for the combined enterprise is \$135.2M as of March 31, 2024.

Total Revenues are up compared to budget by \$138.6M or 4.5%. On the campus side, tuition and fees and sales and services are up due to increases in enrollment. Appropriations are up on the campus side due to the capital general fund allotment and compensation for the full year coming in. Other non-operating revenues are up primarily due to capital transfers from Health Sciences and gifts and investment income coming in above budget. On the UNM Health and Health Sciences side, patient service revenues are coming in above budget. Compared to prior year Quarter 3, all revenues have improved by 13.2% in all categories except Student Aid. This is due to a delay in Lottery Scholarship disbursements in Quarter 3 FY 2024.

Total Expenses have a favorable budget variance of \$27.8M. Research costs make up the majority of the variance. The research costs variance is related to contract and grant expenses within UNM Health and Health Sciences. Salaries, benefits, and patient costs are above budget due to the use of contract nursing labor, increased physician, and supply costs. Compared to prior year Quarter 3, total expenses are up \$255.4M or 9%. Patient costs and salaries and benefits increased considerably from prior year.

UNM Campus

Budget to Actual Income Statement

Presented in millions, figures are unaudited
UNM Main, Branches and Plant Funds FYTD as of March 31, 2024

	As of March 31, 2024				As of March 31, 2023				CY vs. PY Actuals	
	Fiscal Year to Date		Variance		Fiscal Year to Date		Variance		Variance	
	Budget	Actuals	\$	%	Budget	Actuals	\$	%	\$	%
Tuition and Fees	\$205.8	\$222.7	\$16.9	8.2%	\$193.4	\$205.3	\$11.8	6.1%	\$17.4	8.5%
Appropriations	268.4	294.2	25.7	9.6%	208.4	218.9	10.5	5.1%	75.3	34.4%
Research Contract and Grants	111.5	120.3	8.9	8.0%	87.3	102.7	15.4	17.7%	17.6	17.1%
Student Aid	160.7	116.2	(44.5)	(27.7%)	91.1	120.3	29.2	32.1%	(4.1)	(3.4%)
Sales and Service	67.3	81.5	14.2	21.0%	59.3	73.7	14.4	24.3%	7.8	10.5%
Other Nonoperating Revenue and Investments	53.4	84.5	31.2	58.4%	50.0	39.4	(10.6)	(21.2%)	45.1	114.5%
F&A and Other Operating Revenue	22.6	24.4	1.8	8.1%	29.8	22.0	(7.8)	(26.1%)	2.4	10.7%
Patient Services	12.2	14.8	2.6	21.4%	10.4	13.3	2.9	27.8%	1.4	10.7%
Total Revenues	\$901.8	\$958.6	\$56.8	6.3%	\$729.8	\$795.7	\$65.9	9.0%	\$162.8	20.5%
Salaries and Benefits	\$425.8	\$422.0	\$3.9	0.9%	\$393.6	\$383.6	\$10.0	2.5%	\$38.4	10.0%
Student Costs	213.1	200.0	13.1	6.2%	134.6	173.3	(38.7)	(28.7%)	26.7	15.4%
Capital Expenditures and Facility Costs	146.3	128.4	17.9	12.2%	63.8	120.5	(56.8)	(89.0%)	7.9	6.6%
Operating Expenses	87.1	55.8	31.3	36.0%	109.9	37.2	72.7	66.1%	18.5	49.7%
Research Costs	47.1	41.8	5.3	11.3%	35.9	36.5	(.6)	(1.6%)	5.3	14.6%
Patient Costs	.6	.5	.0	4.7%	.5	.5	.0	3.2%	.0	7.1%
Total Expenses	\$920.0	\$848.5	\$71.5	7.8%	\$738.3	\$751.6	(\$13.3)	(1.8%)	\$96.8	12.9%
Net Income	(\$18.2)	\$110.1	\$128.3	-704.8%	(\$8.5)	\$44.1	\$52.6	-618.9%	\$66.0	149.7%

Executive Summary

At the end of Quarter 3 fiscal year 2024, UNM Campus is at a \$110.1M favorable impact to reserves, which is \$128.3M greater than originally estimated for this period.

Total revenues exceeded the same period in the prior fiscal year 2023 by \$162.8M or 20.5%. For this fiscal year total revenues are showing a favorable variance of \$56.8M or 6.3%. The budget for tuition considered a flat enrollment. However, this year UNM has boasted its largest first year class in school history. Main campus headcount and student credit hours are up for the fall and spring. Therefore, tuition and fees are showing a favorable budget variance of \$16.9M or 8.2%. Appropriations up compared to budget by \$25.7M. This is due to the capital general fund allotment and compensation for the full year coming in Quarter 2. The unfavorable budget variance of \$44.5M is primarily due to delay in Lottery Scholarship disbursement due to the federal flow through component. Sales and services are trending upwards with a favorable budget variance of \$14.2M. Residence Halls, Parking, Dining, and Bookstore revenues make up the majority of sales and services revenue. The favorable variance of \$31.2M in other non-operating revenues is primarily due to capital transfers from Health Sciences for the Cancer Center and College of Pharmacy. Also, gifts and investment income are coming in above budget.

Total expenses are showing a favorable budget variance of \$71.5M or 7.8%. Compared to prior year, total expenses are up \$96.8M or 12.9% and this primarily due to the increase in enrollment, compensation increases and operating and capital

expenses. Salaries and benefits have a \$3.9M budget variance or .9%. Overall, the budget variance percentage for salaries and benefits is down compared to last year. Vacancies are slowly being filled as we return to full operations. Student costs are up compared to prior year by \$26.7M. This can be explained by enrollment increases. Capital and operating expenses are showing a favorable variance of \$17.9M and \$31.3M respectively. Operating expenses and capital expenditure budget variances can be explained by the need to have enough budget authority. Also, it is expected that the capital projects funded by general fund appropriations will be spent down over the course of the fiscal year.

UNM Health & Health Sciences

Budget to Actual Income Statement

Presented in millions, figures are unaudited
UNM Health & Health Sciences FYTD as of March 31, 2024

	As of March 31, 2024				As of March 31, 2023				CY vs. PY Actuals	
	Fiscal Year to Date		Variance		Fiscal Year to Date		Variance		Variance	
	Budget	Actuals	\$	%	Budget	Actuals	\$	%	\$	%
Patient Services	\$1,615.8	\$1,683.0	\$67.2	4.2%	\$1,587.7	\$1,574.8	(\$12.9)	(0.8%)	\$108.2	6.9%
Research Contract and Grants	218.8	220.5	1.7	0.8%	222.8	163.2	(59.6)	(26.8%)	57.3	35.1%
Appropriations	212.5	216.6	4.0	1.9%	197.6	194.3	(3.3)	(1.7%)	22.2	11.4%
F&A and Other Operating Revenue	120.9	131.2	10.3	8.5%	106.9	101.5	(5.4)	(5.1%)	29.7	29.3%
Tuition and Fees	24.4	24.4	(.0)	(0.0%)	24.5	25.4	.9	3.7%	(1.0)	(3.9%)
Other Nonoperating Revenue and Investments	4.5	3.4	(1.1)	(25.2%)	4.5	4.3	(.2)	(5.4%)	(.9)	(20.9%)
Student Aid	1.6	1.3	(.3)	(20.4%)	1.6	1.3	(.3)	(21.0%)	.0	1.1%
Total Revenues	\$2,198.5	\$2,280.3	\$81.8	3.7%	\$2,145.7	\$2,064.7	(\$80.9)	(3.8%)	\$215.6	10.4%
Salaries and Benefits	\$1,056.6	\$1,097.3	(40.7)	(3.9%)	\$1,069.2	\$1,064.7	\$4.5	0.4%	\$32.6	3.1%
Patient Costs	747.9	786.9	(39.0)	(5.2%)	714.9	701.7	13.2	1.8%	85.2	12.1%
Research Costs	206.0	159.4	46.5	22.6%	203.8	142.5	61.3	30.1%	17.0	11.9%
Operating Expenses	123.9	127.7	(3.9)	(3.1%)	132.6	123.9	8.7	6.5%	3.8	3.1%
Capital Expenditures and Facility Costs	75.6	82.6	(7.0)	(9.2%)	66.1	62.6	3.5	5.3%	20.0	32.0%
Student Costs	1.6	1.3	.3	20.4%	1.6	1.3	.3	21.0%	.0	1.1%
Total Expenses	\$2,211.5	\$2,255.2	\$43.7	2.0%	\$2,188.2	\$2,096.7	\$91.5	4.2%	\$158.6	7.6%
Net Income	(\$13.0)	\$25.1	\$38.0	293.6%	(\$42.5)	(\$31.9)	\$10.5	(24.8%)	\$57.0	(178.5%)

Executive Summary

UNM Health & Health Sciences - The net income fiscal year to date as of March 31, 2024, is \$25.1M.

UNM Health Sciences

The net margin is \$13.2M as of March 2024. The School of Medicine recorded additional revenue of \$14.75M YTD from the UNM Medical Group to fund on-going operations. F&A revenue is \$4.3M above YTD budget. The budgeted net margin YTD through March 2024 is \$(8.2M).

UNM Hospitals (Includes UNM Sandoval Regional Medical Center)

UNM Hospitals has net income of \$18M through March FY24. The Hospitals are ahead of budget in operating revenues due to better than budgeted patient revenue. Operating expenses are higher than budget, primarily in medical supplies, medical services, salaries and benefits, as a result of increased supply costs, increased physician costs and continued use of contract nursing labor due to the current labor market. Included in the Hospital results is a year to date net income of \$1.9M for the Sandoval campus. The March income for the Sandoval campus includes \$2M of FEMA funds after the appeal process.

UNM Medical Group

The net margin for the nine-months ending 3/31/2024 is \$(6.0M). There was a net gain of \$3.4M coming from earnings in the Lovelace/UNM joint venture. A distribution of \$14.75M of the UNM Medical Group reserves was submitted to the School of Medicine as of FYTD March 2024. FY24 YTD expenses were \$5.4M less than the YTD Budget.

KEY METRICS

Key metrics - combined enterprise FY19-23						
Metric	Best Practice	FY19	FY20	FY21	FY22	FY23
Primary Reserve Ratio	> .4	0.38 🚩	0.40 ✅	0.43 ✅	0.40 ✅	0.37 🚩
Net Operating Revenue Ratio	> 0	0.02 ✅	0.04 ✅	0.08 ✅	0.03 ✅	0.01 ✅
Return on Net Assets Ratio	.03 - .04 (3-4%)	0.06 ✅	0.07 ✅	0.14 ✅	0.03 ✅	0.04 ✅
Viability Ratio	> 1.0	1.49 ✅	1.79 ✅	2.19 ✅	2.14 ✅	1.63 ✅
Composite Financial Index (CFI)	≥ 1.1	2.9 ✅	3.5 ✅	4.9 ✅	3.4 ✅	2.9 ✅

Primary Reserve Ratio = *Unrestricted Net Assets / Total Expenses*

The primary reserve ratio is designed to assess if resources are sufficient and flexible for the operating size of an institution.

Net Operating Revenue Ratio = *Income / Revenue*

The net operating revenues ratio gages if an institution is operating within its means. Ideally, to optimize financial health, annual results should contribute to and not subtract from resources.

Return on Net Assets Ratio = *Change in Net Assets / Total Net Assets*

The return on net assets ratio evaluates whether financial performance supports institutional objectives. Essentially, institutions must generate a return on net assets that leads to capital reinvestment and financial sustainability.

Viability Ratio = *Expendable Net Assets / Long Term Debt*

The viability ratio measures if debt resources are strategically managed. The ratio evaluates the extent to which the financial burden of debt outweighs its strategic usefulness.

Composite Financial Index (CFI) Score

The four core ratios above are computed and these figures are converted to strength factors along a common scale. Strength factors are then multiplied by specific weighting factors. The resulting four calculations are totaled into one CFI score.

Above the Zone:	CFI of 1.1 to 10.0 – No follow-up required.
In the Zone:	CFI of 0 to 1.0 – 1 st year a letter of concern will be issued from HLC.
Below the Zone:	CFI of -.1 to -4.0 – The institution must submit a report and additional financial documents for review by a panel of HLC peer reviewers

Ratios presented are calculated without GASB adjustments, in accordance with guidance from the Higher Learning Commission

INVESTMENT PERFORMANCE

University of New Mexico – Main Campus and Health Sciences

Investment Portfolio – Operating and Capital

For the Quarter Ended March 31, 2024

University of New Mexico - Main Campus and Health Sciences

Cash and Investment Portfolio - Operating and Capital

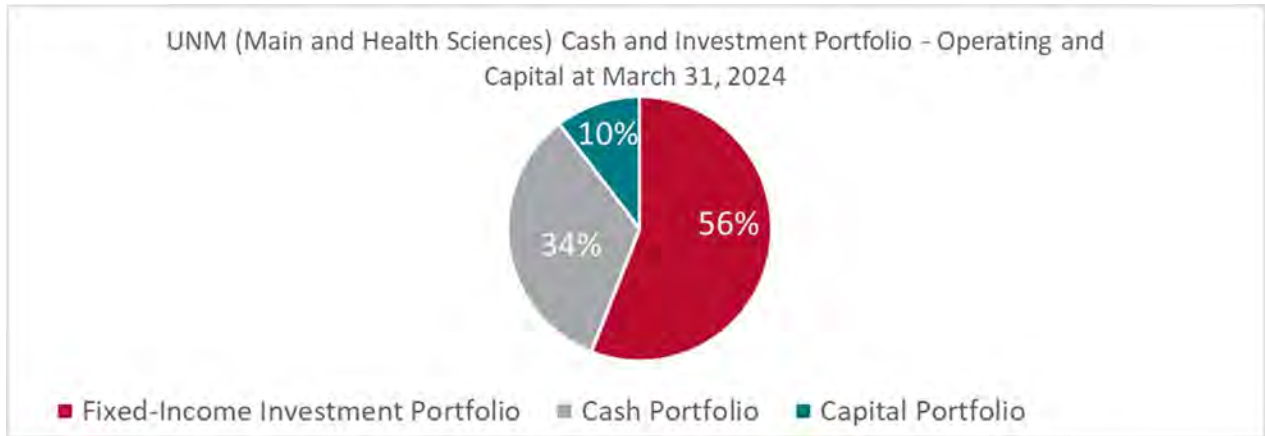
For the Quarter Ended March 31, 2024

UNIVERSITY OF NEW MEXICO	December 31, 2023 Market Value (in thousands)	March 31, 2024 Market Value (in thousands)	Yield (YTW)**	Investment Performance *			
				Q3	1-year	3-year	5-year
Subtotal - Operating Investment Portfolio - Main and Health Sciences	\$ 333,681	\$ 309,347	5.0%	0.5%	3.7%	0.1%	1.4%
Loomis Sayles - Fixed Income	\$ 228,376	\$ 203,160	5.0%	0.4%	3.5%	-0.3%	1.3%
SLC Management - Fixed Income	\$ 105,305	\$ 106,187	5.2%	0.8%	4.2%	1.0%	1.8%
Subtotal - Operating Cash Portfolio - Main and Health Sciences	\$ 109,559	\$ 185,769					
US Bank - Insured Cash Sweep - Operating	\$ 74,417	\$ 140,609	4.0%	1.0%	3.6%	1.4%	NA
US Bank - Commercial Paper Sweep - Operating	\$ 35,142	\$ 45,160	4.5%	1.1%	4.2%	1.8%	NA
Subtotal - Capital Portfolio - Main and Health Sciences	\$ 57,011	\$ 57,570					
Societe Generale - Flexible Repurchase Agreement	\$ 57,011	\$ 57,570	3.9%	1.0%	NA	NA	NA

	December 31, 2023 Market Value (in thousands)	March 31, 2024 Market Value (in thousands)
Grand Total - Main Campus and Health Sciences	\$ 500,251	\$ 552,686

* Investment performance periods less than 1 year are not annualized. Investment performance period for 1 year and greater are annualized. Performance is shown net of fees.

** Yields shown for the Fixed Income Investment Portfolio represent the yield to worst (YTM) for the portfolio, which is the minimum yield expected on the portfolio if held to maturity, considering the portfolio market value, call provisions, and prepayments. Yields shown for the Operating and Capital Portfolios are the stated annualized account yield for each account as of the date shown.



Q3 Highlights

- The Operating Investment Pool is invested primarily in high quality short-term fixed-income investments.
- Operating Investment Portfolio performance for the quarter was +0.5% (total return) vs. the benchmark return of +0.2%. The 1-year return remained strong at 3.7%, outperforming the policy benchmark by 40 bps.
- The Operating Investment Portfolio's flat Q3 return was driven by higher interest rates as the U.S. While the Federal Reserve (Fed) held rates steady at a range of 5.25%-5.5%, investors lowered expectations for the number of rate cuts in 2024, as macro economic indicators remain very strong.
- The longer-term U.S. Treasury yields rose as the yield curve continued to be inverted, but flatter than in prior quarters. The 10-year Treasury yield rose by 33 bps to 4.21%, and the 30-year Treasury yield climbed 28 bps to 4.31% over the quarter.
- Cash Balances increased by \$76 million in Q3 FY2024, led by spring tuition payments, significant receipts from component units, and planned transfers from fixed-income investments.
- The annualized rate for the overnight commercial paper sweep is 4.5%.
- The annualized yield on the Insured Cash Sweep - Operating account remained at 4.0% in the quarter.
- The annualized (fixed) yield on the Societe Generale - Flexible Repurchase (Capital Portfolio) account is 3.91%.

SELECT PROJECTS IN CONSTRUCTION

University of New Mexico

Active Projects						
Project Name	Campus	Total Project Costs	Target Completion	Scope	Schedule	Budget
New Hospital Tower	UNMH	\$752,124,556	11/1/2024	●	●	●
College of Nursing and Public Health Excellence Building	Health Sciences	\$43,000,000	6/30/2024	●	●	●
Behavioral Health Crisis Triage Center	UNMH	\$40,000,000	6/30/2024	●	●	●
Lobo Welcome Center	Main	\$10,067,864	5/31/2024	●	●	●
Gurley Career and Technical Education Center	Gallup	\$8,205,300	7/1/2025	●	●	●

Risk Assessment

- No Impact
- Minor Potential Impact
- Potential Major Impact

We prioritize in-process projects exceeding \$5M. Additionally, projects that are aligned with the 2040 plan, the integrated Campus Plan, or those holding historical and/or cultural significances, and projects that have garnered specific interest from Regents, the President, or Executive Vice Presidents (EVPs).

UNMH Tower



UNM College of Nursing and Public Health Excellence



UNMH Crisis Triage Center



UNM Welcome Center



Gurley Career and Technical Education Center



APPENDIX

UNM HEALTH & HEALTH SCIENCES - Consolidated							
Fiscal Year 2024 Year-to-Date Summary through March 31, 2024 (Preliminary and Unaudited)							
DOES NOT INCLUDE INTERCOMPANY ELIMINATIONS							
Clinical and Academic Operations							
	Consolidated FY 2024 YTD 3/31/2024 Original Budget	Consolidated FY 2024 YTD 3/31/2024 Actual	Consolidated FY 2023 YTD 3/31/2023 Actual	Ytd Actual % of Full Year Budget	Consolidated FY 2024 YTD Actual to FY 2024 YTD Original Budget \$ Variance Favrb/(Unfavrb)	Consolidated FY 2023 YTD Actual to FY 2023 YTD Actual \$ Variance Favrb/(Unfavrb)	Original Full Year Budget
1 UNM MEDICAL GROUP REVENUES	369,495,071	361,362,027	353,177,105	73%	(8,133,044)	8,184,922	492,660,095
2 UNM HOSPITALS REVENUES (Includes UNM SRMC Revenues)	1,246,429,543	1,321,637,117	1,221,628,211	80%	75,207,574	100,008,906	1,661,906,057
3 TUITION AND FEES (EARNED ONLY)	24,378,227	24,378,227	25,355,228	75%	0	(977,001)	32,504,303
4 CIGARETTE TAX REVENUES	1,864,830	1,295,515	1,352,513	52%	(569,315)	(56,998)	2,486,440
5 RPSF APPROPRIATIONS	45,431,700	48,605,256	37,981,369	80%	3,173,556	10,623,887	60,575,600
6 I&G APPROPRIATIONS	67,444,950	67,471,443	60,295,398	75%	26,493	7,176,045	89,926,600
7 CAPITAL APPROPRIATIONS	0	1,133,144	0	#DIV/0!	1,133,144	1,133,144	0
8 I&G MAIN CAMPUS TRANSFERS (FORMULA)	7,831,275	7,831,274	7,748,401	75%	(1)	82,873	10,441,700
9 F&A REVENUES (OH RETURN)	23,625,000	27,963,527	24,612,890	89%	4,338,527	3,350,637	31,500,000
10 HSC/UNM INTERNAL TRANSFERS	(1,744,611)	(4,401,791)	(6,927,019)	189%	(2,657,180)	2,525,228	(2,326,148)
11 MILL LEVY (Sandoval & Bernalillo Counties)	97,769,714	98,048,847	94,712,148	75%	279,133	3,336,699	130,359,619
12 FEMA FUNDING	0	48,439,632	8,678,042	#DIV/0!	48,439,632	39,761,590	0
13 EQUITY IN INCOME OF LOVELACE/UNM JOINT VENTURE	4,500,000	3,367,510	4,255,124	56%	(1,132,490)	(887,614)	6,000,000
14 OTHER REVENUES	87,185,831	80,918,317	73,431,694	70%	(6,267,513)	7,486,623	116,247,774
15 CONTRACT AND GRANT REVENUES	224,323,591	192,262,146	158,430,614	64%	(32,061,445)	33,831,532	299,098,121
TOTAL REVENUES	2,198,535,121	2,280,312,191	2,064,731,718	78%	81,777,070	215,580,473	2,931,380,161
16 TOTAL COMPENSATION EXPENSES	1,056,570,420	1,097,300,434	1,064,723,662	78%	(40,730,014)	(32,576,772)	1,408,760,560
17 SUPPLIES/MEDICAL SUPPLIES	224,194,923	243,407,566	221,519,876	81%	(19,212,643)	(21,887,690)	298,926,564
18 UNIVERSITY CLINICIANS PROGRAM	109,243,304	111,923,485	98,131,614	73%	(2,680,152)	(13,291,841)	145,652,738
19 HOUSESTAFF	33,280,238	31,965,383	30,945,887	72%	1,314,855	(1,019,496)	44,373,650
20 PATIENT CARE COSTS	110,853,483	107,036,505	102,732,049	72%	3,816,978	(4,304,456)	147,804,644
21 PURCHASED SERVICES	243,161,425	245,651,922	225,658,011	76%	(2,490,497)	(19,993,911)	324,215,233
22 OTHER MEDICAL SERVICES	39,702,052	57,498,443	33,267,886	109%	(17,796,391)	(24,230,557)	52,936,069
23 SUB AWARDS/SERVICE CONTRACTS	13,413,947	16,681,120	13,626,692	93%	(3,267,174)	(3,054,428)	17,885,262
24 OCCUPANCY	41,876,771	42,681,153	37,533,507	76%	(804,381)	(5,147,646)	55,835,695
25 PLANT RENEWAL/DEPRECIATION	34,303,413	52,692,476	37,873,415	115%	(18,389,063)	(14,619,061)	45,737,884
26 USE OF UNMGM RESERVES	1,443,750	1,420,000	1,206,000	74%	23,750	(214,000)	1,925,000
27 OTHER EXPENSES	96,172,952	87,274,607	87,604,578	68%	8,898,345	329,971	128,230,603
28 CONTRACT AND GRANT EXPENSES	207,276,830	159,695,176	141,853,141	58%	47,581,654	(17,842,035)	276,369,106
29 COMMITTED FOR CAPITAL PROJECTS	0	0	0	#DIV/0!	0	0	0
TOTAL EXPENSES	2,211,493,506	2,255,228,240	2,096,676,318	76%	(43,734,734)	(158,551,922)	2,948,658,008
NET INCOME/(USE OF RESERVES)	(12,958,385)	25,083,951	(31,944,600)		38,042,336	57,028,551	(17,277,847)

Source: March Consolidated UNM Health & Health Sciences statement, Consolidated No Elims

TAB 6

#6

Approval of the New Mexico Higher Education Department, Institutional Finance Division, 3rd Quarter Financial Actions Report and Certification through March 31, 2024 (Presenter: Norma Allen, University Controller, Financial Services)

University of New Mexico

Quarterly Financial Actions Report

Fiscal year 2024

Date 5/2/2024

Period (check one)

Quarter 1 Quarter 2 Quarter 3 Quarter 4

During the period of time covered by this report; did your institution:

- | | | | | |
|---|-----|--------------------------|----|-------------------------------------|
| (1) Request an advance of state subsidy? | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |
| (2) Fail to make its required payments, as scheduled, to appropriate retirement system(s)? | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |
| (3) Fail to make its payroll payments, as scheduled? | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |
| (4) Fail to make its scheduled debt service payments? | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |
| (5) Fail to make payments to vendors, as scheduled, due to a cash deficiency or a substantial deficiency in the payment processing system? | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |
| (6) Relative to the original fiscal year budget, experience any significant actual or anticipated financial changes that are not reflected in a submitted Budget Adjustment Request (BAR). Significant financial changes refers to fiscal activity that will result in a substantially reduced year-end fund balance or any increase in a fund balance deficit. | Yes | <input type="checkbox"/> | No | <input checked="" type="checkbox"/> |

If the answer to any of the above questions is "Yes," please describe in a separate document:

- (i) the reason for the occurrence,
- (ii) the actions taken by your institution to resolve this particular occurrence, and
- (iii) the actions taken by your institution to prevent events such as this from occurring again.

In addition, if the answer to number 6 is "Yes," please describe in a separate document the nature of the financial changes and describe and assess the impact that the changes will have on your institution's planned year-end financial position. (See attached.)

New Mexico Higher Education Department
 Institutional Finance Division
 Quarterly Financial Certification Report Template

Please complete and sign the following Financial Certification Report and submit with the Quarterly Financial Actions Report.

To the best of my knowledge, I certify that the information provided in the attached Financial Actions Report for the:

1st ____ 2nd __ 3rd _X_ 4th ____ Quarter, FY 2024

is correct as of the signature dates noted below, and that

The University of New Mexico

has a functioning financial accounting system that captures assets, liabilities, revenues, and expenditures on a timely basis, and the Governing Board receives timely notification of any significant actual or projected variances between budgeted and actual revenues and expenditures.

William H. Payne, Chair, Board of Regents-Finance & Facilities	Date
--	------

Garnett S. Stokes, President	Date
------------------------------	------

Teresa Costantinidis, Executive VP for Finance & Administration	Date
---	------

TAB 7

#7

Approval of the FY24 Budget Adjustment Request (BAR) for Main and Branch Campuses (Presenter: Jeremy Hamlin, Director, University Budget Operations, OPBA)



Main and Branch Campuses

Budget Adjustment Request

Fiscal Year 2023 - 2024

Budget Adjustment Request (BAR)

- The FY 2024 Original Operating and Capital Budget was submitted to HED on May 1, 2023.
- The University is required to submit a Final Revised Budget to HED by May 1, 2024.
- Primary purpose of the final BAR: To ensure actual expenditures will not exceed budget authority by exhibit (5.3.4.10 NMAC)
- Budget to Actuals are monitored at UNM throughout the year:
 - Quarterly Financial Report (presented by the UNM Controller)
 - Mid-Year Review Process (required in January/February for Projections)
 - Monthly reconciliations

Note: Your ebook materials include the detailed FY24 BAR Book



Summary of Changes for Main Campus Current Funds (Unrestricted)

\$26.9 million Increase in unrestricted revenues, due primarily to:

- Net increase of \$19.4 million in I&G revenues largely a result of increased tuition and fee revenue from enrollment increases, increase in interest income, and increase in F&A Cost Recovery
- Net increase of \$2.5 million in Public Service revenues, largely attributed to increases in gift revenues

(\$17.2 million) Increase in unrestricted transfers out for:

- Large transfers to Plant Funds for department capital projects and equipment needs

\$26.5 million Increase in unrestricted expenses, due primarily to:

- Increase of \$10.5 million in I&G expenses driven largely by increases in instruction and academic support
- Increase of \$5.0 million in Research expenses driven largely by increases in research costs, supply costs, travel costs, and other research operating expenditures
- Net Increase of \$4.9 million in Internal Services due to increases in IT costs for software implementation and classroom upgrades and increases in facilities management and utility costs.

Summary of Changes for Main Campus Current Funds (Restricted)

\$11.5 million Increase in restricted revenues, due primarily to:

- \$19.3 million Increase in Research and Public Service activity and awards
- (\$8.1 million) Decrease in Student Aid to better align original budget with actual activity
- \$320.5K Increase in Instruction, Student Social & Cultural and Athletics due to supplemental work-study program funds for in-demand fields

\$11.2 million Increase in restricted expenditures due primarily to:

- \$19.0 million Increase in Research and Public Service activity and awards
- (\$8.1 million) Decrease in Student Aid to better align original budget with actual activity
- \$320.5K Increase in Instruction, Student Social & Cultural and Athletics due to supplemental work-study program funds for in-demand fields

Summary of Changes for Plant Funds

\$32.5 million Increase in plant fund revenues, due primarily to:

- General Fund Capital Appropriations from the 2023 and 2024 Legislative sessions

\$43.6 million Increase in net transfers into plant funds*, due primarily to:

- \$14,465,200 from HSC – Cancer Center Renovation
- \$3,000,000 from HSC – College of Pharmacy Building Planning
- \$1,014,001 from HSC – HSC Library 2nd Floor Renovation
- \$4,747,400 from HSC – Various Minor Capital Improvement Projects
- \$2,279,617 from Auxiliaries – Multiple Projects
- \$1,000,000 from Gallup – Gurley Hall Project
- \$1,181,913 from Taos – Fred Peralta Hall Renovation

(\$21.5 million) Decrease in plant fund expenses, due primarily to:

- Child Psychiatric Center Expansion - When the budget was submitted last year, the construction start date was unclear, so more expenses were originally budgeted in FY24. This project is now in the design phase and expenses have been decreased for this fiscal year to better align with the project timeline.
- College of Nursing and College of Population Health Building - Project is on schedule but had originally estimated more expenditures in FY24. Expense budget has been reduced to better align with anticipated timeline.

** All projects have or will go through all necessary project approvals*



Summary of Branch Campus Changes

Gallup \$676K Decrease, primarily due to:

- Increase in Unrestricted Expenditures of \$395K resulting from increased I&G expenses due to faculty and staff hiring and increase in Student Aid from increased gifts and scholarships.
- Decrease in Restricted Expenditures of \$1.07M due to decreases in Research awards and decreased Public Service activity.

Los Alamos \$196K Decrease, primarily due to:

- Decrease in Public Service to better match actuals for Title V Department of Education grant

Taos \$851K Increase, primarily due to:

- Increase in Unrestricted Expenditures of \$319K resulting from increased Public Service expenses.
- Increase in Restricted Expenditures of \$532K due largely to increased Public Service grant activity.

Valencia \$520K Increase, primarily due to:

- Increase in Unrestricted Expenditures of \$147K resulting from increased I&G, Public Service, and Student Aid expenses.
- Increase in Restricted Expenditures of \$373K due largely to increased Public Service contracts and grants.

** Changes above are for Unrestricted and Restricted Expenditures*





Requesting Approval of:

Fiscal Year 2023-2024
Main and Branch Campuses
Budget Adjustment Request (BAR)

Appendix

FISCAL YEAR 2023-2024 CONSOLIDATED BAR BOOK



Budget Adjustment Request (BAR)

FISCAL YEAR 2023-2024





The University of New Mexico

Executive Summary: Budget Revision: 2023-2024 Operating Budget

We request that the attached budget revisions for the 2023-24 Operating Budget Plans for The University of New Mexico, including the Main Campus, Health & Health Sciences, and the Branch Campuses be approved for submission to the New Mexico Higher Education Department (NMHED).

The original operating budget plans for the current fiscal year were developed over a year ago and presented to the Board of Regents on May 11, 2023. Those budget plans were the result of consolidating numerous individual budgets moving up the organizational hierarchy from department budgets to college/school budgets to vice president and campus budgets and culminating in an estimated consolidated budget for the University of New Mexico. The original budget also reflects the Budget Office's estimated projections of what will occur during the year in terms of restricted contract and grant activities and use of reserves for one-time expenditures. The strategy has been to project realistic budget figures given the performance of the previous year and the information provided by colleges and departments. Sometimes these budget revisions can be anticipated ahead of time; however, in most instances, the event that created the need for a budget revision occurs first.

The University is required to submit a revised budget to NMHED and then to the Department of Finance and Administration if year-end projections show that actual revenue, transfer, or expenditure levels will exceed those initially budgeted. Budget revisions for the fiscal year ending June 30, 2024 must be submitted to NMHED by May 1, 2024.

Budget revisions for FY2023-24 fall into several general categories, including:

1. Change in revenue projections: When the operating budget plan for a fiscal year is generated, it is based upon the best estimates of revenue that are available at that time. However, those revenue projections change over the course of the fiscal year for reasons both internal and external to the University.
2. Use of reserves for one-time expenditures: At the time initial budgets are submitted in May, the amounts of reserves that will carry forward from the previous year are not known. Once the fiscal year has been closed, reserves can be budgeted for expenditures according to departmental plans.
3. Changes in restricted grant and contract expenditures to better align with actual activity.
4. Miscellaneous: Other revisions of revenues, transfers, and expenditures that are explained individually.

The Summary Table of FY 2023-24 Expenditures details the overall change in Current Unrestricted, Plant, and Current Restricted expenditures for the University as part of this budget revision as compared to the current approved operating budget plan for FY2023-24 that was approved on May 11, 2023.



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SUMMARY OF FY 2023-24 EXPENDITURES

	CURRENT APPROVED BUDGET 2023-24			REVISED BUDGET 2023-24			% Change
	<u>Unrestricted</u>	<u>Restricted</u>	<u>Total</u>	<u>Unrestricted</u>	<u>Restricted</u>	<u>Total</u>	
Current Funds:							
Main Campus	650,303,584	277,492,226	927,795,810	676,790,383	288,693,123	965,483,506	4.1%
Health Sciences	776,284,186	244,869,106	1,021,153,292	773,106,436	193,495,491	966,601,927	-5.3%
Gallup	16,503,151	2,139,900	18,643,051	16,898,082	1,068,500	17,966,582	-3.6%
Los Alamos	5,574,894	1,414,445	6,989,339	5,576,964	1,216,000	6,792,964	-2.8%
Valencia	13,463,433	3,142,634	16,606,067	13,610,634	3,515,500	17,126,134	3.1%
Taos	10,224,689	4,740,778	14,965,467	10,543,278	5,272,800	15,816,078	5.7%
Current Funds subtotal	1,472,353,937	533,799,089	2,006,153,026	1,496,525,777	493,261,414	1,989,787,191	-0.8%
Plant Funds:							
Debt Service	39,227,652	-	39,227,652	39,227,652	-	39,227,652	0.0%
All Other	149,906,780	-	149,906,780	128,392,228	-	128,392,228	-14.4%
PLANT FUNDS subtotal	189,134,432	-	189,134,432	167,619,880	-	167,619,880	-11.4%
TOTAL UNM - w/o Hospital	1,661,488,369	533,799,089	2,195,287,458	1,664,145,657	493,261,414	2,157,407,071	-1.7%
UNM Hospital	1,610,318,092	-	1,610,318,092	1,760,602,953	-	1,760,602,953	9.3%
GRAND TOTAL	3,271,806,461	533,799,089	3,805,605,550	3,424,748,610	493,261,414	3,918,010,024	3.0%

The University of New Mexico, Main Campus

The overall FY 2024 BAR impact to **Main Campus (Unrestricted and Plant)** is a favorable change in the net revenues, transfers, and expenditures of \$80,855,559.

This favorable change is primarily driven by significant increases in revenue of \$59,357,468 for Main Campus unrestricted and plant funds. The unrestricted revenue increases of \$26,896,004 are largely a result of increased tuition revenue from enrollment increases, increased interest income, increased gift revenues and endowment spending distributions, increased F&A cost recovery, and increased housing and dorm rentals. The increase in revenue for plant funds of \$32,461,464 is primarily due to receiving a substantial amount of capital appropriations via the 2024 Legislative session. Although revenue went up in Plant Funds, expenditures in total decreased from original budget by \$21,514,552 to better align expenses with anticipated project timelines for major projects.

Current Funds (Unrestricted)

- \$26,896,004 – Net Increase in **Revenues** primarily due to:
 - Net Increase of \$19,374,078 in I&G revenues due primarily to:
 - Increase in tuition and fees of \$12,850,029 due to increased enrollment
 - Increase in interest income of \$3,150,000
 - Increase in F&A Cost Recovery of \$2,813,145
 - Net increase in other I&G revenues of \$560,904
 - Net Increase of \$2,472,304 in Public Service revenues due primarily to:
 - Increase in gift revenues of \$1,678,050
 - Increase in nongovernmental grants at KNME of \$320,000
 - Decrease in state appropriations of \$225,000 for FY24 Junior Bill appropriations originally budgeted on Main Campus that were appropriately moved to HSC.
 - Net increase in other Public Service revenues of \$699,254
 - Net Increase of \$2,434,222 in Student Aid revenues due primarily to new endowment spending distribution revenue not originally budgeted.
 - Net Increase of \$1,533,643 in Auxiliary Enterprises revenue due primarily to:
 - Increase in Housing Dorm Rentals of \$1,272,309
 - Increase in Ticket Sales of \$355,000
 - Increase in Parking Revenue and Fines of \$395,600
 - Net Decrease in Merchandise Sales, Other Sales and Service Revenues of (\$489,266)
 - Net Increase of \$864,953 in Athletics primarily driven by increased ticket sales and attendance in Men's Basketball games. Event revenue is also projected to be higher due to higher ticket sales in PBR and other events.
 - Net Increase of \$104,094 in Research due primarily to increase in gains on sponsored projects and registration fee revenue.
 - Net Increase of \$68,431 in Internal Services due primarily to unbudgeted revenue from UNMH.
 - Net Increase of \$44,279 in Student Social & Cultural due primarily to increase in student fees and gifts.
- (\$17,160,030) – Net **Transfers Out** primarily due to:
 - Large transfers to Plant Funds for department capital projects and equipment:
 - Net Transfers from I&G of \$10,616,971
 - Net Transfers from Auxiliaries of \$2,362,617
 - Net Transfers from Research of \$1,995,469
 - Net Transfers from Public Service of \$1,146,967
 - Net Transfers from all other exhibits of \$1,038,006
- \$26,486,799 – Net Increase in **Expenditures** primarily due to:
 - Net Increase of \$10,455,304 in I&G expenses driven largely by increases in instruction and academic support
 - Net Increase of \$4,967,923 in Research expenses driven largely by increases in salaries and fringe, research costs, supply costs, travel costs, and other research operating expenditures
 - Net Increase of \$4,736,534 in Public Service expenses driven largely by increases in salaries and fringe, student costs, consultant fees, professional services, event fees, and other operating costs.
 - Net Increase of \$4,872,115 in Internal Services due to increases in IT costs for software implementation and classroom upgrades, increased costs in HR for software and license renewal and other HR activities, and increases in facilities management and utility costs.



- Net Decrease of \$3,821,847 in Student Aid expenses largely driven by decreases in budgeted use of reserves for unrestricted scholarships, student awards, and fellowships.
- Net Increase of \$2,328,050 in Auxiliary Enterprises driven largely by projected increase in cost of goods sold for the Bookstore, increased costs for Popejoy Hall during Spring 2024, increased costs due to summer conferences, and increased costs in plant maintenance.
- Net Increase of \$2,412,780 in Athletics driven primarily by the new football coaching staff transition, projected increase in grant-in-aid, costs associated with game and special events, and inflationary increases for travel.
- Net Increase of \$535,940 in Student Social & Cultural

Plant Funds

- \$ 32,461,464 – Net Increase in Plant Fund **Revenues** primarily due to:
 - General Fund Capital Appropriations – The University received a substantial amount of capital appropriations via the 2023 and 2024 Legislative sessions. Since the source is General Fund, the majority of these dollars will be received in this fiscal year.
- \$43,630,368 – Net **Transfers In** primarily due to:
 - \$14,465,200 from HSC – Cancer Center Renovation
 - \$3,000,000 from HSC – College of Pharmacy Building Planning
 - \$1,014,001 from HSC – HSC Library 2nd Floor Renovation
 - \$4,747,400 from HSC – Various Minor Capital Improvement Projects
 - \$509,996 from Engineering – FEC Engineering Collaborative Space Renovation
 - \$581,229 from Academic Affairs Academic and Research Infrastructure Improvements
 - \$2,279,617 from Auxiliaries – Multiple Projects
 - \$1,000,000 from Gallup – Gurley Hall Project
 - \$433,333 from Los Alamos – Infrastructure Improvements
 - \$1,181,913 from Taos – Fred Peralta Hall Renovation
 - \$495,000 from Taos – Facility Improvements

All projects have or will go through all necessary project approvals.

- (\$21,514,552) – Net Decrease in **Expenditures** primarily due to:
 - Child Psychiatric Center Expansion - When the budget was submitted last year, the construction start date was unclear, so more expenses were originally budgeted in FY24. This project is now in the design phase and expenses have been decreased for this fiscal year to better align with the project timeline.
 - College of Nursing and College of Population Health Building - Project is on schedule but had originally estimated more expenditures in FY24. Expense budget has been reduced to better align with anticipated timeline.
 - Various projects to more align with the anticipated expenditures.

Current Funds (Restricted)

- \$11,515,805 – Net Increase in **Revenues** due to:
 - \$19,323,505 Increase in Research and Public Service activity and awards
 - (\$8,128,200) Decrease in Student Aid to better align original budget with actual activity
 - \$320,500 Increase in Instruction, Student Social & Cultural, and Athletics due to supplemental work-study program funds for in-demand fields
- (\$314,908) – Net **Transfers Out** due to:
 - \$3,700,495 Increase in Transfers Into Research (from Public Service) related to NMHED Technology Enhancement Funds
 - (\$4,015,403) Increase in Transfer Out of Public Service (to Research) related to NMHED Technology Enhancement Funds.
- \$11,200,897 – Net Increase in **Expenditures** due primarily to:
 - \$19,008,597 Increase in Research and Public Service activity and awards
 - (\$8,128,200) Decrease in Student Aid to better align original budget with actual activity
 - \$320,500 Increase in Instruction, Student Social & Cultural, and Athletics due to supplemental work-study program funds for in-demand fields



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico - Main Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Unrestricted</u>		Request # <u>1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	448,785,890	19,374,078	468,159,968
Student Social & Cultural Activities	8,763,727	44,279	8,808,006
Research	2,342,443	104,094	2,446,537
Public Service	30,749,178	2,472,304	33,221,482
Internal Service Dept.	16,937,887	68,431	17,006,318
Student Financial Aid	46,538,128	2,434,222	48,972,350
Auxiliary Enterprises	59,199,230	1,533,643	60,732,873
Athletics	37,881,743	864,953	38,746,696
Independent Operations		0	
Subtotal Current Funds	651,198,226	26,896,004	678,094,230
Capital Outlay	89,726,173	32,056,464	121,782,637
Renewals & Replacements	200,000	275,000	475,000
Retirement of Indebtedness	21,485,265	130,000	21,615,265
Subtotal Plant Funds	111,411,438	32,461,464	143,872,902
TOTAL REVENUES	762,609,664	59,357,468	821,967,132
BEGINNING BALANCES			
Instruction and General	75,636,917	30,549,946	106,186,863
Student Social & Cultural Activities	2,214,631	471,225	2,685,856
Research	26,603,983	10,911,775	37,515,758
Public Service	23,856,942	7,238,860	31,095,802
Internal Service Dept.	12,755,497	6,627,814	19,383,311
Student Financial Aid	19,324,356	21,075,599	40,399,955
Auxiliary Enterprises	5,817,781	3,622,784	9,440,565
Athletics	223,093	561,609	784,702
Independent Operations		0	
Subtotal Current Funds	166,433,200	81,059,612	247,492,812
Capital Outlay	145,146,874	(42,683,285)	102,463,589
Renewals & Replacements	11,094,809	1,287,288	12,382,097
Retirement of Indebtedness	16,095,956	(371,345)	15,724,611
Subtotal Plant Funds	172,337,639	(41,767,342)	130,570,297
TOTAL BEGINNING BALANCES	338,770,839	39,292,270	378,063,109
TOTAL AVAILABLE			
Instruction and General	524,422,807	49,924,024	574,346,831
Student Social & Cultural Activities	10,978,358	515,504	11,493,862
Research	28,946,426	11,015,869	39,962,295
Public Service	54,606,120	9,711,164	64,317,284
Internal Service Dept.	29,693,384	6,696,245	36,389,629
Student Financial Aid	65,862,484	23,509,821	89,372,305
Auxiliary Enterprises	65,017,011	5,156,427	70,173,438
Athletics	38,104,836	1,426,562	39,531,398
Independent Operations	0	0	0
Subtotal Current Funds	817,631,426	107,955,616	925,587,042
Capital Outlay	234,873,047	(10,626,821)	224,246,226
Renewals & Replacements	11,294,809	1,562,288	12,857,097
Retirement of Indebtedness	37,581,221	(241,345)	37,339,876
Subtotal Plant Funds	283,749,077	(9,305,878)	274,443,199
GRAND TOTAL AVAILABLE	1,101,380,503	98,649,738	1,200,030,241

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico - Main Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Unrestricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	387,867,766	10,455,304	398,323,070
Student Social & Cultural Activities	9,942,243	535,940	10,478,183
Research	27,912,619	4,967,923	32,880,542
Public Service	31,640,346	4,736,534	36,376,880
Internal Service Dept.	13,931,332	4,872,115	18,803,447
Student Financial Aid	86,860,819	(3,821,847)	83,038,972
Auxiliary Enterprises	51,823,252	2,328,050	54,151,302
Athletics	40,325,207	2,412,780	42,737,987
Independent Operations		0	
Subtotal Current Funds	650,303,584	26,486,799	676,790,383
Capital Outlay	132,757,408	(21,014,552)	111,742,856
Renewals & Replacements	17,149,372	(500,000)	16,649,372
Retirement of Indebtedness	39,227,652	0	39,227,652
Subtotal Plant Funds	189,134,432	(21,514,552)	167,619,880
TOTAL EXPENDITURES	839,438,016	4,972,247	844,410,263
TRANSFERS IN (OUT)			
Instruction and General	(65,337,062)	(16,135,726)	(81,472,788)
Student Social & Cultural Activities	792,072	124,401	916,473
Research	21,570,413	1,337,451	22,907,864
Public Service	(2,467,228)	(779,911)	(3,247,139)
Internal Service Dept.	(4,960,835)	1,752,889	(3,207,946)
Student Financial Aid	21,598,199	(2,640,329)	18,957,870
Auxiliary Enterprises	(8,196,024)	(1,866,632)	(10,062,656)
Athletics	2,265,682	1,047,827	3,313,509
Independent Operations		0	0
Subtotal Current Funds	(34,734,783)	(17,160,030)	(51,894,813)
Capital Outlay	3,875,819	45,662,954	49,538,773
Renewals & Replacements	16,249,372	(2,032,586)	14,216,786
Retirement of Indebtedness	15,049,883	0	15,049,883
Subtotal Plant Funds	35,175,074	43,630,368	78,805,442
NET TRANSFERS	440,291	26,470,338	26,910,629
ENDING BALANCES			
Instruction and General	71,217,979	23,332,994	94,550,973
Student Social & Cultural Activities	1,828,187	103,965	1,932,152
Research	22,604,220	7,385,397	29,989,617
Public Service	20,498,546	4,194,719	24,693,265
Internal Service Dept.	10,801,217	3,577,019	14,378,236
Student Financial Aid	599,864	24,691,339	25,291,203
Auxiliary Enterprises	4,997,735	961,745	5,959,480
Athletics	45,311	61,609	106,920
Independent Operations	0	0	0
Subtotal Current Funds	132,593,059	64,308,787	196,901,846
Capital Outlay	105,991,458	56,050,685	162,042,143
Renewals & Replacements	10,394,809	29,702	10,424,511
Retirement of Indebtedness	13,403,452	(241,345)	13,162,107
Subtotal Plant Funds	129,789,719	55,839,042	185,628,761
TOTAL ENDING BALANCES	262,382,778	120,147,829	382,530,607
TOTAL EXPENDITURES, TRANSFERS, BALANCES	1,101,380,503	98,649,738	1,200,030,241

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : University of New Mexico - Main Campus FY 2024

Adjustment to Fund: Unrestricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	156,342,960	12,850,029	169,192,989
Federal Government Appropriations		0	
State Government Appropriations	250,931,562	225,000	251,156,562
Local Government Appropriations		0	
Federal Grants/Contracts	180,000	0	180,000
State Grants/Contracts		0	
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts		0	
Endowment/Land/Permanent Fund	13,309,141	0	13,309,141
Sales & Services of Ed Activities	984,556	5,769	990,325
Other Sources	27,037,671	6,293,280	33,330,951
TOTAL REVENUES	448,785,890	19,374,078	468,159,968
BEGINNING BALANCE	75,636,917	30,549,946	106,186,863
TOTAL AVAILABLE	524,422,807	49,924,024	574,346,831
EXPENDITURES			
Instruction	205,946,102	4,857,677	210,803,779
Academic Support	57,214,056	3,374,552	60,588,608
Student Services	25,982,805	1,179,511	27,162,316
Institutional Support	61,806,079	1,862,550	63,668,629
Operation & Maintenance of Plant	36,918,724	(818,986)	36,099,738
TOTAL EXPENDITURES	387,867,766	10,455,304	398,323,070
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities	(92,535)	173,496	80,961
Research	23,629,802	3,400,698	27,030,500
Public Service	(535,795)	483,033	(52,762)
Internal Service Dept.	1,419,806	1,854,587	3,274,393
Student Financial Aid	16,596,116	(2,316,873)	14,279,243
Auxiliary Enterprises	(861,813)	477,659	(384,154)
Intercollegiate Athletics	2,094,474	996,067	3,090,541
Independent Operations		0	
Capital Outlay	(54,762)	10,517,467	10,462,705
Renewals & Replacements	15,341,067	99,504	15,440,571
Retirement of Indebtedness	228,310	0	228,310
Non-Budgetary Exhibits:			
Endowment Fund	(1,226,954)	0	(1,226,954)
Other (HSC)	7,499,346	34,714	7,534,060
Other (Branches)	0	6,210	6,210
Other (Restricted)	1,300,000	409,164	1,709,164
NET TRANSFERS	65,337,062	16,135,726	81,472,788
ENDING BALANCE	71,217,979	23,332,994	94,550,973

Prepared by: Rosenda Marrufo Date Approved by BOR: 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico - Main Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
REVENUES			
Instruction and General	3,909,500	150,000	4,059,500
Student Social & Cultural Activities	459,000	126,000	585,000
Research	93,900,000	13,238,505	107,138,505
Public Service	38,115,000	6,085,000	44,200,000
Internal Service Dept.	203,500	0	203,500
Student Financial Aid	137,821,000	(8,128,200)	129,692,800
Auxiliary Enterprises	356,125	0	356,125
Athletics	56,101	44,500	100,601
Independent Operations	0	0	0
Subtotal Current Funds	274,820,226	11,515,805	286,336,031
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	274,820,226	11,515,805	286,336,031
BEGINNING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
TOTAL AVAILABLE			
Instruction and General	3,909,500	150,000	4,059,500
Student Social & Cultural Activities	459,000	126,000	585,000
Research	93,900,000	13,238,505	107,138,505
Public Service	38,115,000	6,085,000	44,200,000
Internal Service Dept.	203,500	0	203,500
Student Financial Aid	137,821,000	(8,128,200)	129,692,800
Auxiliary Enterprises	356,125	0	356,125
Athletics	56,101	44,500	100,601
Independent Operations	0	0	0
Subtotal Current Funds	274,820,226	11,515,805	286,336,031
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	274,820,226	11,515,805	286,336,031

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico - Main Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	4,021,500	150,000	4,171,500
Student Social & Cultural Activities	459,000	126,000	585,000
Research	96,100,000	16,939,000	113,039,000
Public Service	38,475,000	2,069,597	40,544,597
Internal Service Dept.	203,500	0	203,500
Student Financial Aid	137,821,000	(8,128,200)	129,692,800
Auxiliary Enterprises	356,125	0	356,125
Athletics	56,101	44,500	100,601
Independent Operations	0	0	0
Subtotal Current Funds	277,492,226	11,200,897	288,693,123
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	277,492,226	11,200,897	288,693,123
TRANSFERS IN (OUT)			
Instruction and General	112,000	0	112,000
Student Social & Cultural Activities	0	0	0
Research	2,200,000	3,700,495	5,900,495
Public Service	360,000	(4,015,403)	(3,655,403)
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	2,672,000	(314,908)	2,357,092
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
NET TRANSFERS	2,672,000	(314,908)	2,357,092
ENDING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	0	0	0
TOTAL EXPENDITURES, TRANSFERS, BALANCES	274,820,226	11,515,805	286,336,031

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : University of New Mexico - Main Campus FY 2024

Adjustment to Fund: Restricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	0	0	0
Federal Government Appropriations	0	0	0
State Government Appropriations	0	0	0
Local Government Appropriations	0	0	0
Federal Grants/Contracts	2,577,000	0	2,577,000
State Grants/Contracts	1,182,500	150,000	1,332,500
Local Grants/Contracts	50,000	0	50,000
Private Gifts/Grants/Contracts	100,000	0	100,000
Endowment/Land/Permanent Fund	0	0	0
Sales & Services of Ed Activities	0	0	0
Other Sources	0	0	0
TOTAL REVENUES	3,909,500	150,000	4,059,500
BEGINNING BALANCE	0	0	0
TOTAL AVAILABLE	3,909,500	150,000	4,059,500
EXPENDITURES			
Instruction	2,584,000	0	2,584,000
Academic Support	675,000	150,000	825,000
Student Services	490,000	0	490,000
Institutional Support	250,000	0	250,000
Operation & Maintenance of Plant	22,500	0	22,500
TOTAL EXPENDITURES	4,021,500	150,000	4,171,500
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Intercollegiate Athletics	0	0	0
Independent Operations	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Non-Budgetary Exhibits:			
Endowment Fund	0	0	0
Other (Main Campus Unrestricted)	(112,000)	0	(112,000)
Other (Specify)	0	0	0
NET TRANSFERS	(112,000)	0	(112,000)
ENDING BALANCE	0	0	0

Prepared by: Jeremy Hamlin Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

The University of New Mexico, Health Sciences Center

The overall impact of the final Budget Adjustment Requests (BARs) for FY 2024 is a \$44.2 million increase in unrestricted revenue, a \$3.2 million decrease in unrestricted expense and a \$33.9 million increase in transfers out. A summary of the requested changes is listed below.

Unrestricted

\$44,231,675 Net Increase in **Revenues**

- Estimated increase in Patient Services revenues \$25.1M
- State Appropriations for Social Worker and Professorship Endowments \$11M
- Children's Psychiatric Hospital capital appropriation \$3.6
- Estimated increase in Indirect Cost Recovery from Contracts and Grants \$3.5M
- Estimated increase in Financial Aid and Endowments \$1M

(\$33,881,772) Net Increase in **Transfers Out**

- Estimated increase in transfers to plant for the UNM Comprehensive Cancer Center expansion, CONPHE furniture, Pharmacy building design and other capital projects \$22.2M
- Estimated increase in contributions to Endowments \$11.7M (\$11M State Appropriations and \$700K Other Sources)

(\$3,177,750) Net Decrease in **Expenses**

- Net decrease in labor and operating expense budgets primarily due to workforce shortage and delays to planned expansion in the College of Nursing (\$5.1M)
- Estimated increase in student financial aid \$1.9M

Restricted

(\$52,919,745) Net Decrease in **Revenues**

- Estimated decrease in Government Contract & Grant revenues to normalize budgets for the phaseout of COVID related AHRQ grants

\$1,546,130 Net Increase in **Transfers In**

- Estimated increase of transfers in primarily for the Clinical & Translational Science Center and Project ECHO cost share

(\$51,373,614) Net Decrease in **Expenditures**

- Estimated decrease in overall expenditure budgets returning to pre-pandemic levels



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM Health Sciences</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Unrestricted</u>		Request # <u>1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	160,183,903	3,465,831	163,649,734
Student Social & Cultural Activities	26,940	(170)	26,770
Research	21,499,421	266,332	21,765,753
Public Service	452,820,311	34,019,123	486,839,434
Internal Service Dept.	14,821	300,883	315,704
Student Financial Aid	3,357,649	928,655	4,286,304
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations	119,331,144	5,251,021	124,582,165
Subtotal Current Funds	757,234,189	44,231,675	801,465,864
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	757,234,189	44,231,675	801,465,864
BEGINNING BALANCES			
Instruction and General	10,146,475	1,642,403	11,788,878
Student Social & Cultural Activities	88,823	(4,192)	84,631
Research	37,599,688	12,739,935	50,339,623
Public Service	109,447,558	(7,871,964)	101,575,594
Internal Service Dept.	30,100	64,218	94,318
Student Financial Aid	12,889,600	1,965,562	14,855,162
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations	(38,832,655)	1,259,344	(37,573,311)
Subtotal Current Funds	131,369,589	9,795,306	141,164,895
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	131,369,589	9,795,306	141,164,895
TOTAL AVAILABLE			
Instruction and General	170,330,378	5,108,234	175,438,612
Student Social & Cultural Activities	115,763	(4,362)	111,401
Research	59,099,109	13,006,267	72,105,376
Public Service	562,267,869	26,147,159	588,415,028
Internal Service Dept.	44,921	365,101	410,022
Student Financial Aid	16,247,249	2,894,217	19,141,466
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	80,498,489	6,510,365	87,008,854
Subtotal Current Funds	888,603,778	54,026,981	942,630,759
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	888,603,778	54,026,981	942,630,759

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	UNM Health Sciences	FY 2024	
Adjustment to Fund:	Unrestricted	Request # 1	
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	159,333,911	(5,439,310)	153,894,601
Student Social & Cultural Activities	32,640	23,200	55,840
Research	45,661,497	(2,642,764)	43,018,733
Public Service	443,460,537	2,527,644	445,988,181
Internal Service Dept.	(1,172,372)	596,540	(575,832)
Student Financial Aid	6,092,243	1,862,481	7,954,724
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	122,875,730	(105,541)	122,770,189
Subtotal Current Funds	776,284,186	(3,177,750)	773,106,436
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	776,284,186	(3,177,750)	773,106,436
TRANSFERS IN (OUT)			
Instruction and General	(1,227,112)	(8,433,072)	(9,660,184)
Student Social & Cultural Activities	5,700	4,000	9,700
Research	23,516,050	(918,907)	22,597,143
Public Service	(19,637,342)	(25,600,229)	(45,237,571)
Internal Service Dept.	(1,187,193)	295,657	(891,536)
Student Financial Aid	3,095,859	513,163	3,609,022
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	(1,385,869)	257,616	(1,128,253)
Subtotal Current Funds	3,180,093	(33,881,772)	(30,701,679)
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
NET TRANSFERS	3,180,093	(33,881,772)	(30,701,679)
ENDING BALANCES			
Instruction and General	9,769,355	18,980,616	11,883,827
Student Social & Cultural Activities	88,823	(23,562)	65,261
Research	36,953,662	14,730,124	51,683,786
Public Service	99,169,990	(1,980,714)	97,189,276
Internal Service Dept.	30,100	64,218	94,318
Student Financial Aid	13,250,865	1,544,899	14,795,764
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	(43,763,110)	6,873,522	(36,889,588)
Subtotal Current Funds	115,499,685	40,189,103	138,822,644
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	115,499,685	40,189,103	138,822,644
TOTAL EXPENDITURES, TRANSFERS, BALANCES	888,603,778	70,893,125	942,630,759

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM Health Sciences FY 2024

Adjustment to Fund: Unrestricted Request # 1

	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	32,352,391	422,855	32,775,246
Federal Government Appropriations		0	
State Government Appropriations	91,604,300	0	91,604,300
Local Government Appropriations		0	
Federal Grants/Contracts		0	
State Grants/Contracts		0	
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts		0	
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities	96,000	0	96,000
Other Sources	36,131,212	3,042,976	39,174,188
TOTAL REVENUES	160,183,903	3,465,831	163,649,734
BEGINNING BALANCE	10,146,475	1,642,403	11,788,878
TOTAL AVAILABLE	170,330,378	5,108,234	175,438,612
EXPENDITURES			
Instruction	99,153,227	(5,504,318)	93,648,909
Academic Support	14,654,632	(1,568,557)	13,086,075
Student Services	11,752,729	707,539	12,460,268
Institutional Support	23,921,925	(180,291)	23,741,634
Operation & Maintenance of Plant	9,851,398	1,106,317	10,957,715
TOTAL EXPENDITURES	159,333,911	(5,439,310)	153,894,601
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research	(21,812,807)	(3,607,271)	(25,420,078)
Public Service	14,589,413	302,511	14,891,924
Internal Service Dept.	196,761	(335,000)	(138,239)
Student Financial Aid	(193,400)	(184,795)	(378,195)
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay	(965,500)	(4,731,784)	(5,697,284)
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Main Campus and Taos Branch)	6,984,709	156,928	7,141,637
Other (Restricted)	(26,288)	(33,661)	(59,949)
NET TRANSFERS	(1,227,112)	(8,433,072)	(9,660,184)
ENDING BALANCE	9,769,355	18,980,616	11,883,827

Prepared by: Desiree Gathings Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM Health Sciences</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	7,913,037	(2,909,536)	5,003,501
Student Social & Cultural Activities		20,000	20,000
Research	173,337,248	(46,857,357)	126,479,891
Public Service	57,637,547	(3,984,197)	53,653,350
Internal Service Dept.		0	
Student Financial Aid	3,287,833	806,970	4,094,803
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		4,375	4,375
Subtotal Current Funds	242,175,665	(52,919,745)	189,255,920
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	242,175,665	(52,919,745)	189,255,920
BEGINNING BALANCES			
Instruction and General		0	
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	0	0	0
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
TOTAL AVAILABLE			
Instruction and General	7,913,037	(2,909,536)	5,003,501
Student Social & Cultural Activities	0	20,000	20,000
Research	173,337,248	(46,857,357)	126,479,891
Public Service	57,637,547	(3,984,197)	53,653,350
Internal Service Dept.	0	0	0
Student Financial Aid	3,287,833	806,970	4,094,803
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	4,375	4,375
Subtotal Current Funds	242,175,665	(52,919,745)	189,255,920
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	242,175,665	(52,919,745)	189,255,920

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	UNM Health Sciences		FY 2024
Adjustment to Fund:	Restricted		Request # 1
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	7,913,037	(2,909,536)	5,003,501
Student Social & Cultural Activities		20,000	20,000
Research	175,433,947	(45,352,654)	130,081,293
Public Service	58,234,289	(3,942,770)	54,291,519
Internal Service Dept.		0	
Student Financial Aid	3,287,833	806,970	4,094,803
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		4,375	4,375
Subtotal Current Funds	244,869,106	(51,373,615)	193,495,491
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	244,869,106	(51,373,615)	193,495,491
TRANSFERS IN (OUT)			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research	2,096,699	1,504,703	3,601,402
Public Service	596,742	41,427	638,169
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	2,693,441	1,546,130	4,239,571
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
NET TRANSFERS	2,693,441	1,546,130	4,239,571
ENDING BALANCES			
Instruction and General	0	(0)	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	(0)	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	(0)	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	(0)	0	0
TOTAL EXPENDITURES, TRANSFERS, BALANCES	242,175,665	(52,919,745)	189,255,920

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM Health Sciences FY 2024

Adjustment to Fund: Restricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees		0	
Federal Government Appropriations		0	
State Government Appropriations		0	
Local Government Appropriations		0	
Federal Grants/Contracts	7,178,290	(2,795,161)	4,383,129
State Grants/Contracts	725,065	(285,724)	439,341
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts	9,682	171,349	181,031
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities		0	
Other Sources		0	
TOTAL REVENUES	7,913,037	(2,909,536)	5,003,501
BEGINNING BALANCE		0	
TOTAL AVAILABLE	7,913,037	(2,909,536)	5,003,501
EXPENDITURES			
Instruction	7,862,685	(2,891,917)	4,970,768
Academic Support	50,351	(22,053)	28,298
Student Services		4,435	4,435
Institutional Support		0	
Operation & Maintenance of Plant		0	
TOTAL EXPENDITURES	7,913,037	(2,909,536)	5,003,501
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Main Campus and Taos Branch)		0	
Other (Restricted)		0	
NET TRANSFERS	0	0	0
ENDING BALANCE	0	(0)	0

Prepared by: Desiree Gathings Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

UNIVERSITY OF NEW MEXICO HOSPITALS
INCOME STATEMENT FOR
BUDGET SUMMARY
FISCAL YEAR 2024 and 2025

	ORIGINAL BUDGET FY 2023 - 2024	REVISED BUDGET FY 2023- 2024	ORIGINAL BUDGET FY 2024 - 2025	FY 2023 - 2024 REVISED TO ORIGINAL VARIANCE
NET PATIENT REVENUES	1,398,872,779	1,496,491,421	1,554,106,851	97,618,642
CONTRACT AND GRANT REVENUES	5,170,822	27,819,522	36,591,378	22,648,700
OTHER OPERATING REVENUES	53,219,395	42,606,220	43,162,465	(10,613,175)
TOTAL OPERATING REVENUES	<u>1,457,262,996</u>	<u>1,566,917,164</u>	<u>1,633,860,694</u>	<u>114,599,955</u>
MILL LEVY	130,359,619	131,217,035	133,281,135	857,416
OTHER NON-OPERATING REVENUES	20,230,501	20,230,500	21,367,700	(1)
TOTAL REVENUES	<u>1,607,853,116</u>	<u>1,718,364,698</u>	<u>1,788,509,529</u>	<u>115,457,369</u>
SALARIES, WAGES, & BENEFITS	750,189,211	829,104,392	836,115,808	78,915,181
MEDICAL SUPPLIES	281,392,629	309,715,106	312,611,431	28,322,477
UNIVERSITY CLINICIANS PROGRAM	145,011,678	146,041,252	161,634,028	1,029,574
HOUSESTAFF	44,373,650	47,097,694	50,311,231	2,724,044
ALL OTHER EXPENSES	373,896,430	412,711,435	408,088,736	38,815,005
TOTAL OPERATING EXPENSES	<u>1,594,863,598</u>	<u>1,744,669,881</u>	<u>1,768,761,234</u>	<u>149,806,283</u>
INTEREST EXPENSE & BOND RELATED COSTS	15,454,494	15,933,072	18,468,766	478,578
TOTAL EXPENSES	<u>1,610,318,092</u>	<u>1,760,602,953</u>	<u>1,787,230,000</u>	<u>150,284,861</u>
NON-RECURRING	10,899,999	62,906,958	26,000,000	52,006,959
NET GAIN/(LOSS)	<u>\$ 8,435,023</u>	<u>\$ 20,668,703</u>	<u>\$ 27,279,530</u>	<u>\$ 17,179,467</u>
NOTE:				
TOTAL CAPITAL OUTLAY	\$ 37,645,554	\$ 37,055,526	\$ 52,088,092	(590,028)
FUNDING FROM OTHER SOURCES (DONATIONS AND CAPITAL INITIATIVES FUND)	(4,365,798)	(4,179,763)	(25,988,092)	186,035
CAPITAL OUTLAY (FUNDED FROM CASH BALANCES)	<u>\$ 33,279,756</u>	<u>\$ 32,875,763</u>	<u>\$ 26,100,000</u>	<u>\$ (403,993)</u>

(A) Includes results for Sandoval Regional Medical Center, Children's Psychiatric Hospital and Carrie Tingley Hospital

The University of New Mexico, Gallup Branch

The overall FY 2024 BAR impact on the **UNM Gallup Branch Campus** is an unfavorable change (\$1,194,401) in net revenues, transfers, and expenditures.

Current Funds (Unrestricted)

- \$81,685 Net Increase in **Revenues**:
 - \$48,725 Increase in Public Service revenue budget due to increased gifts received.
 - \$32,960 Increased Student Financial Aid due to increased gifts received.
- (\$881,155) Net change in **Transfers Out**:
 - (\$1,266,954) Increase in transfers Out of I&G to plant primarily due to match for Gurley Hall improvement project and large equipment purchase.
 - \$2,000 Increase in the transfer In to Research from Main Campus due to receiving a Faculty Development award.
 - \$151,031 Increase in the transfer In to Student Financial Aid due to an increase in gifts received and scholarships awarded
 - \$232,768 Increase in transfers In to Auxiliary Enterprises due to losses in the bookstore from the write-down of old inventory
- \$394,931 Net Increase in **Expenditures** primarily due to:
 - \$107,321 Net increase in I&G expenditures due to faculty and staff hiring
 - \$13,281 Increased Student Social & Cultural Activities expenditure budget due to hiring a new student activities coordinator.
 - \$2,000 Increase in the Research expenditure budget due to receiving a Faculty Development award.
 - \$49,121 Increase in Public Service expenditure budget due to increased gifts received and awards given.
 - \$2,000 Increase in Internal Service expenditure due to increased automobile maintenance costs.
 - \$221,208 Increase in Student Financial Aid due to increased gifts received and scholarships awarded.

Current Funds (Restricted)

- (\$1,071,400) Net Decrease in **Revenues**:
 - (\$61,400) Decrease in Student Services and Institutional Support revenue due to reduced work-study hires.
 - (\$125,000) Decrease in Research revenue due to no awards.
 - (\$890,000) Decrease in Public Service revenue due to reduced activity
 - \$5,000 Increase in Auxiliary Enterprises revenue due to additional work-study hires.
- \$0 Net change in **Transfers**
- (\$1,071,400) Net Increase in **Expenditure**
 - (\$61,400) Decrease in Student Services and Institutional Support expenditures.
 - (\$125,000) Decrease in Research expenditures due to no awards.
 - (\$890,000) Decrease in Public Service expenditure due to reduced activity
 - \$5,000 Increase in Auxiliary Enterprises expenditure due to additional work-study hires.



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Gallup Campus FY 2024

Adjustment to Fund: UNRESTRICTED Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	16,466,844	0	16,466,844
Student Social & Cultural Activities	64,000	0	64,000
Research	0	0	0
Public Service	115,790	48,725	164,515
Internal Service Dept.	0	0	0
Student Financial Aid	0	32,960	32,960
Auxiliary Enterprises	669,338	0	669,338
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	17,315,972	81,685	17,397,657
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	17,315,972	81,685	17,397,657
BEGINNING BALANCES			
Instruction and General	6,635,385	361,462	6,996,847
Student Social & Cultural Activities	116,307	79,037	195,344
Research	0	2,937	2,937
Public Service	415,426	2,706	418,132
Internal Service Dept.	(161)	7,540	7,379
Student Financial Aid	393,233	115,314	508,547
Auxiliary Enterprises	81,082	(293,313)	(212,231)
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	7,641,272	275,683	7,916,955
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	7,641,272	275,683	7,916,955
TOTAL AVAILABLE			
Instruction and General	23,102,229	361,462	23,463,691
Student Social & Cultural Activities	180,307	79,037	259,344
Research	0	2,937	2,937
Public Service	531,216	51,431	582,647
Internal Service Dept.	(161)	7,540	7,379
Student Financial Aid	393,233	148,274	541,507
Auxiliary Enterprises	750,420	(293,313)	457,107
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	24,957,244	357,368	25,314,612
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	24,957,244	357,368	25,314,612

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	UNM - Gallup Campus	FY 2024	
Adjustment to Fund:	UNRESTRICTED	Request # 1	
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	15,594,223	107,321	15,701,544
Student Social & Cultural Activities	64,000	13,281	77,281
Research	0	2,000	2,000
Public Service	115,790	49,121	164,911
Internal Service Dept.	1,500	2,000	3,500
Student Financial Aid	100,000	221,208	321,208
Auxiliary Enterprises	627,638	0	627,638
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	16,503,151	394,931	16,898,082
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	16,503,151	394,931	16,898,082
TRANSFERS IN (OUT)			
Instruction and General	(872,621)	(1,266,954)	(2,139,575)
Student Social & Cultural Activities		0	
Research		2,000	2,000
Public Service		0	
Internal Service Dept.	1,500	0	1,500
Student Financial Aid	100,000	151,031	251,031
Auxiliary Enterprises	(41,700)	232,768	191,068
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	(812,821)	(881,155)	(1,693,976)
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
NET TRANSFERS	(812,821)	(881,155)	(1,693,976)
ENDING BALANCES			
Instruction and General	6,635,385	(1,012,813)	5,622,572
Student Social & Cultural Activities	116,307	65,756	182,063
Research	0	2,937	2,937
Public Service	415,426	2,310	417,736
Internal Service Dept.	(161)	5,540	5,379
Student Financial Aid	393,233	78,097	471,330
Auxiliary Enterprises	81,082	(60,545)	20,537
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	7,641,272	(918,718)	6,722,554
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	7,641,272	(918,718)	6,722,554
TOTAL EXPENDITURES, TRANSFERS, BALANCES	24,957,244	357,368	25,314,612

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Gallup Campus FY 2024

Adjustment to Fund: UNRESTRICTED Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	2,546,520	0	2,546,520
Federal Government Appropriations		0	
State Government Appropriations	11,586,702	0	11,586,702
Local Government Appropriations	2,115,722	0	2,115,722
Federal Grants/Contracts		0	
State Grants/Contracts		0	
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts		0	
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities	4,900	0	4,900
Other Sources	213,000	0	213,000
TOTAL REVENUES	16,466,844	0	16,466,844
BEGINNING BALANCE	6,635,385	361,462	6,996,847
TOTAL AVAILABLE	23,102,229	361,462	23,463,691
EXPENDITURES			
Instruction	8,606,522	246,083	8,852,605
Academic Support	1,462,698	4,140	1,466,838
Student Services	1,363,038	(134,116)	1,228,922
Institutional Support	2,302,119	1,214	2,303,333
Operation & Maintenance of Plant	1,859,846	(10,000)	1,849,846
TOTAL EXPENDITURES	15,594,223	107,321	15,701,544
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.	1,500	0	1,500
Student Financial Aid	100,000	0	100,000
Auxiliary Enterprises	(41,700)	232,768	191,068
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay	60,652	1,038,326	1,098,978
Renewals & Replacements	684,285	0	684,285
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	0
Other (Main Campus)	67,884	(4,140)	63,744
Other (Specify)		0	
NET TRANSFERS	872,621	1,266,954	2,139,575
ENDING BALANCE	6,635,385	(1,012,813)	5,622,572

Prepared by: Robert Griego, DBO Gallup Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Gallup Campus FY 2024

Adjustment to Fund: RESTRICTED Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	154,900	(61,400)	93,500
Student Social & Cultural Activities		0	
Research	125,000	(125,000)	0
Public Service	1,860,000	(890,000)	970,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		5,000	5,000
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	2,139,900	(1,071,400)	1,068,500
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	2,139,900	(1,071,400)	1,068,500
BEGINNING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	0	0	0
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
TOTAL AVAILABLE			
Instruction and General	154,900	(61,400)	93,500
Student Social & Cultural Activities	0	0	0
Research	125,000	(125,000)	0
Public Service	1,860,000	(890,000)	970,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	5,000	5,000
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	2,139,900	(1,071,400)	1,068,500
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	2,139,900	(1,071,400)	1,068,500

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM - Gallup Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>RESTRICTED</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	154,900	(61,400)	93,500
Student Social & Cultural Activities		0	
Research	125,000	(125,000)	
Public Service	1,860,000	(890,000)	970,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		5,000	5,000
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	<u>2,139,900</u>	<u>(1,071,400)</u>	<u>1,068,500</u>
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES	<u>2,139,900</u>	<u>(1,071,400)</u>	<u>1,068,500</u>
TRANSFERS IN (OUT)			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
NET TRANSFERS	<u>0</u>	<u>0</u>	<u>0</u>
ENDING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL ENDING BALANCES	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES, TRANSFERS, BALANCES	<u><u>2,139,900</u></u>	<u><u>(1,071,400)</u></u>	<u><u>1,068,500</u></u>

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Gallup Campus FY 2024

Adjustment to Fund: RESTRICTED Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees		0	
Federal Government Appropriations		0	
State Government Appropriations		0	
Local Government Appropriations		0	
Federal Grants/Contracts	73,164	(55,664)	17,500
State Grants/Contracts	72,705	3,295	76,000
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts	9,031	(9,031)	0
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities		0	
Other Sources		0	
TOTAL REVENUES	154,900	(61,400)	93,500
BEGINNING BALANCE		0	
TOTAL AVAILABLE	154,900	(61,400)	93,500
EXPENDITURES			
Instruction	69,031	(56,531)	12,500
Academic Support	38,164	(164)	38,000
Student Services	47,705	(4,705)	43,000
Institutional Support		0	
Operation & Maintenance of Plant		0	
TOTAL EXPENDITURES	154,900	(61,400)	93,500
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Specify)		0	
Other (Specify)		0	
NET TRANSFERS	0	0	0
ENDING BALANCE	0	0	0

Prepared by: Robert Griego, DBO Gallup Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

The University of New Mexico, Los Alamos Branch

The overall FY 2024 BAR impact on the **UNM Los Alamos Branch Campus** is an unfavorable change of (\$600,000) in net revenues, transfers, and expenditures.

Current Funds (Unrestricted)

- \$0 Net Change in **Revenues** in I&G
- (\$597,930) Net Increase in **Transfers Out**
 - (\$600,000) Increase in transfer to Renewal and Replacement for capital project match.
 - \$2,070 Transfer from Main Campus for the Policy Committee Chair position.
- \$2,070 Net Increase in **Expenditures**
 - \$2,070 Increase in I&G expenditures.

Current Funds (Restricted)

- (\$198,445) Overall Decrease in **Revenues.**
 - (\$25,000) Decrease in I&G revenues in Federal Grants and Contracts.
 - \$2,500 Increase in I&G revenues in State Grants and Contracts.
 - (\$175,945) Decrease Public Service to match actuals for Title V Department of Education grant.
- \$0 Net Change in **Transfers**
- (\$198,445) Overall Decrease in **Expenditures**
 - (\$10,500) Decrease in Academic Support for work-study.
 - \$1,500 Increase in Student Services for work-study.
 - (13,500) Decrease in Institutional Support expenditures for work-study.
 - (\$175,945) Decrease in Public Service expenditures to match actuals for Title V Department of Education grant.



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Los Alamos Campus FY 2024

Adjustment to Fund: UNRESTRICTED Request # BAR #1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	5,040,748	0	5,040,748
Student Social & Cultural Activities	50,100	0	50,100
Research	0	0	0
Public Service	6,500	0	6,500
Internal Service Dept.	0	0	0
Student Financial Aid	6,000	0	6,000
Auxiliary Enterprises	90,500	0	90,500
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	5,193,848	0	5,193,848
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	5,193,848	0	5,193,848
BEGINNING BALANCES			
Instruction and General	2,343,441	1,182,997	3,526,438
Student Social & Cultural Activities	28,352	5,633	33,985
Research	0	0	0
Public Service	67,375	90,816	158,191
Internal Service Dept.	0	0	0
Student Financial Aid	173,880	36,914	210,794
Auxiliary Enterprises	396,444	293,912	690,356
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	3,009,492	1,610,272	4,619,764
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	3,009,492	1,610,272	4,619,764
TOTAL AVAILABLE			
Instruction and General	7,384,189	1,182,997	8,567,186
Student Social & Cultural Activities	78,452	5,633	84,085
Research	0	0	0
Public Service	73,875	90,816	164,691
Internal Service Dept.	0	0	0
Student Financial Aid	179,880	36,914	216,794
Auxiliary Enterprises	486,944	293,912	780,856
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	8,203,340	1,610,272	9,813,612
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	8,203,340	1,610,272	9,813,612

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Los Alamos Campus FY 2024

Adjustment to Fund: UNRESTRICTED Request # BAR #1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
EXPENDITURES			
Instruction and General	5,071,085	2,070	5,073,155
Student Social & Cultural Activities	10,100	0	10,100
Research	0	0	0
Public Service	83,009	0	83,009
Internal Service Dept.	0	0	0
Student Financial Aid	70,200	0	70,200
Auxiliary Enterprises	340,500	0	340,500
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	5,574,894	2,070	5,576,964
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	5,574,894	2,070	5,576,964
TRANSFERS IN (OUT)			
Instruction and General	(650,783)	(642,212)	(1,292,995)
Student Social & Cultural Activities	(40,000)	0	(40,000)
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	36,000	0	36,000
Auxiliary Enterprises	0	44,282	44,282
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	(654,783)	(597,930)	(1,252,713)
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
NET TRANSFERS	(654,783)	(597,930)	(1,252,713)
ENDING BALANCES			
Instruction and General	1,662,321	538,715	2,201,036
Student Social & Cultural Activities	28,352	5,633	33,985
Research	0	0	0
Public Service	(9,134)	90,816	81,682
Internal Service Dept.	0	0	0
Student Financial Aid	145,680	36,914	182,594
Auxiliary Enterprises	146,444	338,194	484,638
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	1,973,663	1,010,272	2,983,935
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	1,973,663	1,010,272	2,983,935
TOTAL EXPENDITURES, TRANSFERS, BALANCES	8,203,340	1,610,272	9,813,612

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Los Alamos Campus FY 2024
 Adjustment to Fund: UNRESTRICTED Request # BAR #1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	1,024,315	0	1,024,315
Federal Government Appropriations	0	0	0
State Government Appropriations	2,334,683	0	2,334,683
Local Government Appropriations	1,560,000	0	1,560,000
Federal Grants/Contracts	0	0	0
State Grants/Contracts	750	0	750
Local Grants/Contracts	0	0	0
Private Gifts/Grants/Contracts	0	0	0
Endowment/Land/Permanent Fund	0	0	0
Sales & Services of Ed Activities	50,000	0	50,000
Other Sources	71,000	0	71,000
TOTAL REVENUES	5,040,748	0	5,040,748
BEGINNING BALANCE	2,343,441	1,182,997	3,526,438
TOTAL AVAILABLE	7,384,189	1,182,997	8,567,186
EXPENDITURES			
Instruction	1,671,849	(43,668)	1,628,181
Academic Support	839,937	0	839,937
Student Services	657,593	22,360	679,953
Institutional Support	1,335,231	23,378	1,358,609
Operation & Maintenance of Plant	566,475	0	566,475
TOTAL EXPENDITURES	5,071,085	2,070	5,073,155
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid	36,000	0	36,000
Auxiliary Enterprises	0	44,282	44,282
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay	86,000	0	86,000
Renewals & Replacements	528,783	600,000	1,128,783
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund	0	0	0
Other (From Main Campus)	0	(2,070)	(2,070)
Other (Specify)	0	0	
NET TRANSFERS	650,783	642,212	1,292,995
ENDING BALANCE	1,662,321	538,715	2,201,036

Prepared by: Bob Harmon Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : **UNM - Los Alamos Campus** FY **2024**

Adjustment to Fund: **RESTRICTED** Request # **BAR #1**

	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
REVENUES			
Instruction and General	36,500	(22,500)	14,000
Student Social & Cultural Activities	0	0	0
Research	332,000	0	332,000
Public Service	1,045,945	(175,945)	870,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	1,414,445	(198,445)	1,216,000
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	1,414,445	(198,445)	1,216,000
BEGINNING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
TOTAL AVAILABLE			
Instruction and General	36,500	(22,500)	14,000
Student Social & Cultural Activities	0	0	0
Research	332,000	0	332,000
Public Service	1,045,945	(175,945)	870,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	1,414,445	(198,445)	1,216,000
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	1,414,445	(198,445)	1,216,000

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM - Los Alamos Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>RESTRICTED</u>		Request # <u>BAR #1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
EXPENDITURES			
Instruction and General	36,500	(22,500)	14,000
Student Social & Cultural Activities		0	
Research	332,000	0	332,000
Public Service	1,045,945	(175,945)	870,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	<u>1,414,445</u>	<u>(198,445)</u>	<u>1,216,000</u>
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES	<u>1,414,445</u>	<u>(198,445)</u>	<u>1,216,000</u>
TRANSFERS IN (OUT)			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay		0	0
Renewals & Replacements		0	0
Retirement of Indebtedness		0	0
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
NET TRANSFERS	<u>0</u>	<u>0</u>	<u>0</u>
ENDING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL ENDING BALANCES	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES, TRANSFERS, BALANCES	<u><u>1,414,445</u></u>	<u><u>(198,445)</u></u>	<u><u>1,216,000</u></u>

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM - Los Alamos Campus FY 2024

Adjustment to Fund: RESTRICTED Request # BAR #1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	0	0	0
Federal Government Appropriations	0	0	0
State Government Appropriations	0	0	0
Local Government Appropriations	0	0	0
Federal Grants/Contracts	25,000	(25,000)	0
State Grants/Contracts	11,500	2,500	14,000
Local Grants/Contracts	0	0	0
Private Gifts/Grants/Contracts	0	0	0
Endowment/Land/Permanent Fund	0	0	0
Sales & Services of Ed Activities	0	0	0
Other Sources	0	0	0
TOTAL REVENUES	36,500	(22,500)	14,000
BEGINNING BALANCE		0	
TOTAL AVAILABLE	36,500	(22,500)	14,000
EXPENDITURES			
Instruction	0	0	0
Academic Support	10,500	(10,500)	0
Student Services	12,500	1,500	14,000
Institutional Support	13,500	(13,500)	0
Operation & Maintenance of Plant	0	0	0
TOTAL EXPENDITURES	36,500	(22,500)	14,000
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Intercollegiate Athletics	0	0	0
Independent Operations	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Non-Budgetary Exhibits:			
Endowment Fund	0	0	0
Other (Specify)	0	0	0
Other (Specify)	0	0	0
NET TRANSFERS	0	0	0
ENDING BALANCE	0	0	0

Prepared by: Bob Harmon Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

The University of New Mexico, Taos Branch

The overall FY 20244 BAR impact on the **UNM Taos Branch Campus** is an unfavorable change of (\$2,396,302) in net revenues, transfers, and expenditures.

Current Funds (Unrestricted)

- \$213,465 Net Increase in **Revenues**:
 - \$130,965 Increase in I&G Sales and Service and other revenue sources.
 - \$2,500 Increase in Student Social revenue from the Student Nurse Association.
 - \$75,000 Increase in Public service revenue.
 - \$5,000 Increase in Student Financial Aid revenue.

- (\$2,291,178) Net Increase in **Transfers Out**:
 - (\$68,965) Transfer to Research for cost share for trails plus grant.
 - (\$35,400) Transfer to Public Service for cost share EDA grant.
 - (\$2,187,428) Transfer to Plant Primary for the Peralta Hall Renovation and other capital projects.
 - \$615 Transfer from Health Science Center.

- \$318,589 Net Increase in **Expenditures** primarily due to:
 - (\$11,400) Decrease in Instructional Expenses.
 - \$38,615 Increase in Institutional Support Expenses.
 - \$11,500 Increase in Student Social & Cultural Activities expenses.
 - \$274,874 Increase in Public service expenses.
 - \$5,000 Increase in Student Financial Aid for Lions Designated Scholarship.

Current Funds (Restricted)

- \$532,022 Net Increase in **Revenues**:
 - \$24,152 Increase in I&G in work-study funding revenue.
 - \$70,000 Increase in I&G for TANF ABE grant and corresponding revenue.
 - (\$1,150) Decrease revenue in Research for reduced grant activity.
 - \$439,020 Increase revenue in Public Service for increased grant activity

- \$0 Net Changes in **Transfers**.

- \$532,022 Net Increase in **Expenditures**:
 - \$24,152 Increase in I&G in work-study expenditures.
 - \$70,000 Increase in I&G for TANF ABE grant and expenditures.
 - (\$1,150) Decrease expenses in Research for reduced grant activity.
 - \$439,020 Increase expenses in Public Service for increased grant activity.



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico-Taos</u>		FY <u>24</u>
Adjustment to Fund:	<u>Unrestricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
	<hr/>	<hr/>	<hr/>
REVENUES			
Instruction and General	9,914,818	130,965	10,045,783
Student Social & Cultural Activities	55,000	2,500	57,500
Research		0	
Public Service	365,000	75,000	440,000
Internal Service Dept.		0	
Student Financial Aid		5,000	5,000
Auxiliary Enterprises	40,000	0	40,000
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	10,374,818	213,465	10,588,283
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	10,374,818	213,465	10,588,283
BEGINNING BALANCES			
Instruction and General	4,837,955	2,659,188	7,497,143
Student Social & Cultural Activities	111,269	(34,660)	76,609
Research		0	
Public Service	688,333	189,907	878,240
Internal Service Dept.		0	
Student Financial Aid	334,992	49,940	384,932
Auxiliary Enterprises	88,138	1,160	89,298
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	6,060,687	2,865,535	8,926,222
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	6,060,687	2,865,535	8,926,222
TOTAL AVAILABLE			
Instruction and General	14,752,773	2,790,153	17,542,926
Student Social & Cultural Activities	166,269	(32,160)	134,109
Research	0	0	0
Public Service	1,053,333	264,907	1,318,240
Internal Service Dept.	0	0	0
Student Financial Aid	334,992	54,940	389,932
Auxiliary Enterprises	128,138	1,160	129,298
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	16,435,505	3,079,000	19,514,505
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	16,435,505	3,079,000	19,514,505

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	University of New Mexico-Taos	FY 24	
Adjustment to Fund:	Unrestricted	Request # 1	
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	9,680,544	27,215	9,707,759
Student Social & Cultural Activities	55,000	11,500	66,500
Research		0	
Public Service	365,000	274,874	639,874
Internal Service Dept.		0	
Student Financial Aid	84,145	5,000	89,145
Auxiliary Enterprises	40,000	0	40,000
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	10,224,689	318,589	10,543,278
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	10,224,689	318,589	10,543,278
TRANSFERS IN (OUT)			
Instruction and General	(234,274)	(2,291,178)	(2,525,452)
Student Social & Cultural Activities		9,000	9,000
Research		0	
Public Service		(9,000)	(9,000)
Internal Service Dept.		0	
Student Financial Aid	84,145	0	84,145
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	(150,129)	(2,291,178)	(2,441,307)
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
NET TRANSFERS	(150,129)	(2,291,178)	(2,441,307)
ENDING BALANCES			
Instruction and General	4,837,955	471,760	5,309,715
Student Social & Cultural Activities	111,269	(34,660)	76,609
Research	0	0	0
Public Service	688,333	(18,967)	669,366
Internal Service Dept.	0	0	0
Student Financial Aid	334,992	49,940	384,932
Auxiliary Enterprises	88,138	1,160	89,298
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	6,060,687	469,233	6,529,920
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	6,060,687	469,233	6,529,920
TOTAL EXPENDITURES, TRANSFERS, BALANCES	16,435,505	3,079,000	19,514,505

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : University of New Mexico-Taos FY 24

Adjustment to Fund: Unrestricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	1,132,612	0	1,132,612
Federal Government Appropriations		0	
State Government Appropriations	5,683,398	0	5,683,398
Local Government Appropriations	2,448,808	0	2,448,808
Federal Grants/Contracts		0	
State Grants/Contracts		0	
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts		0	
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities	50,000	62,000	112,000
Other Sources	600,000	68,965	668,965
TOTAL REVENUES	9,914,818	130,965	10,045,783
BEGINNING BALANCE	4,837,955	2,659,188	7,497,143
TOTAL AVAILABLE	14,752,773	2,790,153	17,542,926
EXPENDITURES			
Instruction	3,798,451	(11,400)	3,787,051
Academic Support	843,311	0	843,311
Student Services	809,774	0	809,774
Institutional Support	2,846,450	38,615	2,885,065
Operation & Maintenance of Plant	1,382,558	0	1,382,558
TOTAL EXPENDITURES	9,680,544	27,215	9,707,759
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		68,965	68,965
Public Service		35,400	35,400
Internal Service Dept.		0	
Student Financial Aid	79,145	0	79,145
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay	30,137	2,187,428	2,217,565
Renewals & Replacements	124,992	0	124,992
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Specify)		(615)	(615)
Other (Specify)		0	
NET TRANSFERS	234,274	2,291,178	2,525,452
ENDING BALANCE	4,837,955	471,760	5,309,715

Prepared by: Thomas Duran Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico-Taos</u>		FY <u>24</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
 REVENUES			
Instruction and General	53,648	94,152	147,800
Student Social & Cultural Activities		0	
Research	101,150	(1,150)	100,000
Public Service	4,585,980	439,020	5,025,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	4,740,778	532,022	5,272,800
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	4,740,778	532,022	5,272,800
 BEGINNING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	0	0	0
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
 TOTAL AVAILABLE			
Instruction and General	53,648	94,152	147,800
Student Social & Cultural Activities	0	0	0
Research	101,150	(1,150)	100,000
Public Service	4,585,980	439,020	5,025,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	4,740,778	532,022	5,272,800
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	4,740,778	532,022	5,272,800

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>University of New Mexico-Taos</u>		FY <u>24</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	53,648	94,152	147,800
Student Social & Cultural Activities		0	
Research	101,150	(1,150)	100,000
Public Service	4,585,980	439,020	5,025,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	4,740,778	532,022	5,272,800
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	4,740,778	532,022	5,272,800
TRANSFERS IN (OUT)			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	0	0	0
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
NET TRANSFERS	0	0	0
ENDING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	0	0	0
TOTAL EXPENDITURES, TRANSFERS, BALANCES	4,740,778	532,022	5,272,800

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : University of New Mexico-Taos FY 24

Adjustment to Fund: Restricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees		0	
Federal Government Appropriations		0	
State Government Appropriations		0	
Local Government Appropriations		0	
Federal Grants/Contracts	33,688	71,612	105,300
State Grants/Contracts	19,960	22,540	42,500
Local Grants/Contracts		0	
Private Gifts/Grants/Contracts		0	
Endowment/Land/Permanent Fund		0	
Sales & Services of Ed Activities		0	
Other Sources		0	
TOTAL REVENUES	53,648	94,152	147,800
BEGINNING BALANCE		0	
TOTAL AVAILABLE	53,648	94,152	147,800
EXPENDITURES			
Instruction	6,958	97,842	104,800
Academic Support	19,012	(5,012)	14,000
Student Services	13,540	7,460	21,000
Institutional Support	14,138	(6,138)	8,000
Operation & Maintenance of Plant		0	
TOTAL EXPENDITURES	53,648	94,152	147,800
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Specify)		0	
Other (Specify)		0	
NET TRANSFERS	0	0	0
ENDING BALANCE	0	0	0

Prepared by: Thomas Duran Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

The University of New Mexico, Valencia Branch

The overall FY 2024 BAR impact on the **UNM Valencia Branch** is an unfavorable change of (\$581,528) in the net revenues, transfers, and expenditures.

Current Funds (Unrestricted)

- \$374,159 Increase in **Revenues** due to:
 - \$105,242 Increase I&G in Spring & Fall tuition revenue
 - \$75,000 Increase in State Special Appropriations for Nursing and CTE Program Instruction per SB192.
 - \$6,614 Increase in facilities usage and workshop fee revenue associated with the UNM-Valencia Workforce Training Center.
 - \$77,255 Increase in interest income and F&A revenue.
 - \$3,539 Increase in Student Social & Cultural revenue from mandatory student fees, gifts, and fundraising activities.
 - \$38,295 Increase in Public Service revenue due to increased fundraising activity.
 - \$68,214 Increase in Student Financial Aid revenue from endowment earnings and distributions.

- (\$808,486) Increase in **Transfers Out** due to:
 - (\$799,981) Increase in Plant Capital Fund for minor capital projects, including \$650,000 for network equipment.
 - (\$8,505) Increase transfer from Public Service to Endowments for scholarships.

- \$147,201 Net Increase in **Expenditure** due to:
 - \$80,874 Increase in I&G expenditures primarily to reflect expenditures associated with funding from SB192.
 - \$2,445 Increase in Student Social & Cultural expenditures resulting from increases in mandatory student fees revenues, gifts, and fundraising activities.
 - \$38,256 Increase in Public Service expenses due to increased fundraising activity.
 - \$61,992 Increase in Student Financial Aid expenses from endowment earnings and distributions.
 - (\$6,366) Decrease in Internal services expenses to offset the previous year's deficit.
 - (\$30,000) Decrease in Auxiliary Enterprises expenditures to match reduction in revenues.

Current Funds (Restricted)

- \$372,866 Net Increase in **Revenue**:
 - (\$14,234) Decrease in I&G revenue
 - \$15,932 Increase in revenues related to restricted Research Contracts & Grant programs
 - \$371,168 Increase in revenues related to restricted Public Service Contracts & Grant programs

- \$0 Net Change in **Transfers**

- \$372,866 Net Increase in **Expenditure**:
 - (\$14,234) Decrease in I&G expenditure
 - \$15,932 Increase in expenses related to restricted Research Contracts & Grant programs
 - \$371,168 Increase in expenses related to restricted Public Service Contracts & Grant programs



NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM-Valencia Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Unrestricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
	<hr/>	<hr/>	<hr/>
REVENUES			
Instruction and General	12,877,069	264,111	13,141,180
Student Social & Cultural Activities	21,230	3,539	24,769
Research	0	0	
Public Service	30,468	38,295	68,763
Internal Service Dept.	771	0	771
Student Financial Aid	51,900	68,214	120,114
Auxiliary Enterprises	327,528	0	327,528
Athletics	0	0	
Independent Operations	0	0	
Subtotal Current Funds	13,308,966	374,159	13,683,125
Capital Outlay	0	0	
Renewals & Replacements	0	0	
Retirement of Indebtedness	0	0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	13,308,966	374,159	13,683,125
BEGINNING BALANCES			
Instruction and General	4,363,920	956,350	5,320,270
Student Social & Cultural Activities	25,015	(4,992)	20,023
Research	0	0	
Public Service	14,833	96,557	111,390
Internal Service Dept.	14,223	19,939	34,162
Student Financial Aid	123,275	26,009	149,284
Auxiliary Enterprises	285,394	(146,812)	138,582
Athletics	0	0	
Independent Operations	0	0	
Subtotal Current Funds	4,826,660	947,051	5,773,711
Capital Outlay	0	0	
Renewals & Replacements	0	0	
Retirement of Indebtedness	0	0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	4,826,660	947,051	5,773,711
TOTAL AVAILABLE			
Instruction and General	17,240,989	1,220,461	18,461,450
Student Social & Cultural Activities	46,245	(1,453)	44,792
Research	0	0	0
Public Service	45,301	134,852	180,153
Internal Service Dept.	14,994	19,939	34,933
Student Financial Aid	175,175	94,223	269,398
Auxiliary Enterprises	612,922	(146,812)	466,110
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	18,135,626	1,321,210	19,456,836
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	18,135,626	1,321,210	19,456,836

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	UNM-Valencia Campus		FY 2024
Adjustment to Fund:	Unrestricted		Request # 1
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	12,699,850	80,874	12,780,724
Student Social & Cultural Activities	25,220	2,445	27,665
Research	0	0	
Public Service	118,118	38,256	156,374
Internal Service Dept.	771	(6,366)	(5,595)
Student Financial Aid	236,946	61,992	298,938
Auxiliary Enterprises	382,528	(30,000)	352,528
Athletics	0	0	
Independent Operations	0	0	
Subtotal Current Funds	13,463,433	147,201	13,610,634
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
TOTAL EXPENDITURES	13,463,433	147,201	13,610,634
TRANSFERS IN (OUT)			
Instruction and General	(437,822)	(799,981)	(1,237,803)
Student Social & Cultural Activities		0	
Research		0	
Public Service		(8,505)	(8,505)
Internal Service Dept.		0	
Student Financial Aid	157,496	0	157,496
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	(280,326)	(808,486)	(1,088,812)
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	0	0	0
NET TRANSFERS	(280,326)	(808,486)	(1,088,812)
ENDING BALANCES			
Instruction and General	4,103,317	339,606	4,442,923
Student Social & Cultural Activities	21,025	(3,898)	17,127
Research	0	0	0
Public Service	(72,817)	88,091	15,274
Internal Service Dept.	14,223	26,305	40,528
Student Financial Aid	95,725	32,231	127,956
Auxiliary Enterprises	230,394	(116,812)	113,582
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	4,391,867	365,523	4,757,390
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
TOTAL ENDING BALANCES	4,391,867	365,523	4,757,390
TOTAL EXPENDITURES, TRANSFERS, BALANCES	18,135,626	1,321,210	19,456,836

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM-Valencia Campus FY 2024

Adjustment to Fund: Unrestricted Request # 1

	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	1,449,760	105,242	1,555,002
Federal Government Appropriations		0	
State Government Appropriations	7,547,371	75,000	7,622,371
Local Government Appropriations	3,641,747	0	3,641,747
Federal Grants/Contracts	0	0	
State Grants/Contracts	0	0	
Local Grants/Contracts	0	0	
Private Gifts/Grants/Contracts	0	0	
Endowment/Land/Permanent Fund	0	0	
Sales & Services of Ed Activities	10,200	6,614	16,814
Other Sources	227,991	77,255	305,246
TOTAL REVENUES	12,877,069	264,111	13,141,180
BEGINNING BALANCE	4,363,920	956,350	5,320,270
TOTAL AVAILABLE	17,240,989	1,220,461	18,461,450
EXPENDITURES			
Instruction	5,618,085	81,514	5,699,599
Academic Support	1,657,827	(39,828)	1,617,999
Student Services	1,406,543	(15,250)	1,391,293
Institutional Support	2,668,562	43,438	2,712,000
Operation & Maintenance of Plant	1,348,833	11,000	1,359,833
TOTAL EXPENDITURES	12,699,850	80,874	12,780,724
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid	154,046	0	154,046
Auxiliary Enterprises		0	
Intercollegiate Athletics		0	
Independent Operations		0	
Capital Outlay	42,613	799,981	842,594
Renewals & Replacements	173,279	0	173,279
Retirement of Indebtedness		0	
Non-Budgetary Exhibits:			
Endowment Fund		0	
Other (Specify)	67,884	0	67,884
Other (Specify)		0	
NET TRANSFERS	437,822	799,981	1,237,803
ENDING BALANCE	4,103,317	339,606	4,442,923

Prepared by: Amanda Thompson Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept	Reject	Date	
NMHED Analyst	_____	_____	___/___/___	NMHED Control # _____
NMHED Director	_____	_____	___/___/___	
For DFA Use Only				
DFA Analyst	_____	_____	___/___/___	DFA Control # _____
DFA Director	_____	_____	___/___/___	Agency Code _____
	Increase _____	Decrease _____	Transfer _____	

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM-Valencia Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	<u>Current Approved Budget</u>	<u>INCREASE (DECREASE)</u>	<u>Revised Budget</u>
REVENUES			
Instruction and General	224,234	(14,234)	210,000
Student Social & Cultural Activities	0	0	0
Research	121,568	15,932	137,500
Public Service	2,766,832	371,168	3,138,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	30,000	0	30,000
Athletics	0	0	
Independent Operations	0	0	
Subtotal Current Funds	3,142,634	372,866	3,515,500
Capital Outlay	0	0	
Renewals & Replacements	0	0	
Retirement of Indebtedness	0	0	
Subtotal Plant Funds	0	0	0
TOTAL REVENUES	3,142,634	372,866	3,515,500
BEGINNING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	
Research	0	0	
Public Service	0	0	
Internal Service Dept.	0	0	
Student Financial Aid	0	0	
Auxiliary Enterprises	0	0	
Athletics	0	0	
Independent Operations	0	0	
Subtotal Current Funds	0	0	0
Capital Outlay	0	0	
Renewals & Replacements	0	0	
Retirement of Indebtedness	0	0	
Subtotal Plant Funds	0	0	0
TOTAL BEGINNING BALANCES	0	0	0
TOTAL AVAILABLE			
Instruction and General	224,234	(14,234)	210,000
Student Social & Cultural Activities	0	0	0
Research	121,568	15,932	137,500
Public Service	2,766,832	371,168	3,138,000
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	30,000	0	30,000
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	3,142,634	372,866	3,515,500
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	0	0	0
GRAND TOTAL AVAILABLE	3,142,634	372,866	3,515,500

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION :	<u>UNM-Valencia Campus</u>		FY <u>2024</u>
Adjustment to Fund:	<u>Restricted</u>		Request # <u>1</u>
	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
EXPENDITURES			
Instruction and General	224,234	(14,234)	210,000
Student Social & Cultural Activities		0	
Research	121,568	15,932	137,500
Public Service	2,766,832	371,168	3,138,000
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises	30,000	0	30,000
Athletics		0	
Independent Operations		0	
Subtotal Current Funds	<u>3,142,634</u>	<u>372,866</u>	<u>3,515,500</u>
Capital Outlay		0	
Renewals & Replacements		0	
Retirement of Indebtedness		0	
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES	<u>3,142,634</u>	<u>372,866</u>	<u>3,515,500</u>
TRANSFERS IN (OUT)			
Instruction and General	0	0	0
Student Social & Cultural Activities		0	
Research		0	
Public Service		0	
Internal Service Dept.		0	
Student Financial Aid		0	
Auxiliary Enterprises		0	
Athletics		0	
Independent Operations		0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay		0	
Renewals & Replacements		0	0
Retirement of Indebtedness		0	
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
NET TRANSFERS	<u>0</u>	<u>0</u>	<u>0</u>
ENDING BALANCES			
Instruction and General	0	0	0
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Athletics	0	0	0
Independent Operations	0	0	0
Subtotal Current Funds	<u>0</u>	<u>0</u>	<u>0</u>
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Subtotal Plant Funds	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL ENDING BALANCES	<u>0</u>	<u>0</u>	<u>0</u>
TOTAL EXPENDITURES, TRANSFERS, BALANCES	<u><u>3,142,634</u></u>	<u><u>372,866</u></u>	<u><u>3,515,500</u></u>

NEW MEXICO HIGHER EDUCATION DEPARTMENT
BUDGET ADJUSTMENT REQUEST

INSTITUTION : UNM-Valencia Campus FY 2024

Adjustment to Fund: Restricted Request # 1

	Current Approved Budget	INCREASE (DECREASE)	Revised Budget
INSTRUCTION & GENERAL:			
REVENUES			
Tuition and Fees	0	0	0
Federal Government Appropriations	0	0	0
State Government Appropriations	0	0	0
Local Government Appropriations	0	0	0
Federal Grants/Contracts	138,940	(79,940)	59,000
State Grants/Contracts	85,294	65,706	151,000
Local Grants/Contracts	0	0	0
Private Gifts/Grants/Contracts	0	0	0
Endowment/Land/Permanent Fund	0	0	0
Sales & Services of Ed Activities	0	0	0
Other Sources	0	0	0
TOTAL REVENUES	224,234	(14,234)	210,000
BEGINNING BALANCE	0	0	0
TOTAL AVAILABLE	224,234	(14,234)	210,000
EXPENDITURES			
Instruction	58,267	(3,267)	55,000
Academic Support	48,312	2,688	51,000
Student Services	49,030	5,970	55,000
Institutional Support	68,625	(19,625)	49,000
Operation & Maintenance of Plant	0	0	0
TOTAL EXPENDITURES	224,234	(14,234)	210,000
TRANSFERS IN (OUT) OF I&G			
Student Social & Cultural Activities	0	0	0
Research	0	0	0
Public Service	0	0	0
Internal Service Dept.	0	0	0
Student Financial Aid	0	0	0
Auxiliary Enterprises	0	0	0
Intercollegiate Athletics	0	0	0
Independent Operations	0	0	0
Capital Outlay	0	0	0
Renewals & Replacements	0	0	0
Retirement of Indebtedness	0	0	0
Non-Budgetary Exhibits:			
Endowment Fund	0	0	0
Other (Specify)	0	0	0
Other (Specify)	0	0	0
NET TRANSFERS	0	0	0
ENDING BALANCE	0	0	0

Prepared by: Paulette Tafoya Date Approved by BOR 16-May-2024

For NMHED Use Only	Accept _____	Reject _____	Date ____/____/____
NMHED Analyst	_____	_____	____/____/____
NMHED Director	_____	_____	____/____/____
For DFA Use Only			
DFA Analyst	_____	_____	____/____/____
DFA Director	_____	_____	____/____/____
Increase _____ Decrease _____ Transfer _____			

TAB 8

#8

Preliminary overview of FY25 Operating Budget for Main and Branch Campuses (Presenter: Jeremy Hamlin, Director, University Budget Operations, OPBA)






Main and Branch Campuses

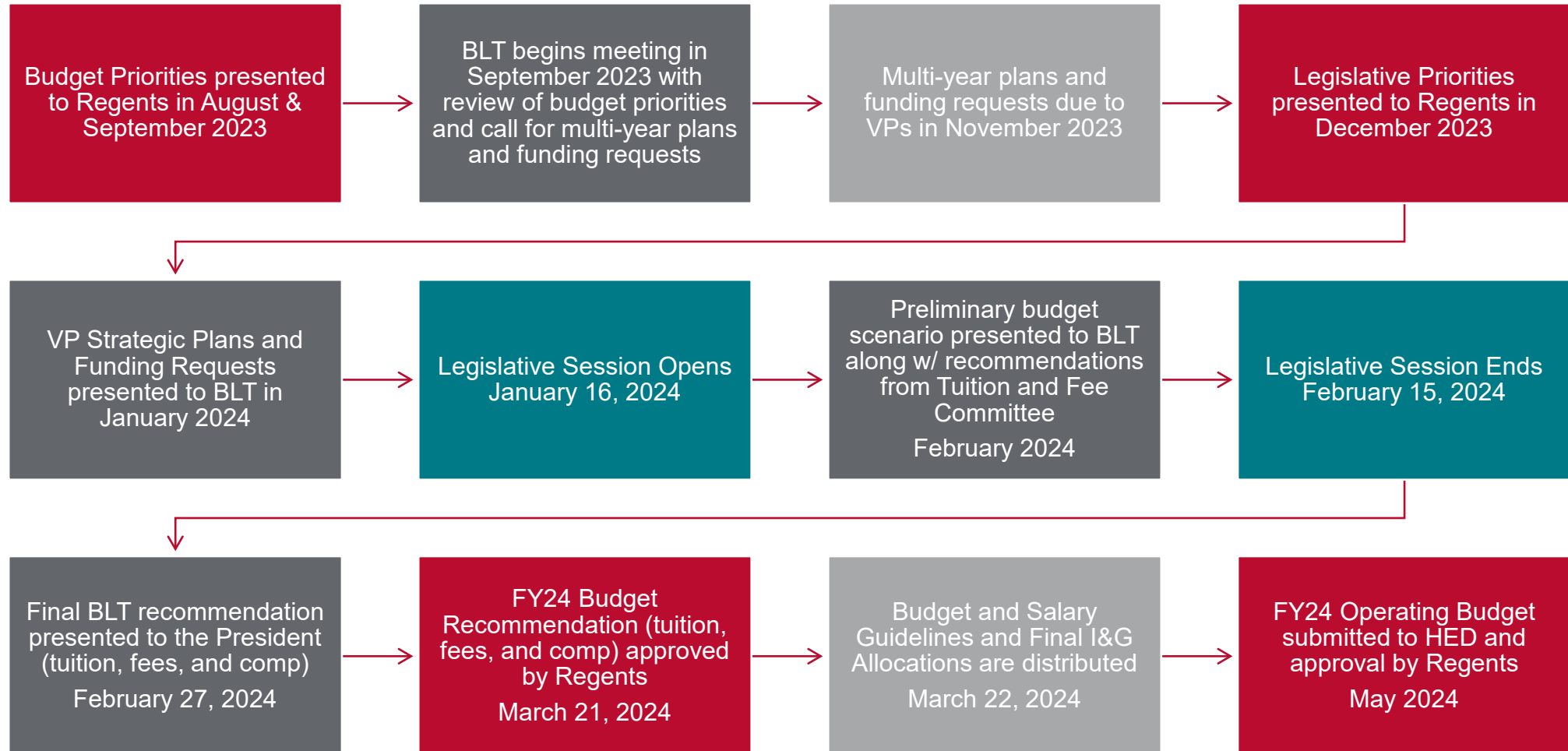
FISCAL YEAR 2024-2025

UNM OPERATING AND CAPITAL BUDGET PLANS

PRELIMINARY OVERVIEW

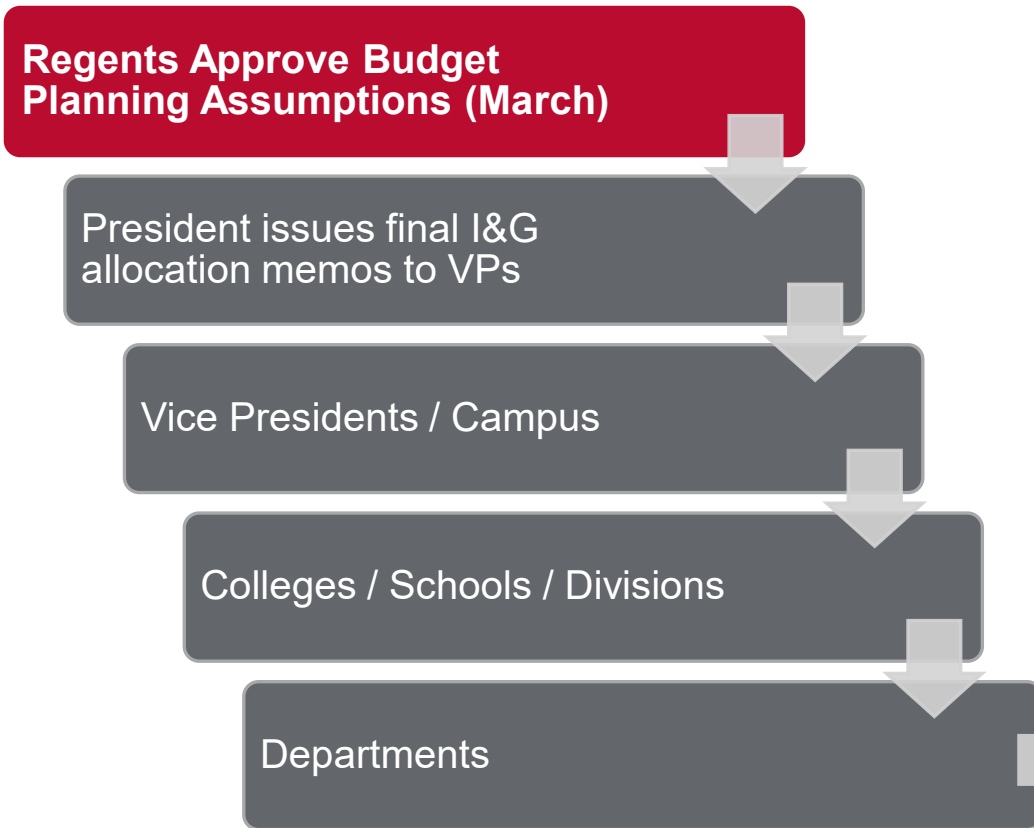
UNM Budget Timeline

-  Budget Discussions with Board of Regents
-  Budget Leadership Team (BLT)
-  NM Legislative Session

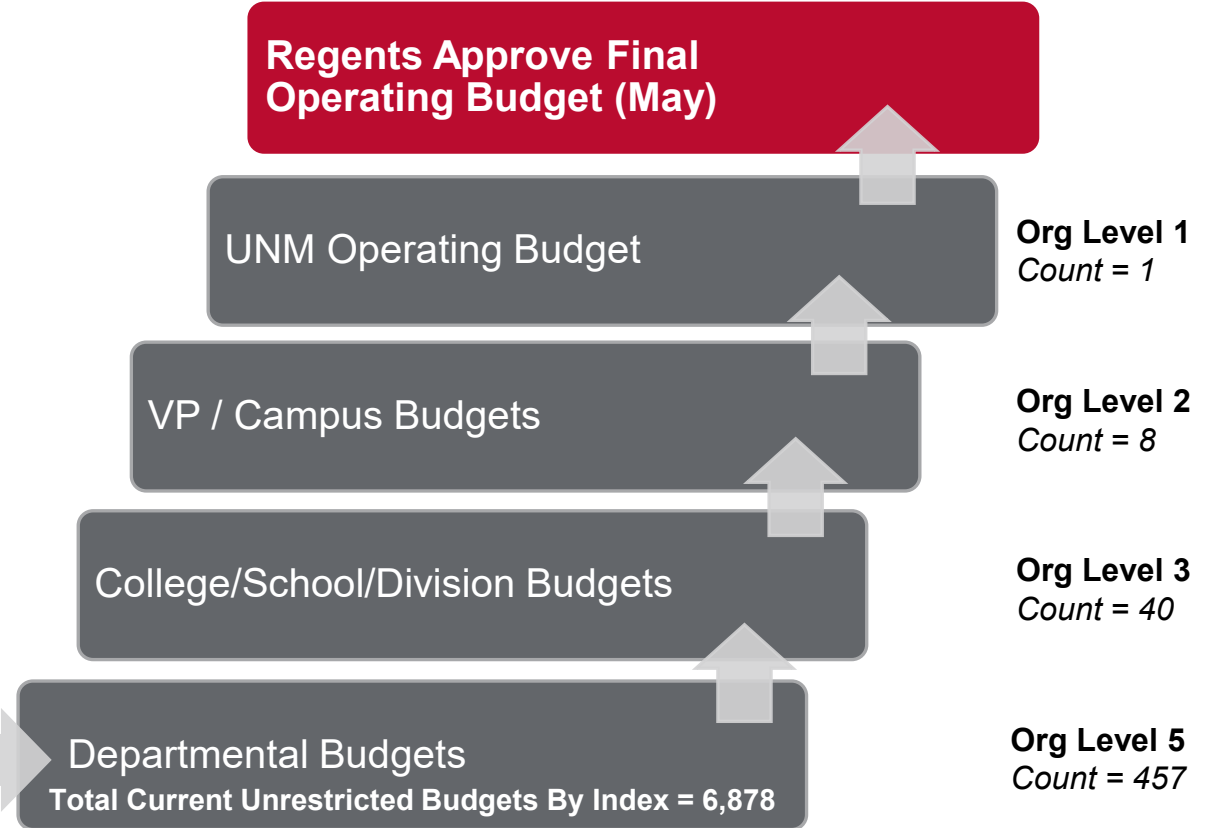


Budget Development Process at UNM

DISTRIBUTION OF REVENUE ALLOCATIONS



BOTTOM-UP BUDGET DEVELOPMENT



UNM Main Campus Key Budget Assumptions

Operating Revenues (I&G)

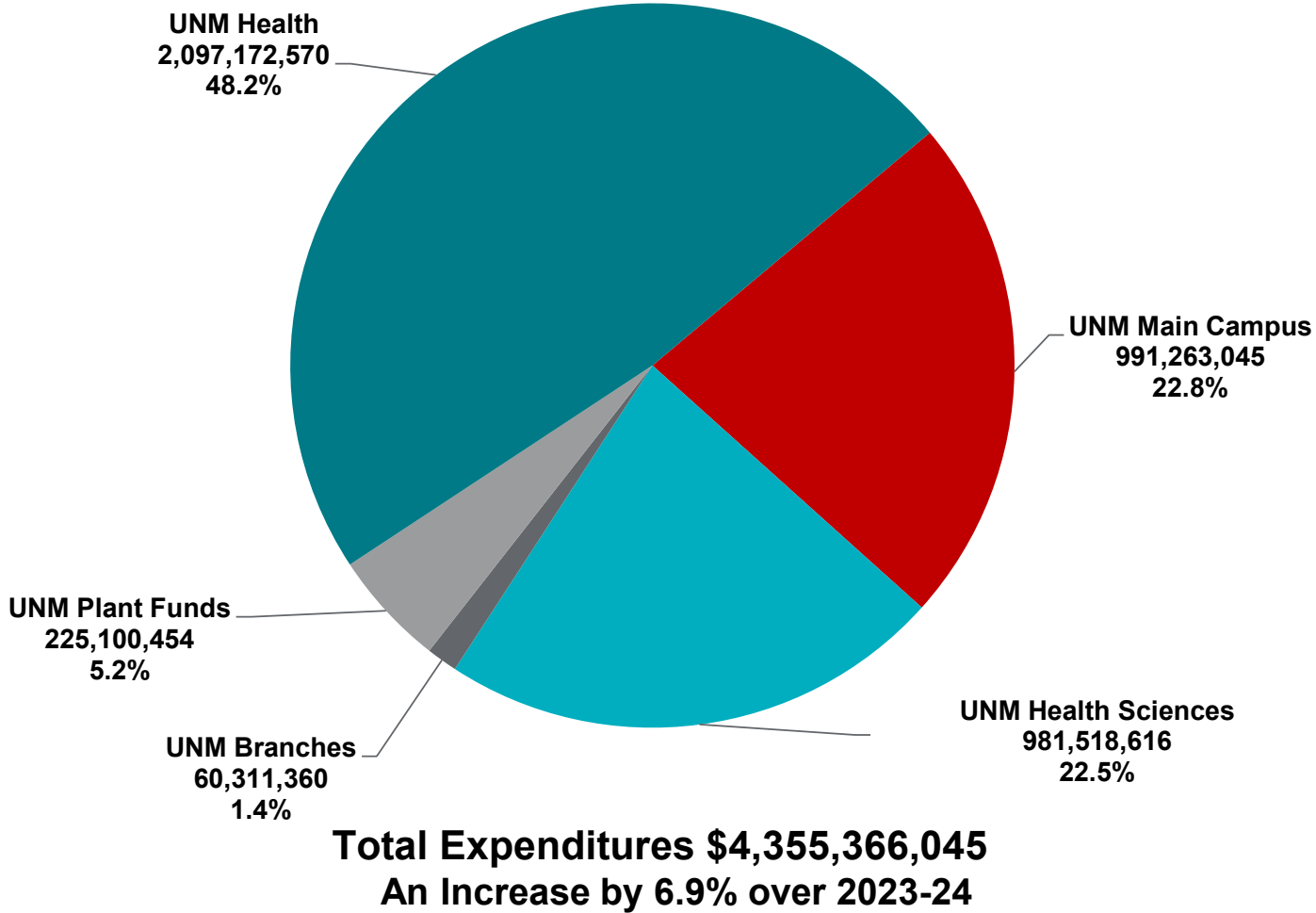
- State appropriations
 - 1.5% New Money through the higher education funding formula (\$3,964,500)
 - Targeted adjustments for student support services (\$933,700), faculty compensation (\$2,178,500), and graduate assistants (\$998,400)
 - Partial funding of an across-the-board 3% compensation increase, plus an additional offset for medical insurance (employer) premiums
- Tuition & Fees
 - Built-in enrollment growth from previous year, flat on enrollment increase for 2024-2025
 - No base tuition increase, and no mandatory student fee increase for Fiscal Year 2024-2025
 - Athletics fee increase of \$20 to take current rate from \$100 per semester to \$120 (and remove summer fee)
 - Student Health and Counseling (SHAC) fee increase of \$22 to \$151 per semester

Operating Expenses

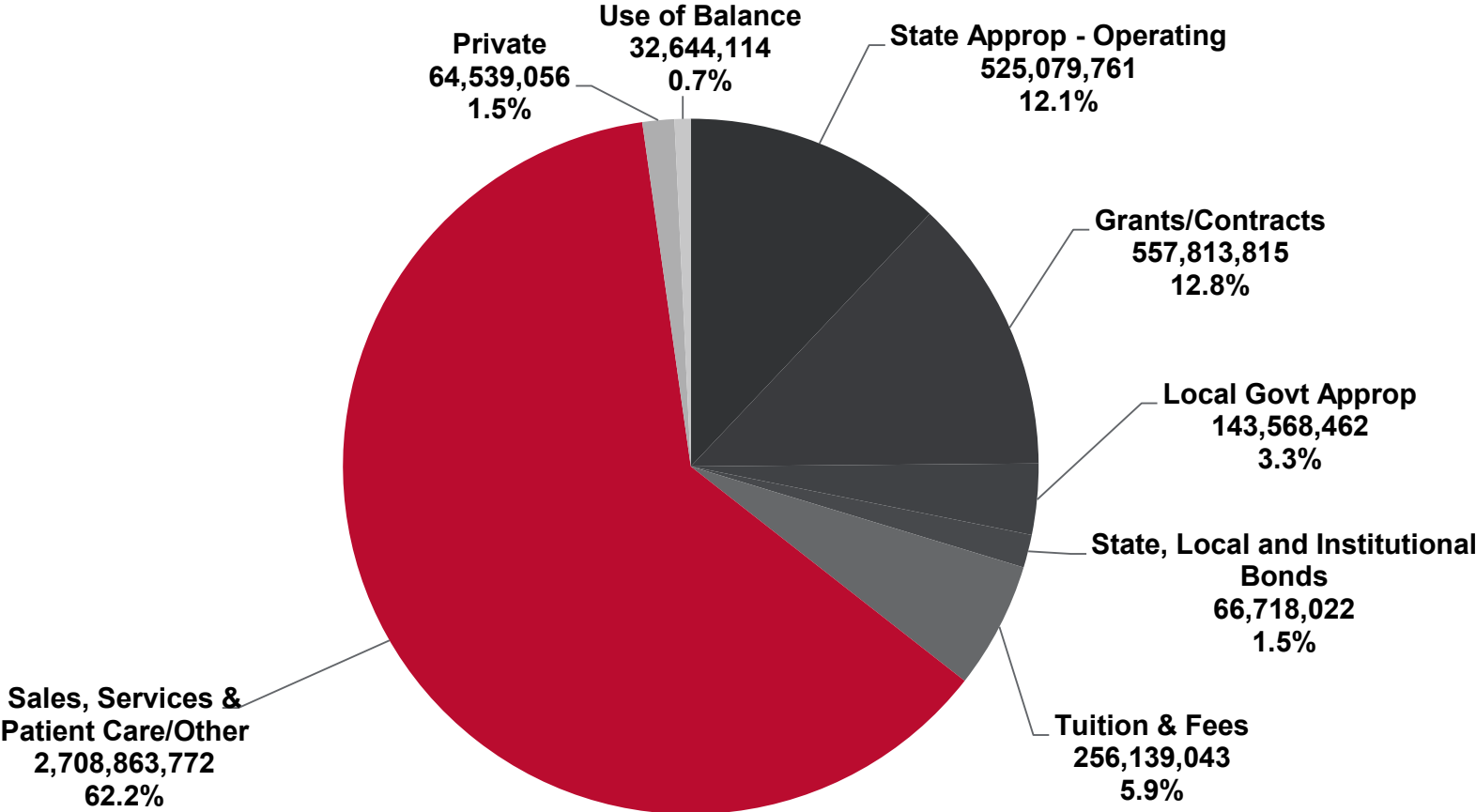
- Compensation – 3% across-the-board increase for faculty and staff
- Group Health Insurance - Increase of 16.4%
- Utilities – 3% projected increase



UNM Consolidated Expenditures 2024-25 Budget



UNM Consolidated Revenues 2024-25 Budget



Total Revenues \$4,355,366,045
An Increase by 6.9% over 2023-24



UNM Main Campus Expenditures

EXPENDITURES			
	UNRESTRICTED	RESTRICTED	TOTAL
CURRENT FUNDS	\$697,783,117	\$293,479,928	\$991,263,045
PLANT FUNDS *	\$225,100,454	N/A	\$225,100,454
TOTAL	\$922,883,571	\$293,479,928	\$1,216,363,499

* NOTE: Plant fund expenditures are for the entire University, including HSC and Branches



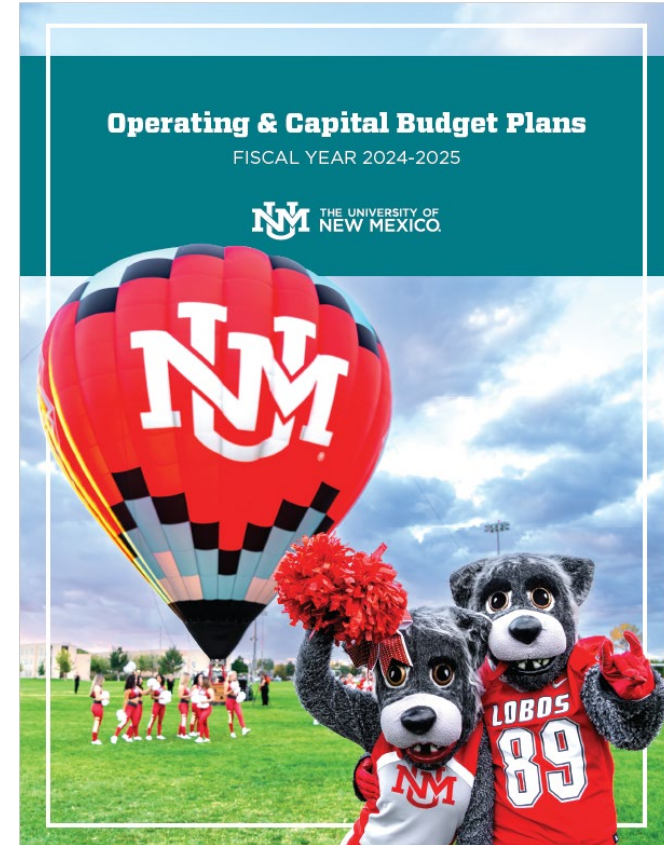
UNM Branch Campus Expenditures

CURRENT FUND EXPENDITURES			
	UNRESTRICTED	RESTRICTED	TOTAL
GALLUP	\$17,399,069	\$1,068,500	\$18,467,569
LOS ALAMOS	\$6,277,184	\$2,035,045	\$8,312,229
TAOS	\$10,947,206	\$5,272,800	\$16,220,006
VALENCIA	\$13,796,056	\$3,515,500	\$17,311,556
TOTAL	\$48,419,515	\$11,891,845	\$60,311,360



Next Steps

- Publish and distribute Operating and Capital Budget Book for Fiscal Year 2024-2025 (*Target Date: Friday, May 3rd*)
- Regent Approval needed for Fiscal Year 2024-2025 Main and Branch Operating and Capital Budgets (*Thursday, May 16th*)



TAB 9

#9

Approval of 114 Alexander Street, Taos Lease (Presenter: Tom Neale, Director, Real Estate and Mary Gutierrez, Chancellor, UNM-Taos)

Memo

To: Teresa Costantinidis, Executive Vice President for Finance and Administration

From: Thomas M. Neale, Director of Real Estate

Date: April 19, 2024

Re: Request for Lease Approval – 114 Alexander Street, Taos, NM

On behalf of the University of New Mexico Taos, the Real Estate Department is seeking Regent's approval to lease real property located at 114 Alexander Street, in Taos, New Mexico. The leased space is a single-occupant building containing 10,000 square feet. The property is located just west of Paseo Del Pueblo Sur and east of Salazar Road on the south side of Alexander Street. It is approximately five miles northeast of the UNM Taos Campus.

The purpose of this lease to provide temporary space for UNM Taos' Art/Tech Department during renovations to their existing space within Fred Peralta Hall.

The proposed term is for 22 months with two three-month renewal options. Rent is \$11,300 per month for the term, or \$13.56 per square foot per year. UNM will be responsible for utilities and janitorial services.

This Lease Agreement may not be modified in any manner without prior approval of the Director of Real Estate, UNM or University Counsel. Form Approved, February, 1996

LEASE OF REAL PROPERTY

between

**The Regents of the University of New Mexico,
A body corporate of the State of New Mexico, Tenant**

and

HMR, LLC, a New Mexico limited liability company , **Landlord**

UNIVERSITY OF NEW MEXICO
LEASE OF REAL PROPERTY

This lease is entered into as of _____, 2024 between HMR, LLC, a New Mexico limited liability company, Landlord, and The Regents of the University of New Mexico, a body corporate of the State of New Mexico, on behalf of UNM Taos, Tenant.

WITNESSETH:

Landlord and Tenant agree as follows:

1. PROPERTY LEASED. In consideration of the conditions and agreements in this lease (the "Lease"), Landlord leases to Tenant, and Tenant hires from Landlord, the real property situated in Taos, County of Taos, New Mexico, described as:

- (a) Street address of property, including room or suite number(s) if applicable: 114 Alexander Street, Taos, NM 87571
- (b) Square footage: 10,000 SF - 0.766 acres, MOL
- (c) Parking facilities and capacity: Non-designated surface parking.
- (d) Storage buildings: None.
- (e) Other: None.

Attach as exhibits:

- "A" Scaled floor plan showing leased Premises;
- "B" Tenant's improvements
- "C" Insurance certificates.

The leased property is referred to herein as the "Premises". The Landlord shall provide to Tenant current scaled floor plans showing the leased Premises, including any Tenant Improvements provided by the Landlord, as Exhibit "A" to this Lease.

2. TERM. The initial term of this Lease is for 22 months commencing July 1, 2024, and terminating April 30, 2026.

3. OPTION TO RENEW. In partial consideration for the rent paid under this Lease, Landlord grants Tenant, its successors and assignees two (2) options to renew this Lease. The renewals shall be for two (2) consecutive terms of three (3) months each, and shall be subject to the same conditions and agreements set forth in this Lease for the initial term.

Tenant may exercise this option by giving Landlord written notice at least thirty (30) days prior to the expiration of the initial term, or the then current option term.

4. DELIVERY OF POSSESSION. Landlord warrants that the Premises will be vacant and suitable for occupancy on the first day of the initial term. Landlord will put Tenant in possession of the Premises on such date. If possession by Tenant is delayed, for reasons caused by the Landlord, rent shall abate proportionately or, at Tenant's discretion, the Lease may be terminated without further liability by Tenant at any time prior to Tenant assuming possession.

5. HOLDING OVER. Tenant's holding over or continued use or occupancy shall be construed as a tenancy from month to month at the same monthly rent and subject to the same conditions set forth in this Lease.

6. RENT. In consideration of this lease, Tenant shall pay rent in the amount of \$11,300.00 per month, payable in advance on the first day of each month. Tenant shall mail all payments to Landlord at the address specified in Paragraph 31 herein, unless advised otherwise in writing by Landlord.

6.1. RENT ESCALATION. None.

7. FUNDING AUTHORITY. Tenant's obligations under this Lease shall be subject to availability of annual funding for the program identified on the first page of this Lease. In the event that funding is terminated, Tenant may cancel this Lease with 60 days written notice to Landlord. (See Section 13-1-152, NMSA 1978.) Any obligation created under this Lease shall be subordinate to Tenant's obligations under any present or future system revenue bond(s).

8. USE OF LEASED PREMISES. Tenant shall use the leased Premises for purposes of carrying on University business. More particularly, Tenant shall use leased Premises for, among other things:

- General office use
- Patient care
- Instructional purposes
- Storage of materials
- Other: Art Department classrooms, studios and labs

Landlord warrants that the Premises are zoned M-1 which allows these purpose(s).

9. UTILITIES AND JANITORIAL SERVICES. Utilities, services and supplies, and taxes and assessments shall be paid for by the party indicated by an "X".

	<u>LANDLORD</u>	<u>TENANT UNM</u>
(a) water	[]	[X]
(b) sewer	[]	[X]
(c) refuse disposal	[]	[X]
(d) natural gas	[]	[X]
(e) electricity	[]	[X]
(f) janitorial service & supplies	[]	[X]
(g) landscaping, grounds, and parking lot maintenance	[X]	[]
(h) property taxes	[X]	[]
(i) fire & extended coverage insurance	[X]	[]
(j) general liability insurance	[x]each	[x]each
(k) other: (specify) Snow removal maintenance	[]	[X]

9.1 PARKING, SERVICES AND UTILITIES.

10. DUTY TO INSURE.

(a) During the term of this Lease and any extension thereof, Tenant shall provide coverage for liability of Tenant and its "public employees," as defined in the New Mexico Tort Claims Act, and for its personal property and Tenant's improvements and betterments, as required by New Mexico law.

(b) During the term of this Lease and any extension thereof, Landlord shall maintain in force a policy or policies of insurance providing:

(1) "Commercial general liability" coverage of not less than \$1,000,000 limit per occurrence, including coverage for property damage, bodily injury and wrongful death (which limit may be increased by written notice from Tenant to correspond to any increases in the limits specified in the New Mexico Tort Claims Act; such insurance shall cover contractual liability which may arise under this Lease; and

(2) fire and extended coverage, or "all risk" coverage, for at least 80% of the actual cash value of the Premises.

Such insurance policy or policies shall name Tenant as an additional named insured. A certificate evidencing such insurance shall be furnished and attached to this lease prior to the commencement date.

(c) To the extent permitted under their respective insurance policies, Landlord and Tenant waive all rights for damages arising out of any damage to or destruction of the Premises caused by fire or other perils insured against under the insurance Landlord is required to carry under this Lease. In the event of loss or damage to the Premises or its contents, the parties shall look first to insurance in their favor before making any claim against the other party. Notwithstanding any other provision in this Lease, Tenant and/or the State of New Mexico Risk Management Division shall retain all subrogation rights against Landlord in the event of a loss which is the responsibility of or caused by Landlord and/or Landlord's agents, employees, contractors, guests, customers, visitors, licensees and invitees.

11. **CONDITION OF PREMISES.** Landlord warrants that the Premises will be in good and safe condition, structurally sound and of safe design and that it complies with all applicable laws, ordinances, rules and regulations prior to the commencement date of this Lease or within such additional period granted by Tenant in writing. Landlord's warranty provided in this paragraph shall continue for the term of this Lease, and any extensions thereof. Failure to correct any dangerous conditions after reasonable notice to Landlord constitutes grounds for immediate termination of the Lease at Tenant's discretion.

12. **HANDICAPPED ACCESS.** Intentionally Omitted.

13. **IMPROVEMENTS.** Landlord agrees that Tenant can make the improvements and alterations to the Premises as identified on Exhibit B at Tenant's sole expense

14. **DUTY TO MAINTAIN PREMISES.**

(a) Landlord has the duty to reveal to Tenant all structural defects of which he knows or reasonably should know, and to repair all structural defects in the Premises.

(b) Landlord has the duty to maintain the exterior of the Premises, including roof systems, all glass, any grounds and parking lots, in safe condition and in good repair and condition. Tenant has no duty to inspect and notify Landlord of exterior conditions.

(c) Landlord has the duty to maintain and repair heating, ventilation, and air conditioning systems, and the interior of the Premises, except improvements installed by Tenant with Landlord's written permission.

15. **RIGHT OF ENTRY.** Landlord or his agent has a right to enter the Premises to inspect, to make repairs, and for other reasonable purposes but only with Tenant's prior permission, which shall not be unreasonably withheld. In an emergency, such as fire, Landlord or his agent may enter the Premises without securing Tenant's prior permission, but shall give Tenant notice of entry as soon thereafter as practicable.

16. **DAMAGE TO PREMISES.** If all or any part of the Premises shall be so damaged or destroyed through any cause, other than Tenant's willful act, as to be rendered

unfit for Tenant's occupancy, Tenant may declare this Lease terminated and rent shall be payable only to the date of the damage. Alternatively, Tenant in its sole discretion, may continue to occupy any portion useful to it, and the rent shall abate in proportion to the portions not useful to Tenant.

If all or any part of the leased Premises shall be damaged through any cause (other than Tenant's willful act or ordinary wear and tear), but shall not be rendered unfit for Tenant's occupancy, Landlord shall repair the Premises with all reasonable promptness at Landlord's expense, and the rent shall abate proportionately until repairs are completed. However, if Landlord fails to promptly commence or to expeditiously complete repairs necessary to restore the Premises to their former condition, Tenant may declare this Lease terminated and rent, including any fair abatement thereof, shall be payable only to the date of termination.

Tenant's decision as to whether all or any part of the Premises is unfit for occupancy shall be final, but Tenant's decision shall be reasonable in the circumstances.

17. ALTERATIONS. Tenant shall obtain the Landlord's prior written permission before making any alterations or improvements which cannot be removed without damage to the Premises.

18. OWNERSHIP OF IMPROVEMENTS. All alterations and improvements made to the Premises by Tenant which can be removed without damage to the Premises are and shall remain the Tenant's property except as the parties mutually agree otherwise in writing. Such alterations and improvements shall be removed from the Premises at the termination of this Lease or any renewal thereof or within such additional time as granted by the Landlord in writing. Alterations and improvements of a permanent nature which cannot be removed without undue damage to the Premises shall immediately become Landlord's property except as the parties mutually agree otherwise in writing.

19. CONDITION OF PREMISES UPON SURRENDER. At the termination of this Lease, Tenant shall surrender the Premises in the condition in which they were on the commencement date of this lease, excepting:

- (a) deterioration caused through reasonable use and ordinary wear and tear;
- (b) alterations, improvements or additions made with Landlord's express approval;
- (c) any change, damage or destruction not resulting from Tenant's negligent or willful act; and
- (d) conditions required to be repaired by Landlord or covered by insurance which Landlord is required to carry under this Lease.

20. HAZARDOUS WASTE. Landlord warrants that there are no hazardous waste substances, toxic waste substances, radioactive waste substances, regulated substances, asbestos, PCBs or other substances (the word "substance" includes liquids, solids and gases) potentially dangerous to human health or the environment or which may require remedy at the behest of any governmental authority located on, in or under the Premises and Landlord has received no notice and has no independent knowledge of the possible or actual disposal or use of any such substances on, in or under the Premises or any violation or claimed violation of the laws, rules and regulations relating to hazardous waste substances, toxic waste substances, radioactive waste substances, regulated substances, asbestos, PCBs or other similar substances; to the extent any of the above-mentioned substances are removed from or remediated at the Premises by the Landlord, Landlord will also provide verification of such removal or remediation. The Landlord warrants that the Premises do not contain any underground treatment or storage tanks or gas or oil wells. Landlord shall indemnify and hold Tenant harmless from, and defend Tenant against, any and all loss, cost or liability (including, without limitation, court costs, attorney's fees, consultant's fees, clean-up costs, fines, penalties, damages and amounts paid in settlement, and all direct, indirect, incidental or consequential losses incurred) arising out of any event or condition constituting a breach or inaccuracy of the representations and warranties set forth in this paragraph, or any liability, penalty, cleanup or remediation cost, etc., arising from use or condition of the Premises prior to commencement of this Lease. Landlord's indemnification provided herein shall survive the expiration or termination of this Lease Agreement.

21. COMPLIANCE WITH ENVIRONMENTAL LAWS. Tenant and Landlord mutually agree that individually they shall at all times and in all respects comply with all federal, state and local laws, ordinances and regulations ("Hazardous Materials Laws") relating to industrial hygiene, environmental protection of the use, analysis, generation, manufacture, storage, presence, disposal or transportation of any oil, petroleum products, flammable explosives, PCBs, asbestos, formaldehyde, radioactive materials or waste, or other hazardous toxins, contaminated or polluting materials, substances or waste, including, without limitations, any "hazardous substances", "hazardous materials", "toxic substances" or "regulated substance" under any such laws, ordinances or regulations (collectively, "Hazardous Materials").

22. PAYMENT OF ASSESSMENTS, ETC. Landlord shall pay as they become due all assessments, charges, mortgages, liens and taxes payable in respect to the leased Premises during the initial term of this Lease, and any renewal or extension thereof. If Landlord defaults in paying any such amounts, Tenant, in its sole discretion, may pay any such assessment, charge, mortgage, lien or tax. Upon doing so, Tenant shall be subrogated to the creditor's rights and may deduct the cost of such payment from rent.

23. RIGHT TO ASSIGN OR SUBLEASE. Tenant has the right to assign or sublease the leased Premises or any part to any other University administered programs including without limitation, any University auxiliary, collaboration or joint venture, for any remaining term of this Lease or extension thereof. Tenant shall not otherwise assign or

sublease the leased Premises without first obtaining the written consent of Landlord, which shall not be unreasonably withheld.

24. LIABILITY. As between the parties, each party acknowledges that it will be responsible for claims or damages arising from personal injury or damage to persons or property to the extent they result from negligence of its employees or agents. The liability of the University of New Mexico shall be subject in all cases to the immunities and limitations of the New Mexico Tort Claims Act, Section 41-4-1 et seq., NMSA 1978, as amended.

25. DEFAULT. The following events shall be deemed to be events of default under this Lease:

(a) Tenant shall fail to pay any installment of rent or other monetary sums when due and shall not cure such failure within thirty (30) days after receiving written notice of default from Landlord.

(b) Either party shall fail to comply with any term, provision or covenant of this Lease, other than the payment of rent, and shall not cure such failure within thirty (30) days after written notice thereof except that no event of default shall be deemed to exist with respect to matters which cannot reasonably be cured within thirty (30) days, if steps to cure shall, in good faith, have been commenced within said thirty (30) days and shall be completed with diligence and continuity. The nondefaulting party shall be entitled to reasonable attorney's fees resulting from any event of default.

Upon the occurrence of any event of default as specified herein, either party may declare this Lease terminated, except that Tenant may not terminate this Lease due to nonpayment of rent, unless mutually agreed to by the parties. Within sixty days of such notice of termination Tenant shall surrender the Premises and rent shall be due only to the date of such surrender.

26. LANDLORD'S RIGHT TO MORTGAGE, SELL OR ASSIGN; ATTORNMENT. Throughout the term of this Lease, and any extension thereof, Landlord shall have the right to mortgage, assign, sell or otherwise convey its interest in the Leased Premises and Tenant shall, at the request of Landlord, subordinate its interest to that of any mortgagee or other lender of Landlord; provided, however, that Tenant's quiet enjoyment of the Premises shall not be disturbed so long as Tenant pays the rent and fulfills the other obligations imposed upon it by this Lease. Upon request of Landlord, Tenant will execute any document reasonably required to give effect to this paragraph. In the event of a transfer or mortgage of Landlord's interest in the Premises, or upon Landlord's written request, Tenant agrees to execute, acknowledge and deliver to Landlord, within ten (10) days after written request, in recordable form, a certificate certifying that the rights of Tenant in the Premises are subordinate to and inferior to those of the mortgage lender and certifying, among other things, that this Lease is in full force and effect; that there are no deficiencies or offsets thereto, or stating those claimed by Tenant, as the case may be; that there are no uncured

defaults in Landlord's performance thereunder; and that not more than the current month's rent has been paid in advance as of the date the written request was delivered. Tenant agrees that failure by Tenant to deliver such statement within such time shall be deemed conclusively to mean that this Lease is in full force and effect without modifications except as may be represented by Landlord and that the requested representations are true and correct. In the event any proceedings are brought for foreclosure under any mortgage or deed of trust made by the Landlord or any predecessor or any successor covering the Premises, the Tenant shall attorn to the purchaser upon any foreclosure sale and recognize such purchaser as the Landlord under this Lease.

27. QUIET ENJOYMENT. Landlord covenants that if and so long as Tenant pays the rent and performs the covenants hereof, Tenant shall peaceably and quietly have, hold and enjoy the Premises for the term herein mentioned, subject to the provisions of this Lease.

28. LEASE BINDING ON HEIRS, ETC. This Lease is binding upon the heirs, executors, administrators, personal representatives, assignees and successors in interest of the parties.

29. AMENDMENTS TO BE IN WRITING. This Lease shall not be altered or amended except by instrument in writing executed by the parties.

30. MERGER OF PRIOR AGREEMENTS. This Lease incorporates all of the conditions, agreements and understandings between the parties concerning the subject matter of this Lease, and all such conditions, understandings and agreements have been merged into this written Lease. No prior condition, agreement or understanding, verbal or otherwise, of the parties or their agents shall be valid or enforceable unless embodied in this written Lease.

31. ADDRESS FOR NOTICES, PAYMENT OF RENT, ETC. Notices required under this Lease and rental payments shall be made at the following addresses, except as changed by written notice to the opposite party:

(a) Landlord: NAME & ADDRESS

HMR, LLC, a New Mexico limited liability company
attn. Robert Mongiello, Managing Member
PO Box 1042
El Prado, NM 87529

(b) Tenant: The University of New Mexico
(Department Name, Address and Contact)
UNM Taos

with a copy to: UNM Real Estate Department
MSC06 3595
1 University of New Mexico
Albuquerque, NM 87131

TENANT: THE REGENTS OF THE UNIVERSITY OF NEW MEXICO

By: _____ Date: _____
Teresa A. Costantinidis
Executive Vice President for Finance and Administration

By: _____ Date: _____
Bruce Cherrin
Chief Procurement Officer

Reviewed and Approved by:

Thomas M. Neale
Director of Real Estate

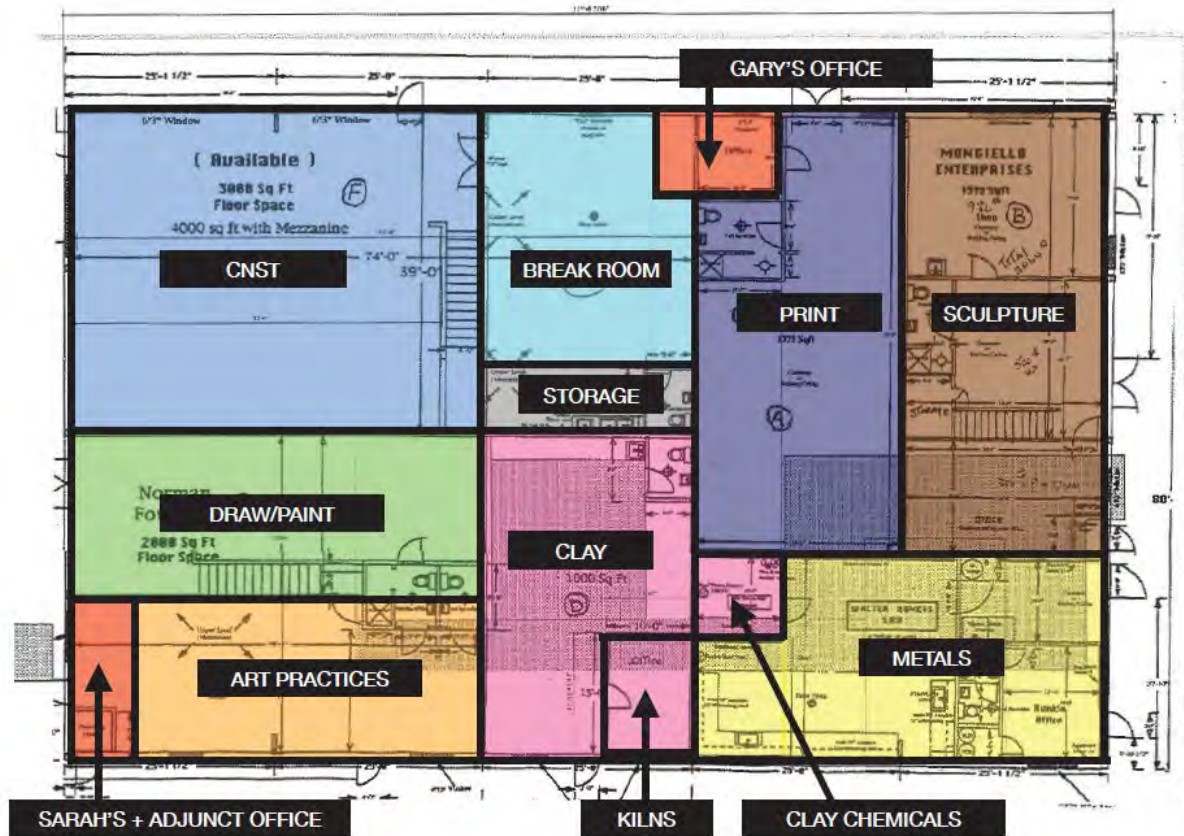
LANDLORD: HMR, LLC, a New Mexico limited liability company, accepts and agrees to the conditions stated herein and agrees to pay the leasing commission as specified in a separate agreement with Broker, John Phillips, Berkshire Hathaway HomeServices Taos real Estate.

LANDLORD:

HMR, LLC, a New Mexico limited liability company

By: _____ Date: _____
Robert Mongiello, Managing Member

Exhibit A Floor Plan



ALEXANDER ST UNMTAOS TEMP ART/CONSTRUCTION FACILITY
3/16" = 1'-0"

Exhibit B Tenant Improvements

Renovation Detail for Lease Space at 114 Alexander Rd Taos NM 87571

4.15.24

UNM-Taos intend to lease the current Warehouse/Art Building located at 114 Alexander Rd in Taos New Mexico. The intended use of the space is hold class/courses for an approximate 1.5-2.0 year duration while the **Fred Peralta Renovation Project** is completed. The course work to be provided includes Art, Ceramics, Ink Printing, Metal/Jewelry Shop and Wood Working.

The UNM-Taos Facilities and IT Departments have reviewed the space and included walkthroughs with the instructors for each course. To adequately prepare the space (s) will require the following:

UNM-Taos Maintenance Department will:

1. Remove and modify entry thresholds at 10 entry point locations to the building. Current thresholds are old and insecure not ADA complaint
2. Modify access ramp between Clay Room and Print Room; ADA Compliance
3. Modify Restroom access in Sculpture Room; ADA access
4. Install protective rail at stairway in Sculpture room.
5. Install vent hood for Metals (Jewelry Lab) through west area wall; to include necessary metal ducting for individual solder stations (6 total).
6. Install Chemical Cabinets in Clay(Ceramics), Metals(Jewelry), CNST (Construction) and Art Practices (Painting rooms)
7. Install venting for Kilns in Clay Room
8. Install Wet Sink in Print room and Clay room; H2O connections already available.
9. Install venting for one (1) Art Practices room
10. Install indoor dust collection system for CNST Room
11. Move two (2) 240 outlets for equipment operations; lines already available- just need moving to different location within Clay room space.
12. Install drywall to enclose interior windows between three (3) room to be used for 'Studio Rooms'- in Art Practices room to increase usable wall space
13. Install four cameras at building exterior corners for safety
14. Install Two coded door entry locks

** The Storage room does have a door

UNM-spoke with Kit Carson who will install internet communication services and equipment at no costs to the project/University.

Exhibit C
Insurance Certificate

TAB 10

#10

Approval of LEI Amended MSA & South Campus ESCO Financing (Presenter: Jason Strauss, President/CEO, Lobo Energy Inc.)



THE UNIVERSITY OF
NEW MEXICO



BENEFITS BY THE NUMBERS

Anticipated Annual
OPERATIONAL SAVINGS:

\$306,875

Estimated IRA
Direct Pay:

Anticipated
Pounds of CO₂
saved annually:

\$211,094

2.2 MILLION

Anticipated Utility Rebate:

\$108,963

UNM has undergone an *investment grade energy audit* of the South Campus including the Athletics Department to identify utility and operational savings opportunities to help address critical facility and infrastructure needs and support energy efficiency and renewable energy initiatives as outlined by the Governor. Key facility improvements involved with this project include:

- 181kW Solar PV Carport at UNM South Golf Course
- Upgrade Interior and Exterior Lights to LED
- Duct Sealing
- Heating, Ventilation, and Air Conditioning (HVAC) Equipment and Controls Upgrades
- Low Voltage Transformers
- Building Commissioning

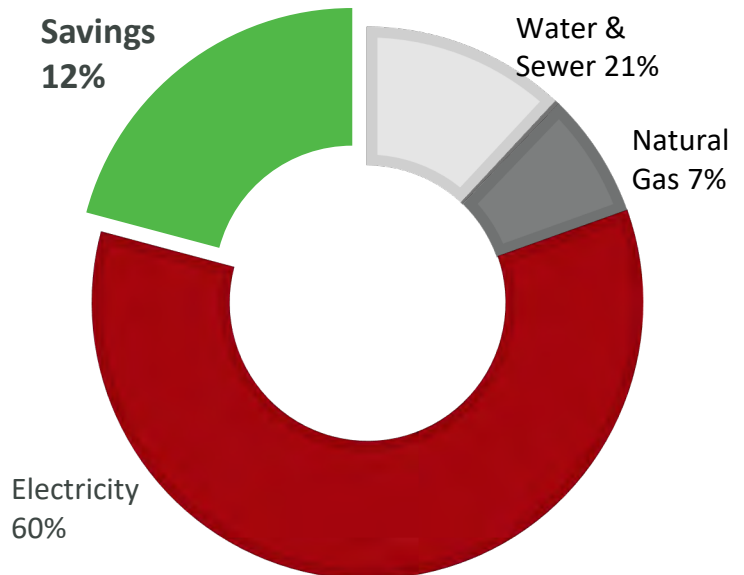
**ENERGY EFFICIENCY
RENEWABLE ENERGY
WATER CONSERVATION**

PROJECT FUNDING

REDUCTION IN BASELINE ANNUAL UTILITY COSTS

**TOTAL PROJECT AMOUNT
\$7.2M**

**\$6.68M FUNDED BY
OPERATIONAL SAVINGS**



Date: April 11, 2024
To: Lobo Energy Board of Directors
From: Jason Strauss – President/CEO
Regarding: *Special Board Meeting*

Before tomorrow's special board meeting to discuss the South Campus Energy Performance Savings Contract, I wanted to provide you with a summary of the project's milestones and clarify the requests for approval since we only have a half-hour window for the meeting.

There are nine milestones within an Energy Performance Savings Contract.

- 1) **Feasibility Study:** (March 2021) Review the utility data for all potential facilities and conduct a preliminary site walk-through.
- 2) **Project & I.G.A. Kickoff:** (June 2021) Coordination with all involved parties to ensure access and transparency throughout the project.
- 3) **IGA Initial Findings Presentation:** (September 2021) This presentation was to all parties involved and the Lobo Energy Board of Directors.
- 4) **IGA 50% Workshop:** (December 2021) This presentation was given to all parties involved, including the Lobo Energy Board of Directors.
- 5) **IGA 90% Workshop:** (September 2022)
 - We received LEI board approval to move forward with the financing portion of the project and to seek the Board of Regents approval for the project and financing. We received Board of Regents Approval in October 2022
- 6) **IGA Report Certified by the Energy Minerals Natural Resources Department (EMNRD) and by a Third-Party State-approved Engineer:**
 - We received the EMNRD certification letter in June 2023.
 - In November 2023, Athletics chose not to participate, so we resubmitted the project with the revised scope of work and received the recertification in February 2024.
- 7) **Energy Performance Contract Execution & Project Funding Secured:**
 - In February of 2024, LEI and The University of New Mexico began discussions with Bank of America to secure the debt service for the project as a lease-purchase agreement.
- 8) **Project Implementation:**
 - Anticipating June 2024
- 9) **Performance Period:**
 - Strict Measurement and Verification (M&V) of the project's scope of work and savings will be performed as stipulated by the state contract. LEI will additionally review all utility data monthly to ensure compliance.

The project funding for the South Campus Energy Performance Savings Contract:

- The loan term is 20 years, and the interest rate is 4.5%.
- The principal portion of the loan is \$6,944,688.
- The interest portion of the loan is \$4,414,104.
- With a total principal and interest of \$11,358,791.
 - *Please note that these figures are still subject to finalization. We're negotiating with Bank of America and undergoing legal review for the project's taxable portion based on tenant-leased space inside the research park.*
- Lobo Energy, Incorporated does not have any management costs. Nor will they receive any financial benefit from the project.
 - *However, we did cover the cost of the IGA at \$150,000, and we will pay for the M&V portion of the project for an additional \$150,000 broken up over the first three years at \$50,000 per year.*
- A \$600,000 upfront capital investment from the Real Estate department will be paid directly to Yearout Energy as work is completed during construction.
- There will be a \$211,094 IRA Direct-Pay cash subsidy for the investment in the Solar portion of this project and a \$108,963 PNM utility rebate, all of which will be directly applied to the loan's principal when received.
- Three entities will be expected to make monthly payments to Lobo Energy, Incorporated directly from their utility budget: the Real Estate Department, the Golf Course, and the Utility Services Department. No other portion of their budget will be affected as a part of the debt service. The monthly charges will be paid to LEI, much like a surcharge, with the exact monthly payments specified in the Memorandum of Understanding (MOU). As the MOU outlines, those entities will not begin payments until twelve months after the project kickoff. That twelve-month period will allow for substantial completion of energy savings measures to generate the savings outlined in the Investment Grade Audit. During those twelve months, we will use capitalized interest to make the payments, which is typical in EPSC contracts.
- EMNRD and an outside third party verified that all savings calculations in the IGA are viable and achievable. If we do not achieve those levels of savings and are following the contract, Yearout Energy must write us a check for the difference.

In the upcoming special meeting, we seek approval from LEI to amend the Master Service Agreement with the University of New Mexico to reflect the new debt service portion of this project, which would directly replace the language we used to service the last loan with Bank of America for our cogeneration unit of \$10,000,000. The second item we seek approval on is the ability to sign the final loan documents with Bank of America after receiving approval from the Board of Regents and with the full knowledge of our Chairman of the Board, Executive Vice President for Finance and Administration, Teresa Costantinidis. If you have any questions, please don't hesitate to contact me.

**Management Services Agreement
between the
Board of Regents of
The University of New Mexico
and
Lobo Energy, Incorporated**

Amended and Restated Agreement Effective as of May 1, 2024

WHEREAS, the Regents of The University of New Mexico ("the University") desire the continued assistance and support of Lobo Energy, Incorporated, a New Mexico nonprofit and University Research Park and Economic Development Act corporation ("Lobo Energy") in planning for future expansion of utilities systems and infrastructure, energy conservation, development, and other projects, and

WHEREAS, Lobo Energy is a University Research Park and Economic Development Act corporation, formed by the University, under and pursuant to NMSA 1978, § 21-28-4 (the "URPEDA"), of which the Board of Regents of the University are the sole member;

WHEREAS, with respect to existing and any and all new utility systems and equipment, the University will continue to own, finance, operate, maintain and, in all respects, control the utility equipment and systems; and

WHEREAS, the Parties desire to enter into this Management Services Agreement to effectuate their mutual intent (the "Agreement")

WHEREAS, in connection with services being acquired by the University from Lobo Energy, under and pursuant to NMSA 1978, § 21-28-7B, Lobo Energy is, in the context of the terms and conditions of this Agreement, considered to be a state entity and, therefore, the services being procured by the University from Lobo Energy in this Agreement are exempt from the New Mexico Procurement Code, NMSA 1978, § 13-1-1 et seq..

NOW, THEREFORE, the University and Lobo Energy agree as follows:

I. SERVICES

1.1 UTILITY PROJECT MANAGEMENT SERVICES

1.1.1 The University will provide:

- a. financing and funding for implementation of projects following completion of planning by Lobo Energy;

Amended and Restated Management Services Agreement Between UNM and LEI – May 1, 2024

- b. continuing contractual relationships with energy service suppliers, including the obligation to procure and pay for energy and services through normal public procurement processes for the University's service requirements;
- c. at its discretion, all resources capable of assisting and supporting Lobo Energy in its management and planning activities; and
- d. cooperation and support to Lobo Energy as it discharges its obligation to provide project management services.

The University shall maintain ownership and control of all aspects of the projects, and continuing ownership, operation and maintenance of its utility equipment, systems, and administration.

1.1.2 Lobo Energy shall provide assistance to the University, as requested, for the management and supervision of its contracts that provide for the:

- a. planning, design, engineering, contracting, energy conservation and commissioning services for assigned projects;
- b. procurement of equipment and services in the course of implementing the projects;
- c. management of the University's energy procurement strategies;
- d. recommendations for obtaining cost-effective energy commodities and services from energy suppliers;
- e. management of the University's energy-related regulatory issues;
- f. recommendations for appropriate actions and strategies in response to regulatory opportunities or events;
- g. administrative tools capable of providing utility operational budgeting, capital project budgeting, major maintenance budgeting, cash flow tracking, and energy savings tracking; and
- h. assistance with developing the energy and administrative capabilities described in items a through g above.

1.2 OTHER MANAGEMENT AND PLANNING SERVICES

1.2.1 The University will provide:

- a. at its discretion, all resources capable of assisting and supporting Lobo Energy in its management and planning activities; and
- b. cooperation and support to Lobo Energy as it discharges its obligation to provide project management services.

The University shall maintain continuing ownership, operation and maintenance of all infrastructure, buildings, commercial properties developed, and other assets for which Lobo Energy provides management services and planning activities;

1.2.2 Lobo Energy will provide at the University's request:

- a. commercial development planning services;
- b. additional infrastructure development plans; and
- c. other planning services as assigned.

Amended and Restated Management Services Agreement Between UNM and LEI – May 1, 2024

- 1.2.3 Lobo Energy agrees to provide its cooperation and support to the University for the determination and provision of resources to all projects assigned to Lobo Energy.

II. REPORTING

Lobo Energy agrees to provide to the University:

- a. project management reports that: 1) reflect the status of budget, schedule, and administrative matters and 2) shall be mutually agreed upon and developed as the project informational needs are identified;
- b. an annual financial audit performed by an independent certified public accounting firm selected according to policy set for the University and its component units by the State Auditor; and
- c. periodic reports and information reasonably requested regarding Lobo Energy's operations.

III. PAYMENT FOR SERVICES

- 3.1 Utility Project Management. In consideration for provision of utility-related project management services provided under Paragraph 1.1.2 of this Agreement, the University agrees to pay Lobo Energy forty thousand dollars (\$40,000) monthly for its expenses.
- 3.2 Energy Conservation Projects. In consideration for provision of Energy Conservation projects provided under Paragraph 1.1.2 of this Agreement, the University agrees to pay Lobo Energy forty-six thousand dollars (\$46,000) monthly for its expenses.
- 3.3 Planning Services. In consideration for provision of commercial development planning activities, as well as other management and planning services provided under this Agreement, the University agrees to pay Lobo Energy a mutually-agreed-upon monthly fee for the duration of each project assigned to Lobo Energy by the University.
- 3.4 Payment of University Obligations to Lobo Energy. The University shall transfer all funds payable to Lobo Energy pursuant to the terms of this Agreement into the account it maintains for Lobo Energy pursuant to this Agreement. Lobo Energy may transfer funds from its University account to its bank checking account as needed.

IV. AMENDMENT OF MANAGEMENT SERVICES AGREEMENT

This Agreement and any attachment(s) may be amended at any time by mutual agreement of the Parties. The Regents of The University of New Mexico must approve all amendments. This Agreement replaces and supersedes the November 1, 2020 Master Services Agreement and all previous ISA and MSA agreements and amendments between Lobo Energy and the University.

V. TERM OF AGREEMENT

- 5.1 **Primary Term.** This Agreement shall be effective as of May 1, 2024 and shall continue for a term of five (5) years.
- 5.2 **Extension of Primary Term.** This Agreement shall continue for consecutive one-year periods after the expiration of its Primary Term, or until such time as it is terminated pursuant to Paragraph 5.3.
- 5.3 **Termination of Agreement.** The University may terminate this Agreement thirty-days (30 days) after written notice to Lobo Energy. Upon termination of this Agreement, all rights and privileges granted, assigned or shared between Lobo Energy and the University shall terminate. Upon termination of this Agreement all property of Lobo Energy shall transfer to the University subject to the prior rights, if any, of any creditors of Lobo Energy.

VI. DISPUTE RESOLUTION

The Parties agree that any disputes between Lobo Energy and the University shall be first discussed at the project-management level to attempt to resolve the conflict. Upon lack of agreement, utility matters shall be referred to the senior management of Lobo Energy and the Director, Facilities Management for discussion and resolution. Upon lack of resolution regarding utility or other matters, the University's Senior Vice President for Finance and Administration shall hear the dispute and render the final decision. Both Parties agree to abide by that decision.

Amended and Restated Management Services Agreement Between UNM and LEI – May 1, 2024

IN WITNESS HEREOF, the parties hereto have caused this Agreement to be executed.

Lobo Energy, Incorporated

The University of New Mexico

By _____
Jason Strauss, President

By _____
Bruce Cherrin, Chief Procurement Officer

Date _____

Date _____

Approved : _____
Teresa Costantinidis,
Executive Vice President for Finance
and Administration

Date: _____

THE REGENTS OF THE UNIVERSITY OF NEW MEXICO
RESOLUTION

WHEREAS, the University of New Mexico, at Albuquerque, New Mexico (the "University"), is declared to be and is confirmed as a state educational institution by Section 11 of Article XII of the Constitution of the State of New Mexico (the "State"), as amended; and

WHEREAS, the Regents of the University of New Mexico (the "Regents") are a body corporate in which is vested the management and control of the University; and

WHEREAS, Lobo Energy, Incorporated ("Lobo Energy") is a nonprofit corporation organized by the Regents pursuant to the Research Park and Economic Development Act (Sections 21-28-1 through 21-28-25 NMSA 1978, as amended); and

WHEREAS, pursuant to a Master Services Agreement dated November 1, 2020 between Lobo Energy and the Regents, Lobo Energy provides management and delivery of utility services for the University; and

WHEREAS, Lobo Energy engaged Yearout Energy Services Company, LLC ("Yearout") to complete an investment grade energy audit ("IGA") of the University's South Campus facilities; and

WHEREAS, the IGA identified certain energy conservation measures including, but not limited to the installation of LED lighting, installation of solar systems, improvements to HVAC systems, improvements to building envelopes, and the installation of high efficiency transformers which would produce energy savings and operational savings as outlined in the Lobo Energy presentation submitted to the Regents (the "Project"); and

WHEREAS, Lobo Energy proposes to enter into a guaranteed utility savings contract ("Guaranteed Utility Savings Contract") between Lobo Energy and Yearout for the acquisition, construction, and installation of the Project; and

WHEREAS, Lobo Energy proposes to enter into a Lease Purchase Agreement (the "Lease") with Banc of America Public Capital Corp. ("BAPCC") to finance the Project;

WHEREAS, in conjunction with the Project, the Regents have determined to enter into an Amended and Restated Master Services Agreement with Lobo Energy;

NOW, THEREFORE, BE IT RESOLVED BY THE REGENTS OF THE UNIVERSITY OF NEW MEXICO, AS FOLLOWS:

Section 1. Approval of Amended and Restated Master Services Agreement. The Regents hereby approve the Amended and Restated Master Services Agreement in the form presented to the Regents with the adoption of this resolution with such changes as are approved by the Executive Vice President for Finance and Administration.

Section 2. Approval of Project and Payment under Amended and Restated Master Services Agreement. The Regents hereby determine that it is in the best interest of the University and Lobo Energy to acquire, install, and construct the Project and approve the undertaking of the Project as presented to the Regents by Lobo Energy pursuant to Sections 1.1.2 and 3.3 of the Master Services Agreement. In consideration for Lobo Energy's services in connection with the Project, the Regents shall compensate Lobo Energy as required by Section 3.3 of the Master Services Agreement from all legally available funds, subject to annual appropriation by the Regents to the extent required by the provisions of the Constitution and laws of the State of New Mexico. Pursuant to Section 21-8-9 NMSA 1978, Lobo Energy is authorized to enter into the Lease in such form approved by the board of Lobo Energy on behalf of the University; however, the obligations of Lobo Energy under the Lease shall not constitute a debt or obligation of the State, any political subdivision of this State or the University, and none of the State nor any political subdivision nor the University shall be liable for the obligations of Lobo Energy under the Lease.

Section 3. Acknowledgement of Lobo Energy's Collateral Assignment of Certain Revenues Under a Management Services Agreement. The Regents acknowledge that Lobo Energy intends to enter into a Collateral Assignment of Certain Revenues Under a Management Services Agreement for payment of Lobo Energy's obligation under the Lease.

Section 3. Acknowledgement of Grant of Security Interest in Project Equipment to BAPCC. The Regents consent to the granting of a security interest by Lobo Energy to BAPCC in the Project equipment to be installed in the University-owned facilities under the to the Lease.

Section 4. Delegated Powers. The officers of the Regents, the President of the University, the Executive Vice President for Finance and Administration, and University General Counsel (collectively, "Authorized Officers") be, and they hereby are authorized and directed to take all action necessary or appropriate to effectuate the provisions of this Resolution, including, without limiting the generality of the foregoing, approval of the final scope of the Project and the execution of such certificates and agreements as may be required in connection with the Project.

Section 5. Severability. If any one or more provisions of this Resolution or the application thereof to any set of circumstances shall ever be held by final decision of a court of competent jurisdiction to be invalid or ineffective for any reason, such holding

shall not affect the validity and enforceability of the remaining provisions of the Resolution or the application of such remaining provisions to other circumstances.

Section 6. Repealer Clause. All bylaws, orders and resolutions of the Regents or the University, or parts thereof, inconsistent herewith are hereby repealed to the extent only of such inconsistency. This repealer shall not be construed to revive any bylaw, order or resolution, or part thereof, heretofore repealed.

Section 7. Ratification. All action heretofore taken (not inconsistent with the express provisions of this Resolution) by the Regents or the University directed toward the Project herein authorized be, and the same hereby is ratified, approved and confirmed.

Section 8. Governing Law. This Resolution shall be governed by the laws of the State without reference to choice of law principles thereof.

Section 9. Effective Date. This resolution shall take immediate effect.

ADOPTED AND APPROVED this 16th day of May, 2024.

THE REGENTS OF THE UNIVERSITY
OF NEW MEXICO

[SEAL]

By _____
Kim Sanchez Rael, President

Attest:

By

Robert L. Schwartz, Secretary-Treasurer

TAB 11

#11

Approval of Board Appointments to UNM Rainforest Innovations Board of Directors (Presenter: Lisa Kuuttila, President & Chief Economic Development Officer, UNM Rainforest Innovations)

TO: The University of New Mexico Board of Regents
Finance & Facilities Committee Meeting

FROM: UNM Rainforest Innovations (UNMRI)
Board of Directors

DATE: May 2, 2024

RE: Appointed by President Stokes, per the UNMRI Bylaws: Dr. Bryce C. Chackerian, replacing Dr. Angela Wandinger-Ness as the Health Sciences Campus (HSC) Faculty Member

Appointed by President Stokes, per the UNMRI Bylaws for approval of Dr. Bryce C. Chackerian as the Health Sciences Campus (HSC) faculty member of the UNMRI Board of Directors. He is a Jeffery Michael Gorvetzian Endowed Professor of Biomedical Research Excellence, Regents' Professor & Vice Chair in the Department of Molecular Genetics & Microbiology with the UNM School of Medicine. He is also Director of Postdoctoral Affairs with the UNM Health Sciences Center. Dr. Chackerian replaces Dr. Wandinger-Ness. Dr. Chackerian will serve a four-year term, beginning July 1, 2024 and ending June 30, 2028. His appointment was recommended by President Stokes, the UNMRI Nominations Committee and approved by the UNMRI Board of Directors at its April 26, 2024 Board meeting, subject to Board of Regents approval.

Dr. Bryce C. Chackerian

Recommendation Letter & Bio Attached

TO: Garnett S. Stokes, President, The University of New Mexico

FROM: Sandra Begay, Chair, UNMRI Board of Directors

DATE: March 7, 2024

SUBJECT: Recommendation to Appoint Dr. Bryce Chackerian as the Health Sciences Campus (HSC) Faculty Member to the UNMRI Board of Directors

Dear President Stokes:

Dr. Angela Wandinger-Ness will be stepping down from the UNMRI Board of Directors, effective June 30, 2024 as she will be retiring from UNM. Executive Vice President with UNM Health Sciences, Dr. Douglas Ziedonis, recommends Dr. Bryce Chackerian to replace Dr. Wandinger-Ness as the Health Sciences Campus (HSC) Faculty member to the UNMRI Board of Directors. As President of The University of New Mexico, the UNMRI Bylaws authorize you to appoint for this position. As Chair of the UNMRI Board of Directors, I am recommending that Dr. Chackerian be appointed to replace Dr. Wandinger-Ness. Dr. Chackerian is a Jeffery Michael Gorvetzian Endowed Professor of Biomedical Research Excellence, Regents' Professor & Vice Chair in the Department of Molecular Genetics & Microbiology with the UNM School of Medicine. He is also Director of Postdoctoral Affairs with the UNM Health Sciences Center. Dr. Chackerian would serve a four-year term, beginning July 1, 2024 and ending on June 30, 2028.

If you approve the recommendation to appoint Dr. Chackerian, his appointment will be submitted to the UNMRI Board of Directors for approval at its April 26, 2024 meeting, then submitted for approval to the Regents Finance & Facilities Committee at its May 2, 2024 meeting, and submitted for final approval to the Board of Regents at its May 16, 2024 meeting.

Thank you for your consideration of this matter.


Sincerely,



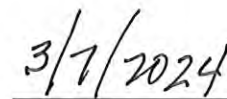
Sandra Begay
Chair, UNM Rainforest Innovations Board of Directors

cc: Elizabeth (Lisa) J. Kuuttilla
CEO & Chief Economic Development Officer
UNM Rainforest Innovations

APPROVED BY



Garnett S. Stokes
President
The University of New Mexico



Date

Dr. Bryce C. Chackerian



**Jeffery Michael Gorvetzian Endowed Professor of Biomedical Research Excellence
Regents' Professor & Vice Chair, Department of Molecular Genetics & Microbiology
University of New Mexico School of Medicine
Director of Postdoctoral Affairs, University of New Mexico Health Sciences**

Education

Ph.D. – Microbiology, University of Washington, Seattle, WA

Business/Research Background

Dr. Chackerian received his Ph.D. in Microbiology at the University of Washington and then did a post-doctoral fellowship at the National Cancer Institute. In 2004 he joined the faculty at the University of New Mexico in the Department of Molecular Genetics and Microbiology and he is currently a Regents' Professor and Vice-Chair of the department. The Chackerian laboratory is focused on vaccine development, and their work has led to the development of candidate vaccines for diverse pathogens, including malaria, HIV, and SARS-CoV-2, and vaccines for chronic diseases, such as cardiovascular disease and Alzheimer's.

Particular Knowledge and Skills

Dr. Chackerian's work has led 16 issued patents and the founding of multiple companies. Honors including being named the 2017 UNM Innovation Fellow, the UNM Biomedical Sciences Graduate Program (BSGP) Outstanding Mentor Award (2019), and induction into the National Academy of Inventors (2019).

TAB 12

#12

Approval of the Three-year Appointment of a Non-Positional Director on the Lobo Development Corporation Board of Directors (Presenter: Teresa Costantinidis, CEO, Lobo Development Corporation and Executive Vice President)



March 14, 2024

Regent Kim Sanchez Rael
Chair of the UNM Board of Regents
The University of New Mexico
Albuquerque NM 87131

RE: Lobo Development Corporation Board of Directors
Appointment of Non-Positional Director

Dear Regent Sanchez Rael,

Per the current Bylaws, Lobo Development Corporation's non-positional board members are to be appointed by the Board of Regents of The University of New Mexico. The term of a previous non-positional board member expired on Sept. 14, 2023, and we ask that Eric Eggins be appointed for a three-year term that expires on Sept. 14, 2026.

The Lobo Development Corporation Board of Directors requests that you place the three-year appointment of Eric Eggins on the agenda for the next meeting of the Board of Regents.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Teresa A. Costantinidis', is written over a light blue horizontal line.

Teresa Costantinidis
Chief Executive Officer
Lobo Development Corporation

Eric K. Eggins

P: 214-336-1427 E: eggins70@gmail.com

QUALIFICATION

Leadership: Goal driven, multifaceted professional with broad-based experience in sales leadership and management. Recognized for team building & development in all stages of experience. Highly regarded for proactive management approach in formulating and implementing initiatives to optimize operational productivity and efficiency.

EXPERIENCE

PNC | Albuquerque, NM

SVP/Regional Manager

10/2021 – Present

- Lead retail banking teams to achieve customer service and sales goals
- Oversee P&L for a 10 branch network
- Assists with the development of unit business plans to ensure the Region meets deposit and production goals
- Exercises authority of leadership concerning staffing, performance reviews, promotions, development
- Establish impactful relationships with Community based organizations

BBVA Compass | Albuquerque, NM (surrounding areas)

District Retail Executive

09/2020 – 10/2021

- Responsible for management and coaching of sales, service and operational activities for 17 Banking Centers across New Mexico
- Ensure branches follow COVID safety protocols per CDC, along with bank policies and procedures
- Organize external new business development programs within region
- Direct sales activities to generate new business by monitoring results, providing sales leadership and coaching to Branch Managers

BBVA Compass | Dallas, TX (surrounding areas)

Branch Retail Executive, V, VP

2015 – 09/2020

- Responsible for management and coaching of sales, service and operational activities of banking center personnel
- Maximizing sales in deposits, loans, insurance and investment product sales inside and outside
- Monitor and preserve P&L for banking center by building and retaining relationships with clients
- Ensure all aspects of bank operations are followed per all applicable state and Federal laws, regulations and bank policies

Business Development Officer (BBVA)

2014 – 2015

Develop strong customer relationships in order to generate high volume of prospective clients

- Planned and conducted client calls and appointments to identify opportunities; Develop and maintain robust prospect acquisition pipeline
- Effectively interview and profile customers in order to recommend appropriate banking products and services

**Merchant Sales Advisor II
(BBVA)**

2014

- Coached and trained branch sales staff to provide merchant solutions referrals for their clients
- Built strong pipeline for new revenue growth; maintain and grow existing accounts
- Educated clients on new technology and regulatory government requirements for accepting payments
- Partnered with Business Bankers/Branch Managers to canvas community and attain new opportunities

JPMorgan Chase – Paymentech | Addison, TX

Business Development Manager

2011 – 2014

- Created relationships with key personnel, current and prospective buyers within an organization
- Developed needs analysis with customers – review frequently to maximize opportunity and market share
- Developed and maintain an up-to-date sales funnel pipeline of new prospects on an ongoing basis
- Managed a remote territory while cultivating existing referral partners

Washington Mutual - JPMorgan Chase | Allen, TX

Financial Specialist

2007– 2011

- Supervised daily business function, operations and sales aspects of the banking center
- Ensured goals met and maintained through daily inspections of reports and weekly coaching sessions with staff
- Responsible for obtaining profitable results by developing sales team through motivation, coaching and training

Bank of America | Dallas, TX

Sr. Personal Banker

2004 – 2005

- Team leader; Provide sales training and on-going mentoring to staff, meet regularly with manager to provide detailed reporting on the overall performance of the team
- Profiled customers to identify financial needs (across all product and service lines), managing a customer portfolio, and performed accurate and timely processing of teller transactions as needed

Verizon Information Service | Coppell, TX

Customer Relations Supervisor

2000 – 2003

- Responsible for leading and developing 10-12 Customer Sales Reps (CSRs)
- Decreased call transfer rate from 30-12% by implementing training and other initiatives

PROFESSIONAL DEVELOPMENT

United States Marine Corp | Camp Lejeune, NC

Navy Achievement Medal, Meritorious Mast 1989-1993

TAB 13

#13

UNM Valencia County Bond Election (Presenter: Richard Goshorn, Director of Business Operations, CFO, UNM-Valencia and Katherine McKinney, Modrall Spering Law Firm)



TO: Teresa Costantinidis
Executive Vice President for Finance and Administration
FROM: Richard Goshorn, Director of Business Operations, UNM-Valencia
Date: April 18, 2024
REF: UNM Valencia College District Bond Election Nov 2023
Information Item

While working with the Valencia and Socorro County Clerks to gather the publications in anticipation of the UNM-V bond transaction, it became clear that the UNM Valencia bond question was not included on the notice and not on the sample ballot in Socorro County. It was confirmed that the question was not included on the ballot in the portions of Socorro County where the College District extends. UNM Valencia fulfilled its statutory duty notifying both the Valencia and Socorro County Clerks and filing the resolution and questions timely for the 2023 regular local election. The Socorro County Clerk acknowledged receiving the election items and provided the Certificate of Filing, but unfortunately, Section 1-16-9(D)(1) NMSA 1978 Election Statue makes it clear that the election is invalid, and UNM Valencia cannot levy a property tax when voters did not have the opportunity to vote on the imposition of the tax even if the number of eligible voters in Socorro County could not have changed the outcome of the election.

The legal advice from multiple sources concur that a new, homogeneous election should take place, and the November general election would be the most cost-effective and appropriate. The election resolution must be filed with both the Valencia and Socorro County Clerks at least 70 days prior to the proposed election date. For the November general election, the election resolution and translation will need to be filed no later than August 26th. The UNM Valencia Advisory Board will adopt a new election resolution but given that the UNM Regents and HED have approved the election in 2023, it does not need to go for new approvals.

TAB 14

#14

UNM Los Alamos County Bond Election (Presenter:
Mike Holtzclaw, Chancellor, UNM-Los Alamos and
Katherine McKinney, Modrall Sperling Law Firm)



MEMORANDUM

To: Members of the Board of Regents' Finance & Facilities Committee
From: UNM- Los Alamos Advisory Board
Date: April 24, 2024
Subject: Los Alamos Campus Mil Rate Resolution

On April 15, 2024, the University of New Mexico Los Alamos Campus Advisory Board expressed its desire to seek approval from the UNM Board of Regents to place a question before the voters in Los Alamos requesting both the authority to issue bonds as well as asking for a bond up to the amount of \$3,000,000. We request the authorization of an election process at the May 2, 2024 Regents' Finance and Facilities Committee meeting and subsequently at the full Board of Regents meeting on May 16, 2024.

If approved by the Board of Regents, the special election would be held in November 2024. The proposed resolution question to the voters of Los Alamos is:

“Shall the Advisory Board of the University of New Mexico Los Alamos Branch Community College District, be authorized to issue up to \$3,000,000 of general obligation bonds for the purpose of erecting, furnishing, constructing, purchasing, remodeling and equipping buildings and utility facilities, exclusive of stadiums; making other real property improvements; purchasing grounds; and purchasing and installing computer hardware and software; or any combination of these purposes?”

We look forward to having this item placed on the agenda of the May 2, 2024 Regents' Finance & Facilities committee meeting, where we will plan to make a short presentation to respond to questions about this resolution.

STATE OF NEW MEXICO)
)
COUNTY OF LOS ALAMOS)

The Advisory Board (the "Board") of the UNM-Los Alamos Branch Community College District (the "District"), in the County of Los Alamos, and State of New Mexico, met in special open session in full conformity with law and the rules and regulations of the Board, via Zoom on April 15, 2024, at the hour of 5:30 p.m., at which meeting there were present and answering the roll call the following:

Present: Chairperson: Chuck McCullough

 Secretary: Kristin Henderson

 Members: John Pawlak

David Hanson

Alissa Grissom

Also present: Chancellor Mike Holtzclaw

Bob Harmon, Director of Business
 Operations

The following resolution was then introduced:

**RESOLUTION OF UNM LOS ALAMOS BRANCH COMMUNITY COLLEGE
DISTRICT ADVISORY BOARD FOR A
GENERAL OBLIGATION BOND ELECTION**

A RESOLUTION CONCERNING A GENERAL OBLIGATION BOND QUESTION TO BE SUBMITTED TO THE QUALIFIED ELECTORS OF THE UNIVERSITY OF NEW MEXICO LOS ALAMOS BRANCH COMMUNITY COLLEGE DISTRICT AT THE GENERAL ELECTION TO BE HELD ON NOVEMBER 5, 2024; PROVIDING THAT A GENERAL OBLIGATION BOND QUESTION BE SUBMITTED TO THE QUALIFIED VOTERS OF THE DISTRICT AT THE ELECTION; PROVIDING FOR THE FILING OF THE ELECTION RESOLUTION WITH THE LOS ALAMOS COUNTY CLERK; PRESCRIBING OTHER DETAILS IN CONNECTION WITH SUCH ELECTION AND BONDS; AND RATIFYING ACTION PREVIOUSLY TAKEN IN CONNECTION THEREWITH.

WHEREAS, the Advisory Board (the "Board") of the University of New Mexico Los Alamos Branch Community College District (the "District"), is established pursuant to Sections 21-14-1 through 21-14-16 NMSA 1978, as amended; and

WHEREAS, the Board has determined that it is in the best interest of the District to submit to a vote of the qualified electors of the District the question of issuance of general obligation (limited tax) bonds in the amount and for the purposes hereinafter specified in Section 2 of this Resolution (the "Bond Question") at the general election to be held Tuesday, November 5, 2024 (the "Election"), and that a Resolution regarding the Election shall be issued by the Board, in accordance with Section 21-2A-10, NMSA 1978; and

WHEREAS, the Board has determined that it is in the best interest of the District to submit to a vote the Bond Question, as permitted by Sections 21-2A-6 and 21-14-2, NMSA 1978, at the Election; and

WHEREAS, the Bond Question to be submitted to the voters has not been defeated at an election held within a period of two years from the date of the Election; and

NOW, THEREFORE, BE IT RESOLVED BY THE ADVISORY BOARD OF THE UNIVERSITY OF NEW MEXICO LOS ALAMOS BRANCH COMMUNITY COLLEGE DISTRICT, COUNTY OF LOS ALAMOS, STATE OF NEW MEXICO THAT THE FOLLOWING RESOLUTION BE ISSUED:

Section 1. The general obligation bond election for the University of New Mexico – Los Alamos Branch Community College District, County of Los Alamos, New Mexico shall be held at the Election.

Section 2. There shall be submitted to all qualified registered electors of the District at the Election, the following question (the "Bond Question"):

College District "Shall the Advisory Board of the University of New Mexico Los
General Obligation Alamos Branch Community College District, be authorized to
Bond Question: issue up to \$3,000,000 of general obligation bonds for the purpose
 of erecting, furnishing, constructing, purchasing, remodeling and
 equipping buildings and utility facilities, exclusive of stadiums;
 making other real property improvements; purchasing grounds;
 and purchasing and installing computer hardware and software; or
 any combination of these purposes?"

Section 3. The District shall file this Resolution with the County Clerk of Los Alamos County (the "County Clerk") pursuant to Section 21-2A-10 NMSA 1978, as amended. The District hereby requests that the Los Alamos County Board of County Commissioners place the Bond Question on the Ballot for the Election.

Section 4. Officers of the District are authorized and directed to take all action necessary for the Election and to coordinate the inclusion of the District's Bond Question on the ballots for the Election with the County Clerk and New Mexico Secretary of State as necessary.

Section 5. The County Clerk shall conduct and canvass the Election pursuant to the Election Code, Sections 1-1-1 through 1-1-28, NMSA 1978, Sections 1-16-1 through 1-16-9, NMSA 1978, the Local Election Act, Sections 1-22-1 through 1-22-20, NMSA, the College District Tax Act, Section 21-2A-1 through 21-2A-17 NMSA 1978, Sections 21-14-1 through 21-14-17, NMSA 1978, the Federal Voting Rights Act, and other laws applicable to the Election the District.

Section 6. Notice of the Election and other publications including the Bond Question shall be published by the County Clerk as required by the Election Code. All such publications shall be in the *Los Alamos Daily Post* or such other legal newspaper having a general circulation within the District as determined by the County Clerk. The County Clerk is requested to publish the Election proclamation as provided above and the Election Code.

Section 7. The Chairperson of the District Advisory Board, officers, employees, and agents of the District, and the County Clerk be, and they hereby are authorized and directed to take all action necessary or appropriate to effectuate the provisions of this Resolution, including, but not limited to, the submission of the proposed issuance of general obligation bonds to the New Mexico Higher Education Department for approval.

Section 8. All action heretofore taken by the Board, the Chairperson, officers, and employees of the District not inconsistent with the provisions of this Resolution directed toward the calling and conducting of the Election be, and the same hereby is ratified, approved and confirmed.

Section 9. All acts, motions or resolutions, or parts thereof, inconsistent herewith are hereby repealed to the extent only of such inconsistency.

Section 10. This Resolution shall be in full force and effect after its passage and adoption.

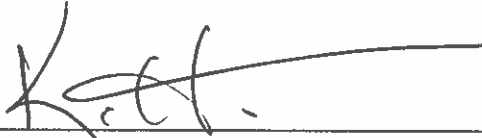
PASSED AND ADOPTED THIS 15th DAY OF APRIL, 2024.

UNM LOS ALAMOS BRANCH COMMUNITY
COLLEGE DISTRICT

By: 
Chuck McCullough, Chairperson

[SEAL]

ATTEST:

By: 
Kristin Henderson, Secretary

Member John Pawlak moved the adoption of the foregoing Resolution, and Member Kristin Henderson seconded the motion. The motion to adopt the Resolution was thereupon put to a vote and was passed and adopted on the following recorded vote:

Those Voting Aye: Alissa Grissom
Chuck McCullough
Kristin Henderson
John Pawlak
David Hanson

Those Voting Nay: None

Those Absent: None

STATE OF NEW MEXICO)
)
COUNTY OF LOS ALAMOS)

I, Kristin Henderson, the duly qualified and acting Secretary of the Advisory Board (the "Board") of UNM Los Alamos Branch Community College District in Los Alamos County (the "District"), do hereby certify:

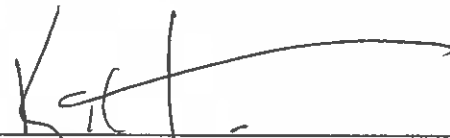
1. The foregoing pages are a true, perfect and complete copy of the record of the proceedings of the Board, constituting the governing board of the District, had and taken at a duly called special meeting held via Zoom on the 15th day of April, 2024, at the hour of 5:30 p.m., insofar as the same relate to the proposed submission of a general obligation bond question to the voters of the District at the upcoming general election on November 5, 2024, a copy of which is set forth in the regular book of official records of the proceedings of the Board kept in my office. None of the action taken has been rescinded, repealed or modified.

2. The proceedings and the meeting were duly held and the persons therein named were present at the meeting, as therein shown.

3. Notice of such meeting attached hereto as Exhibit "A", was posted in accordance with the open meetings standards presently in effect, i.e., Advisory Board Bylaw 1330 re-adopted on September 12, 2022 and on April 15, 2024, which is currently in effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the District, this 15th day of April, 2024.

(SEAL)

By: 

Kristin Henderson, Secretary
UNM-Los Alamos Branch Community College District

EXHIBIT "A"

Notice of April 15, 2024 Meeting



LOS ALAMOS

UNIVERSITY OF NEW MEXICO *Los Alamos Branch*

University's Historical Financial Information

April 2024

6565 Americas Parkway NE, Suite 860
Albuquerque, NM
(505) 336-2064

STIFEL | Public Finance

- 01 About Stifel**
- 02 Market Outlook**
- 03 Historical Valuations & Debt Capacity**
- 04 Plan of Finance**

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Helping clients better serve their communities.

- Stifel's Public Finance professionals specialize in raising capital to build and maintain essential infrastructure in the communities they serve.

Local knowledge. National presence.

- The locations of Stifel's regional Public Finance offices provide for a broad national platform with specific local expertise across the country.

Areas of expertise.

- From some of the nation's largest states, cities, and counties to rural school districts and small towns and nearly everything in between, our municipal banking and underwriting groups work with issuers to develop and implement financing strategies that allow them to operate and optimize the important work they do.

Our mission is to provide the professional guidance and resources you need to work toward your goals.

- STIFEL HISTORY**
- Founded in 1890 and publicly listed since 1983
 - Headquartered in St. Louis, Missouri
 - More than 8,300 Global Employees
 - More than \$343.7 billion in client assets under management

- CAPITAL POSITION**
- As of September 30, 2023, Stifel's total capital base was approximately \$1.24 billion with excess net capital of \$373.7 million
 - Based upon this capital position, Stifel has the capacity to commit to underwrite, as sole manager, more than \$4.87 billion of municipal securities

- PUBLIC FINANCE PROFESSIONALS**
- Nearly 300 municipal banking, sales, trading and professionals
 - 40 public finance offices in 23 states

- PUBLIC FINANCE AREAS OF EXPERTISE**
- Public Education
 - Non-Profit Education
 - Healthcare
 - Pensions
 - Housing
 - Religion Finance
 - State and Local Government
 - Tax Increment and Development Districts
 - Transportation and Utilities

Local Offices in Santa Fe | Albuquerque | Las Cruces

- 

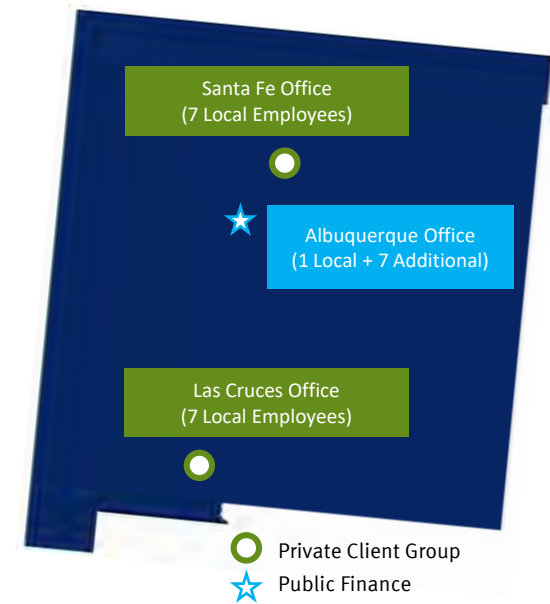
NEW MEXICO FOCUS
- 

INVESTING IN NEW MEXICO
- 

SUPPORTING LOCAL FINANCIAL MARKET
- 

FULL-SERVICE NATIONAL EXPERIENCE

- 7 full time employees in **Santa Fe**, 7 FTE's in **Las Cruces**, 1 FTE in **Albuquerque**, and 7 additional FTE's from out of state dedicated to providing New Mexicans our services
- Stifel continues to **invest heavily in New Mexico**, maintaining 3 offices with 15 New Mexico based employees, by providing **scholarships** to high school seniors, and frequently **volunteering** in the community
- **120+ fixed income trading associates** support New Mexico retail and institutional clients, completing 600+ trades worth \$115 million in 2023YTD
 - **285+ fixed income sales associates** support public debt issuances
- Stifel's team of **10+ public finance professionals** dedicated to New Mexico bring **50+ years of experience in New Mexico Public Finance** and provide expertise on setting tax rates, refinancing existing debt, private placements, loans and elections



PHILANTHROPIC AND LOCAL COMMUNITY INVOLVEMENT

- **Stifel's Fabric of Society** - 75 College Scholarships Awarded Annually
- **New Mexico Association of School Board Officials (NMASBO)**
- **Albuquerque Public Schools Education Foundation**
- **NM Tech President's Golf Tournament**
- **NM School Boards Association (NM SBA)**
- **NM Municipal League (NMML)**
- **Please see Contacts page for additional Philanthropic and Local Community Involvement**

STIFEL'S NEW MEXICO RETAIL HOLDINGS

Client Accounts	2,300
Municipal Client Assets	\$22.4 mil
Total Client Assets	\$590.7 mil

Source: Stifel Internal Records as of October 3, 2023.



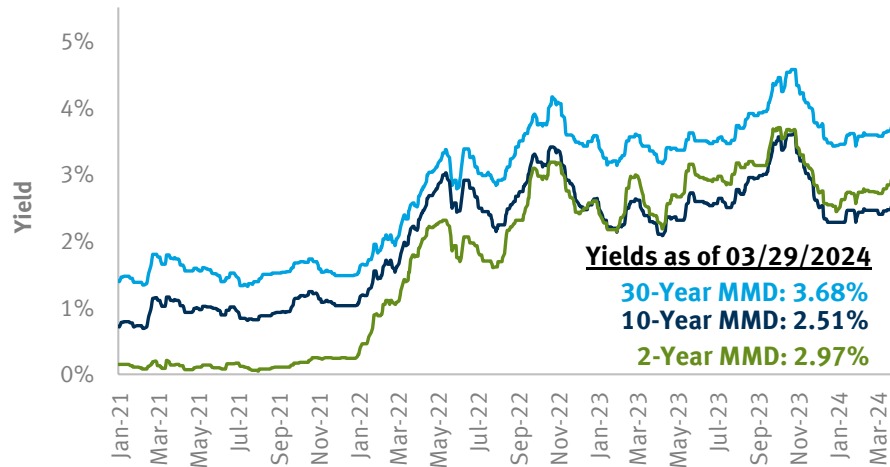
<p>ROBERT CASILLAS Managing Director rcasillas@stifel.com 602.794.4001</p>	<p>BRAD ANGST Director angstb@stifel.com 505.336.2064</p>	<p>NICHOLAS CAINE Asst. Vice President cainen@stifel.com 505.336.2068</p>	<p>JACK LEEPER Vice President jleeper@stifel.com 602.794.4052</p>	<p>LISA MAY Underwriter mayl@stifel.com 303.291.5365</p>	<p>KEN CHEREVKA Asst. Vice President kcherevka@stifel.com 602.794.4014</p>	<p>JILLIAN JOHNSON Associate johnsonjill@stifel.com 602.794.4009</p>	<p>BLAKE BREI Associate breib@stifel.com 602.794.4053</p>
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Tax-Exempt Interest Rate Movement

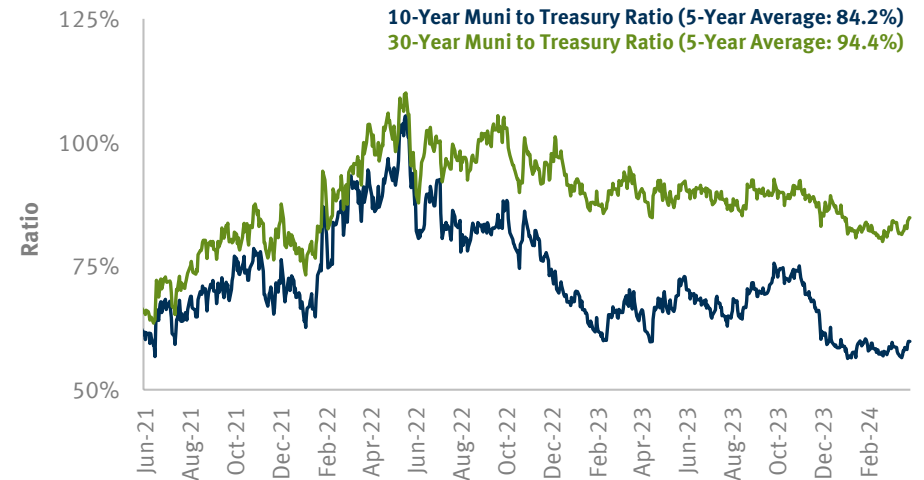
AAA MMD yields have risen from recent December 2023 lows.

AAA MMD Yields Since 2021

Comparing 2-, 10- and 30-Year AAA MMD

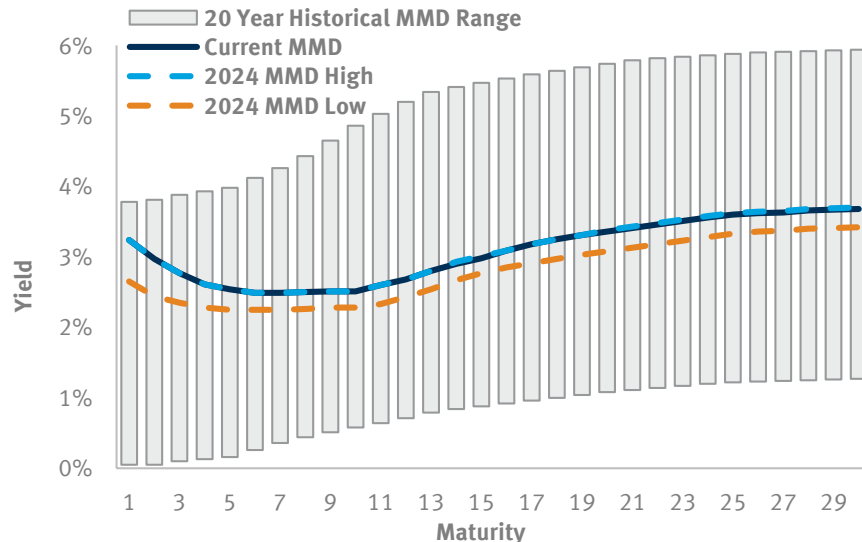


10-Year and 30-Year Muni to Treasury Ratios Since 2021



Current MMD Yields and Historic Context

20-Year Historical AAA MMD Range vs. Current AAA MMD



Sources: TM3, US Treasury. As of March 29, 2024.

AAA MMD Summary Statistics

	5-Year	10-Year	30-Year
Current	2.54%	2.51%	3.68%
Weekly Change	+7 bps	+4 bps	+3 bps

2024 Year-to-Date

YTD Change	+26 bps	+23 bps	+26 bps
High	2.54%	2.51%	3.70%
Low	2.25%	2.28%	3.42%
Average	2.40%	2.41%	3.57%
Beginning of 2024	2.28%	2.28%	3.42%

AAA BVAL Summary Statistics

	5-Year	10-Year	30-Year
Current	2.50%	2.50%	3.67%
Weekly Change	+5 bps	+4 bps	+4 bps

2024 Year-to-Date

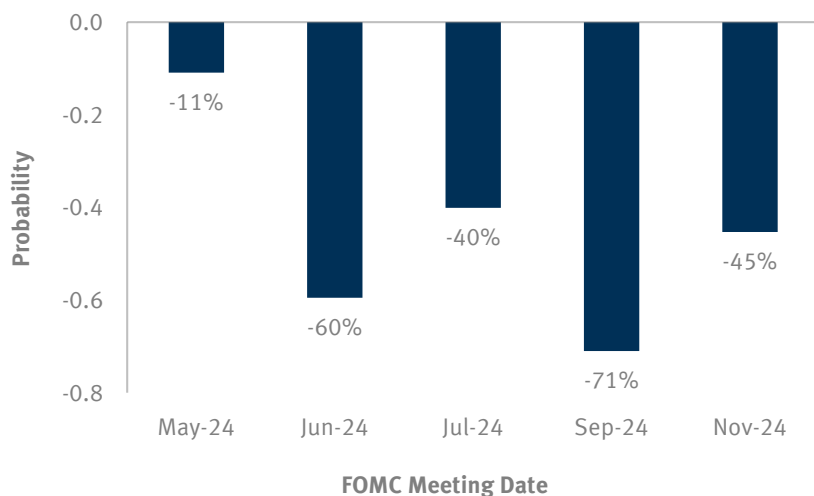
YTD Change	+31 bps	+25 bps	+33 bps
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- On Friday, Federal Reserve Chairman Jerome Powell joined the growing number of Fed officials reiterating a message of patience in the aftermath of the March FOMC rate decision. Powell also suggested a potentially more tempered path. "We don't need to be in a hurry to cut," he said at a San Francisco Fed event. "The fact that the U.S. economy is growing at such a solid pace, the fact that the labor market is still very, very strong, gives us the chance to just be a little more confident about inflation coming down before we take the important step of cutting rates."
- Powell's comments of course came just after the latest inflation data showed an acceleration in headline price pressures with minimal improvement in the core. Recall, on Friday the PCE rose 0.3% in January, and 2.5% year-over-year. While in line with expectations, this was an increase from the 2.4% annual gain in January.
- Excluding food and energy, the core PCE rose 0.3% in January, as expected and following a 0.5% gain at the start of the year. Over the past year, core inflation increased 2.8, a minimal retreat from a 2.9% annual gain in January.

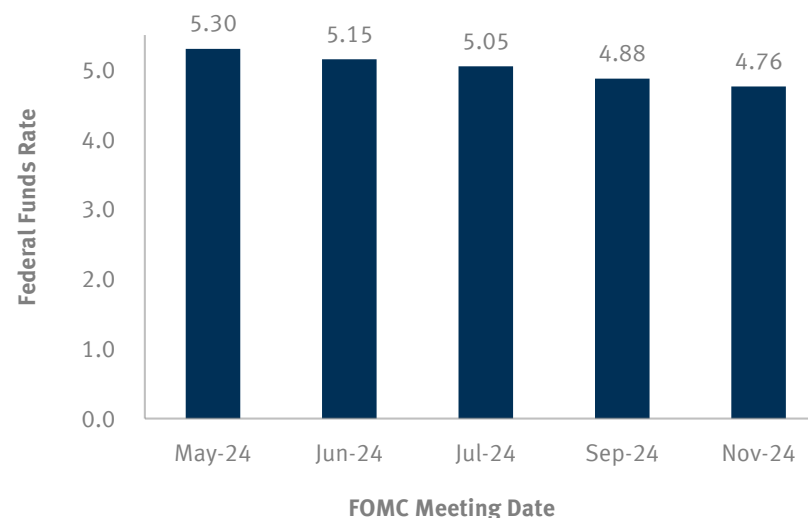
Bloomberg Consensus Yield Curve Projections (%)

Market Consensus Yield Curve Projections (%)					
	Current	Q2 2024	Q3 2024	Q4 2024	Q1 2025
Fed Funds	5.50	5.30	4.95	4.60	4.25
2-Yr UST	4.59	4.26	4.00	3.77	3.60
10-Yr UST	4.20	4.03	3.93	3.87	3.82
30-Yr UST	4.34	4.23	4.14	4.11	4.06

Market Consensus Probability of a Rate Hike at Upcoming Fed Meetings Calculated Using Fed Funds Futures. (Values > 100% indicate a greater than 25 bp hike)

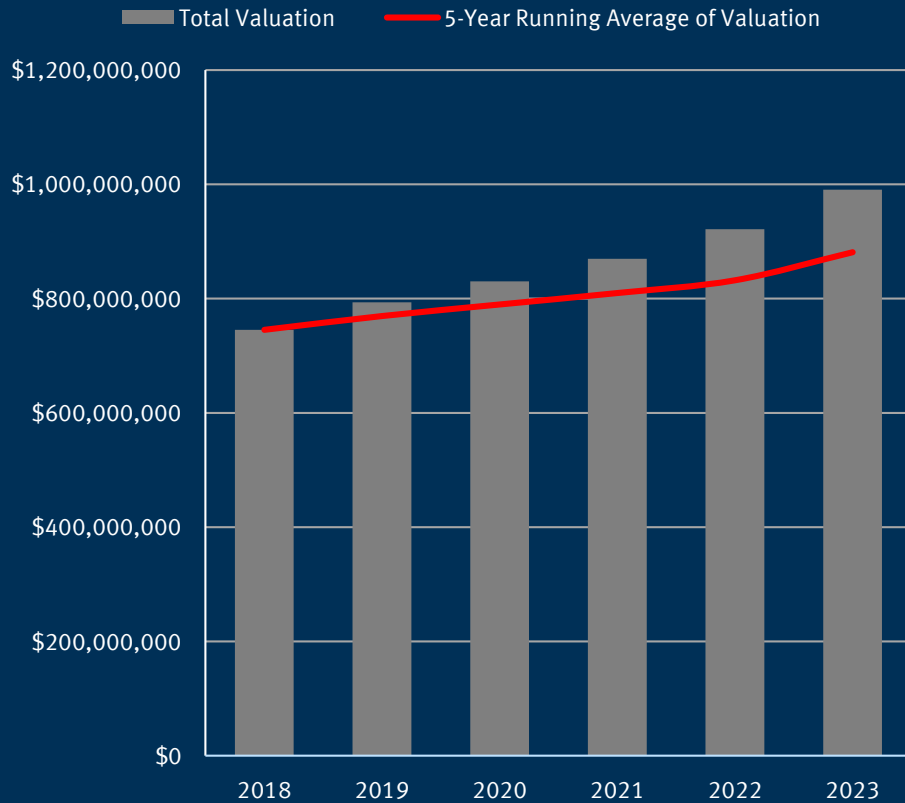


Market Consensus Implied Overnight Effective Rate After Each Fed Meeting



Sources: Stifel Fixed Income Strategy Department, US Treasury, Bloomberg, Thomson Reuters. As of March 29, 2024.

Historical Assessed Valuations



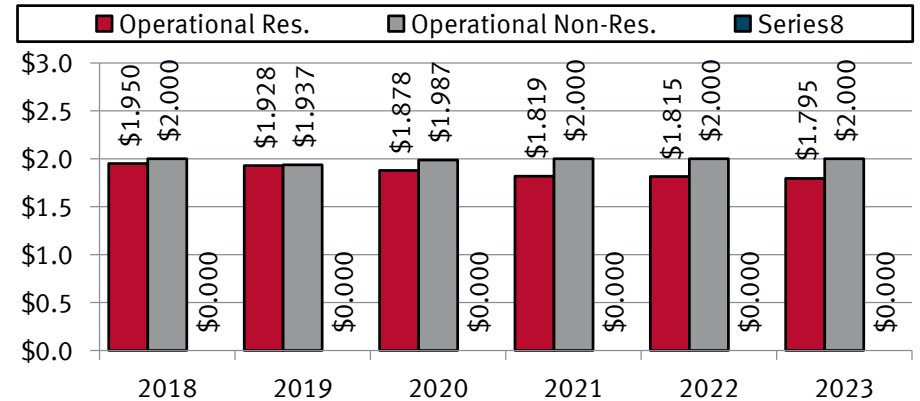
Tax Year	Total Residential	Total Non-Residential	Total Valuation	Annual % Change
2018	\$646,476,090	\$98,791,408	\$745,267,498	-
2019	\$679,828,420	\$113,705,210	\$793,533,630	6.48%
2020	\$715,999,540	\$114,182,352	\$830,181,892	4.62%
2021	\$760,592,490	\$109,128,225	\$869,720,715	4.76%
2022	\$808,282,870	\$113,117,962	\$921,400,832	5.94%
2023	\$868,981,400	\$121,783,192	\$990,764,592	7.53%

General Obligation Bonding Capacity

2023 Final Limitation (3% of \$990,764,592)	\$29,722,938
Less: Outstanding GO Debt (As of 4/1/2023)	None

Additional G.O. Bonding Capacity **\$29,722,938**

Ratio of Direct & Overlapping Debt to 2023 Assessed Valuation:	0.00%
Per Capita Net Bonded Debt:	\$0.00
Est. Population:	19,187



University of New Mexico – Los Alamos Branch: Historical Tax Rates

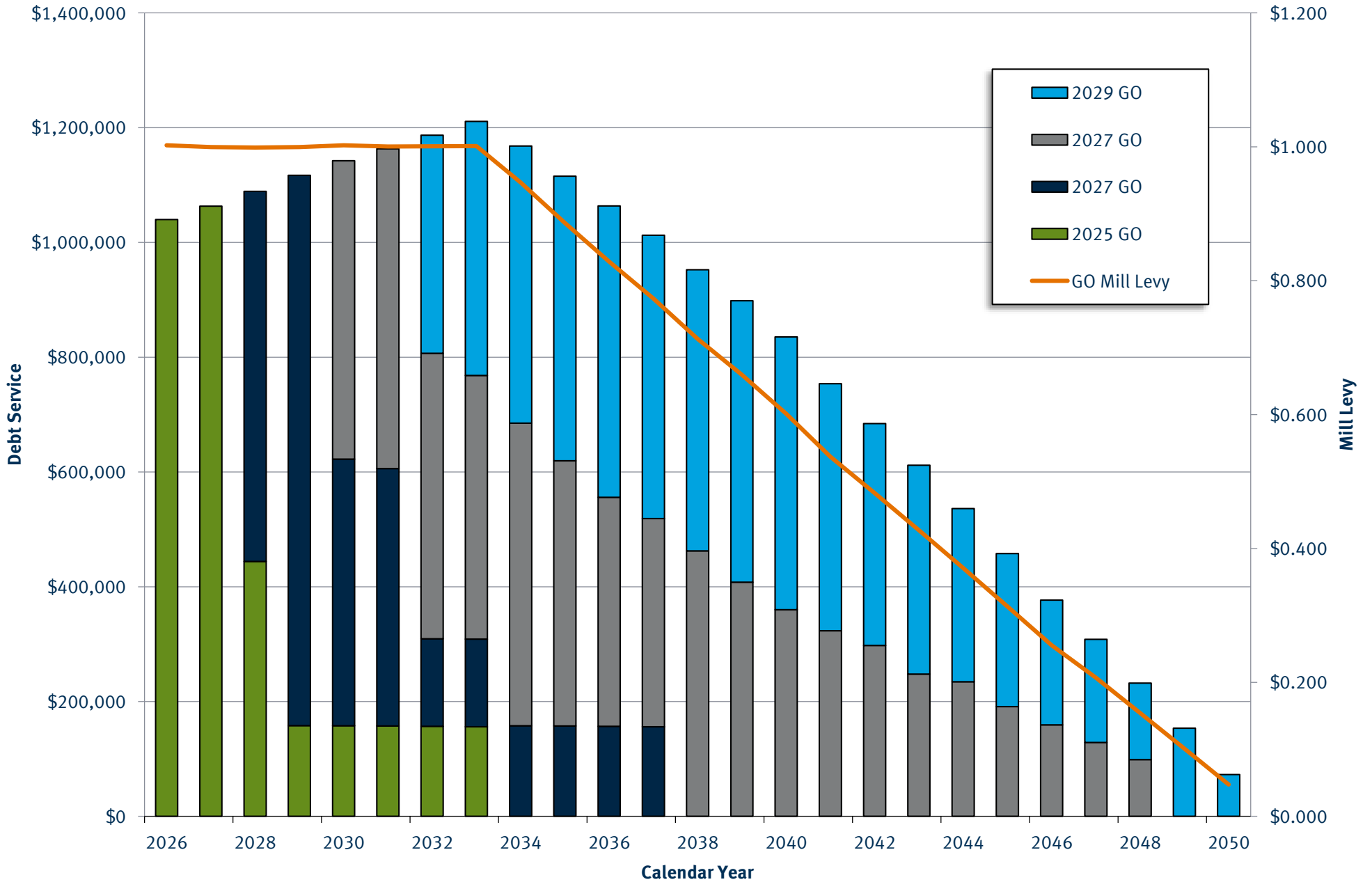
Tax Year	Operational Tax Rates		GO Debt Service Levy	Totals	
	Residential	Non-Res.		Residential	Non-Res.
2018	1.950	2.000	0.000	1.950	2.000
2019	1.928	1.937	0.000	1.928	1.937
2020	1.878	1.987	0.000	1.878	1.987
2021	1.819	2.000	0.000	1.819	2.000
2022	1.815	2.000	0.000	1.815	2.000
2023	1.795	2.000	0.000	1.795	2.000

Tax Rate Impact – \$1.0 GO Mill Levy

Tax Impact and Debt Service Schedules

Projected Assessed Value & Current Debt Service					Plan of Finance & Debt Service					
	Growth Factor	Projected Assessed Valuation	Current Debt Service	Current GO Mill Levy	Series 2025 Spring Sale	Series 2027 Spring Sale	Series 2029 Spring Sale	Series 2031 Spring Sale	Projected Total Debt Service	Projected Mill Levy
Payment Date (August 1)				95%	\$3,000,000	\$3,000,000	\$5,000,000	\$5,000,000		95%
2024	7.53%	\$990,764,592	\$0	\$0.000	\$6M - Nov. Election					
2025	5.00%	1,040,302,822								
2026	5.00%	1,092,317,963			\$1,040,000				\$1,040,000	\$1.002
2027	2.50%	1,119,625,912			1,063,200				1,063,200	1.000
2028	2.50%	1,147,616,560			444,000	\$645,000	\$10M - Nov. Election		1,089,000	0.999
2029	2.50%	1,176,306,974			158,000	959,000			1,117,000	1.000
2030	2.00%	1,199,833,113			157,800	464,600	\$520,000		1,142,400	1.002
2031	2.00%	1,223,829,775			157,400	448,600	557,200		1,163,200	1.000
2032	2.00%	1,248,306,371			156,800	152,600	497,400	\$380,000	1,186,800	1.001
2033	2.00%	1,273,272,498			156,000	152,800	459,400	442,800	1,211,000	1.001
2034	2.00%	1,298,737,948				157,800	527,400	482,800	1,168,000	0.947
2035	2.00%	1,324,712,707				157,400	462,200	495,800	1,115,400	0.886
2036	2.00%	1,351,206,961				156,800	399,000	507,800	1,063,600	0.829
2037	2.00%	1,378,231,100				156,000	362,800	493,800	1,012,600	0.773
2038	2.00%	1,405,795,722					462,600	489,800	952,400	0.713
2039	2.00%	1,433,911,637					408,000	490,400	898,400	0.660
2040	2.00%	1,462,589,870					360,000	475,400	835,400	0.601
2041	1.00%	1,477,215,768					323,400	430,400	753,800	0.537
2042	1.00%	1,491,987,926					297,800	386,600	684,400	0.483
2043	1.00%	1,506,907,805					247,800	364,000	611,800	0.427
2044	1.00%	1,521,976,883					234,400	301,800	536,200	0.371
2045	1.00%	1,537,196,652					191,200	266,600	457,800	0.313
2046	1.00%	1,552,568,619					159,400	217,400	376,800	0.255
2047	1.00%	1,568,094,305					128,600	179,800	308,400	0.207
2048	1.00%	1,583,775,248					98,800	133,400	232,200	0.154
2049	1.00%	1,599,613,000						153,600	153,600	0.101
2050	1.00%	1,615,609,130						72,800	72,800	0.047
Totals:			\$0		\$3,333,200	\$3,450,600	\$6,697,400	\$6,765,000	\$20,246,200	

Tax Rate Impact – \$1.0 GO Mill Levy

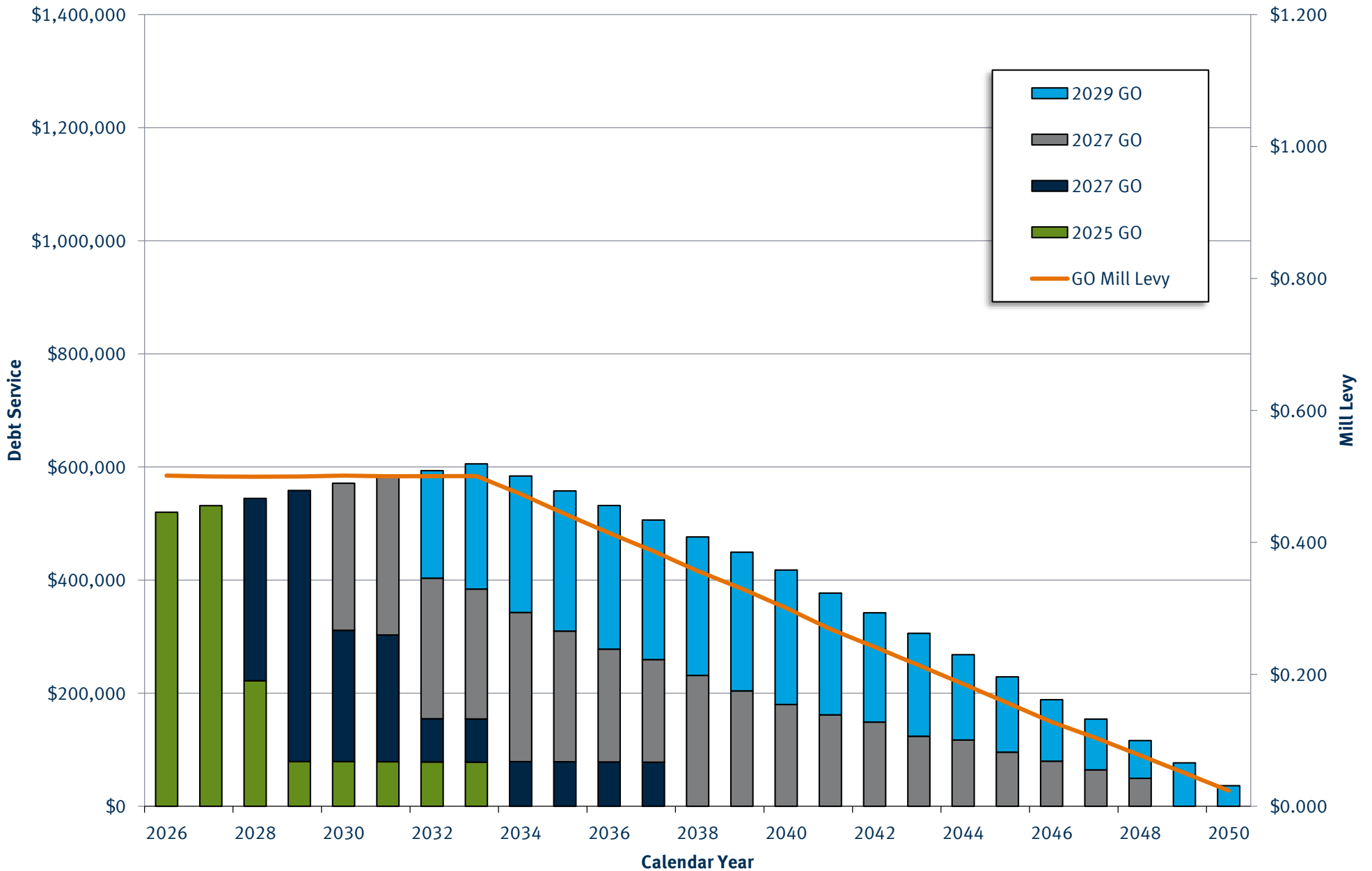


Tax Rate Impact – \$0.5 GO Mill Levy

Tax Impact and Debt Service Schedules

Projected Assessed Value & Current Debt Service					Plan of Finance & Debt Service					
	Growth Factor	Projected Assessed Valuation	Current Debt Service	Current GO Mill Levy	Series 2025 Spring Sale	Series 2027 Spring Sale	Series 2029 Spring Sale	Series 2031 Spring Sale	Projected Total Debt Service	Projected Mill Levy
Payment Date (August 1)				95%	\$1,500,000	\$1,500,000	\$2,500,000	\$2,500,000		95%
2024	7.53%	\$990,764,592	\$0	\$0.000	\$3M - Nov. Election					
2025	5.00%	1,040,302,822								
2026	5.00%	1,092,317,963			\$520,000				\$520,000	\$0.501
2027	2.50%	1,119,625,912			531,600				531,600	0.500
2028	2.50%	1,147,616,560			222,000	\$322,500	\$5M - Nov. Election		544,500	0.499
2029	2.50%	1,176,306,974			79,000	479,500			558,500	0.500
2030	2.00%	1,199,833,113			78,900	232,300	\$260,000		571,200	0.501
2031	2.00%	1,223,829,775			78,700	224,300	278,600		581,600	0.500
2032	2.00%	1,248,306,371			78,400	76,300	248,700	\$190,000	593,400	0.500
2033	2.00%	1,273,272,498			78,000	76,400	229,700	221,400	605,500	0.501
2034	2.00%	1,298,737,948				78,900	263,700	241,400	584,000	0.473
2035	2.00%	1,324,712,707				78,700	231,100	247,900	557,700	0.443
2036	2.00%	1,351,206,961				78,400	199,500	253,900	531,800	0.414
2037	2.00%	1,378,231,100				78,000	181,400	246,900	506,300	0.387
2038	2.00%	1,405,795,722					231,300	244,900	476,200	0.357
2039	2.00%	1,433,911,637					204,000	245,200	449,200	0.330
2040	2.00%	1,462,589,870					180,000	237,700	417,700	0.301
2041	1.00%	1,477,215,768					161,700	215,200	376,900	0.269
2042	1.00%	1,491,987,926					148,900	193,300	342,200	0.241
2043	1.00%	1,506,907,805					123,900	182,000	305,900	0.214
2044	1.00%	1,521,976,883					117,200	150,900	268,100	0.185
2045	1.00%	1,537,196,652					95,600	133,300	228,900	0.157
2046	1.00%	1,552,568,619					79,700	108,700	188,400	0.128
2047	1.00%	1,568,094,305					64,300	89,900	154,200	0.104
2048	1.00%	1,583,775,248					49,400	66,700	116,100	0.077
2049	1.00%	1,599,613,000						76,800	76,800	0.051
2050	1.00%	1,615,609,130						36,400	36,400	0.024
Totals:			\$0		\$1,666,600	\$1,725,300	\$3,348,700	\$3,382,500	\$10,123,100	

Tax Rate Impact – \$0.5 GO Mill Levy



STIFEL | Public Finance

TAB 15

#15

Recommendations for Action Items for Consent Agenda on Full Board of Regents' Agenda (Bill Payne, Chair, Regents' Finance & Facilities Committee)

ACTION ITEM RECOMMENDATIONS:

Recommendations for Consent Agenda Items on Full Board
of Regents' Agenda (*Bill Payne, Chair, Regents' Finance &
Facilities Committee*)

TAB 16

#16

Recommendations for Information Items for Full Board of Regents' Agenda (Bill Payne, Chair, Regents' Finance & Facilities Committee)

INFORMATION ITEM RECOMMENDATIONS:

Recommendations for Information Agenda Items to be
Added to the Full Board of Regents' Agenda (*Bill Payne,*
Chair, Regents' Finance & Facilities Committee)

TAB 17

#17
Adjournment